

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
SEPTEMBER 29, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the September 15, 2020 Planning and Zoning Commission meeting.

(3) **P2020-035 (DAVID GONZALES)**

Consider a request by Brad Williams of Winstead PC on behalf of Brian Thornton of Mountainprize, Inc. for the approval of a Replat for Lot 3, Block A, Woods at Rockwall Addition being a 2.46-acre parcel of land identified as a portion of Lots 1 & 2, Block A, Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

(4) **P2020-038 (HENRY LEE)**

Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of a Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition being an eight (8) acre parcel of land identified as Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located north of the intersection of Stone Creek Drive and Bordeaux Drive, and take any action necessary.

(5) **P2020-041 (HENRY LEE)**

Consider a request by Brad Bacon of Bacon Property, LLC for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

(6) **P2020-042 (DAVID GONZALES)**

Discuss and consider a request by Wesley & Carlee Kuenstler and Bandon & Pare Underwood for the approval of a Final Plat for Lots 1 & 2, Block A, K. U. Ranch and Rec Addition being a 6.83-acre tract of land identified as Tract 26 of the J. P. Davis Survey, Abstract No. 249, Collin County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), address 11644 County Road 536, and take any action necessary.

(V) ACTION ITEMS

(7) **MIS2020-012 (HENRY LEE)**

Discuss and consider a request by Harold D. Fetty III on behalf of Robert Avalos and Latonia Baker for the approval of a Miscellaneous Case for a special request in accordance with the requirements of Planned Development District 75 (PD-75) [Ordinance No. 16-01] for a 0.179-acre tract of land identified as Lots 280 & 281, Block B, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 840 & 848 Lakeside Drive, and take any action necessary.

(VI) PUBLIC HEARING ITEMS

(8) **Z2020-037 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

(VII) DISCUSSION ITEMS

(9) **Z2020-039 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of amending the accessory structure standards, and take any action necessary.

(10) **Z2020-040 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan for the purpose of changing the alignment and designation of Pecan Valley Drive, and take any action necessary.

(11) **P2020-036 (DAVID GONZALES)**

Discuss and consider a request by T. Zachary Grimes of Cross Engineering Consultants, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors, LLC for the approval of a Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition being a 7.538-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and all of Lots 3 & 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

(12) **P2020-037 (DAVID GONZALES)**

Discuss and consider a request by Bart Carroll, RPCS of Carroll Consulting Group on behalf of Kurt Avery for the approval of a Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition being a 48.583-acre tract of land identified as Tracts 5 & 5-1 of the J. Strickland Survey, Abstract No. 187, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the terminus of Farm Lane east of Anna Cade Road, and take any action necessary.

(13) **P2020-039 (DAVID GONZALES)**

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochellee Road, and take any action necessary.

(14) **P2020-040 (DAVID GONZALES)**

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the northside of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

(15) **SP2020-025 (HENRY LEE)**

Discuss and consider a request Harper J. Kuper of SVEA Industrial II, LLC for the approval of a Site Plan for the *expansion of an existing industrial facility* on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court, and take any action necessary.

(16) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-034: Final Plat for Lot 1, Block A, Pecan Valley Retail Addition **(APPROVED)**
- Z2020-033: SUP for a *Residential Infill in an Established Subdivision* for 210 Wade Drive **(APPROVED; 1<sup>st</sup> READING)**
- Z2020-035: SUP for a *Restaurant, 2,000 SF or More, with Drive-Through* for 902 & 906 S. Goliad Street **(WITHDRAWN)**
- Z2020-036: SUP for a *Structure that Exceeds 60-Feet in a Light Industrial (LI) District* for 1540 E. IH-30 **(DENIED)**
- Z2020-037: SUP for a *Restaurant, Less Than 2,000 SF, with Drive-Through* for 150 Pecan Valley Drive **(REMANDED BACK TO THE PLANNING AND ZONING COMMISSION)**
- Z2020-033: SUP for a *Residential Infill in an Established Subdivision* for 257 & 269 Russell Drive **(APPROVED; 1<sup>st</sup> READING)**

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 25, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
SEPTEMBER 15, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER  
3

4 Chairman Eric Chodun called the meeting to order at 6:01 PM. Commissioners present were John Womble, Sedric Thomas, Derek Deckard,  
5 Mark Moeller and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Jean Conway. Staff members present were  
6 Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning  
7 Coordinator Angelica Gamez, and City Engineer Amy Williams.

8  
9 II. OPEN FORUM  
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being  
12 no one coming forward, Chairman Chodun closed the open forum.  
13

14 III. CONSENT AGENDA  
15

16 1. Approval of Minutes for the August 25, 2020 Planning and Zoning Commission meeting.  
17

18 2. **P2020-034 (DAVID GONZALES)**

19 Consider a request by Chad DuBose of JCDB Holdings, LLC for the approval of a Final Plat for Lots 1, Block A, Pecan Valley Retail Addition  
20 being a 2.356-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned  
21 Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV)  
22 District, addressed as 150 Pecan Valley Drive and 3005 N. Goliad Street [SH-205], and take any action necessary.  
23

24 3. **SP2020-020 (DAVID GONZALES)**

25 Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for  
26 the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a  
27 larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas,  
28 Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-  
29 276, and take any action necessary.  
30

31 4. **SP2020-022 (DAVID GONZALES)**

32 Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a Site Plan for an office building on a  
33 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)  
34 District, addressed as 1507 Airport Road.  
35

36 Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which passed by a  
37 vote of 6-0 with Commissioner Dr. Jean Conway absent.  
38

39 IV. PUBLIC HEARING ITEMS  
40

41 5. **Z2020-033 (HENRY LEE)**

42 Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in  
43 an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A,  
44 Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street,  
45 and take any action necessary.  
46

47 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a Specific Use Permit  
48 (SUP) for a single-family home in the Richard Harris Addition. The proposed home will face east onto Wade Drive and will be  
49 complementary to the surrounding housing. The request is due to the fact that the lots are in an established subdivision defined as  
50 being in existence for ten (10) years and being more than 90% developed. According to the Unified Development Code (UDC), the  
51 Planning and Zoning Commission must consider the proposed site location and architecture of the home compared to the existing  
52 housing. Staff sent out 50 notices to property owners and residents within 500-feet of the subject property but did not receive any  
53 back. The Park Place Homeowners Association was also notified as it is the only HOA within 1500-feet of the subject property.  
54

55 Chairman Chodun asked the applicant to come forward.  
56

57 Patrick Wells  
58 711 Stillwater Drive  
59 Rockwall, TX 75087  
60

61 The applicant came forward and provided additional details regarding his request. Mr. Wells then advised the Commission that he had  
62 brought colored renderings, requested at the prior meeting, to show the Commission.  
63

64 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one  
65 doing such; Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.  
66

67 Commissioner Womble asked to see the colored renderings and also asked if there were any variances associated with the request.  
68

69 Commissioner Moeller made a motion to approve item Z2020-033 with staff recommendations. Commissioner Womble seconded the  
70 motion which passed by a vote of 6-0.  
71

72 Chairman Chodun advised the applicant that the case would go before the City Council on September 21, 2020.  
73

74 6. Z2020-034 (RYAN MILLER)

75 Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for Residential Infill in an  
76 Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A,  
77 Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family  
78 residential land uses, addressed as 118 Mischief Lane, and take any action necessary.  
79

80 Director of Planning and Zoning Ryan Miller advised the Commission that the applicant requested to withdraw the case as they would  
81 like more time to work with the Chandlers Landing Homeowners Association. Due to the case being advertised and notices being sent  
82 out, then Staff is required to put it on the agenda and the Planning and Zoning Commission is required to act on it.  
83

84 Vice-Chairman Welch made a motion to accept the withdrawal of item Z2020-034. Commissioner Thomas seconded the motion which  
85 passed by a vote of 6-0.  
86

87 7. Z2020-035 (RYAN MILLER)

88 Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit  
89 (SUP) for a Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a  
90 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned  
91 Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action  
92 necessary.  
93

94 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting the approval  
95 of a Specific Use Permit (SUP) for a Restaurant with more than 2,000 square feet with a drive thru. Specifically, the applicant is  
96 proposing a 2,053 square foot fast food restaurant described as a Taco Bell. As shown in the concept plan, both the drive thru lane and  
97 the bail out lane will run adjacent to south side Goliad Street with the building being oriented towards W. Bourn Street. The parking area  
98 will be adjacent to the alleyway in the back. Based on the movement and widening that must be done, it will be required to seek TXDot  
99 approval and will also require a variance which was listed as a condition of approval as well as a requirement for a traffic impact  
100 analysis. The reason for an SUP in a General Retail (GR) District is that generally these districts are in close proximity to residential  
101 districts. The UDC lays out specific criteria for this particular type of use in this district and states that drive thru lanes shall not be  
102 located on local residential streets. Also, additional screening shall be installed adjacent to drive thru lanes to impair visibility of  
103 headlights, and a minimum of six (6) standard size motor vehicles can be stacked on site from the point of order. In this case, the  
104 applicant is showing conformance to the screening and stacking requirements. The other aspect of this case is residential adjacency  
105 which is along the southern and western boundaries. Our ordinance states that anytime certain uses are over 150-feet of residential  
106 districts, they require additional screening. With this case, there are 2 aspects that are specifically called out in the ordinance that gives  
107 the Commission discretion to the screening being proposed. Staff also added noted as a condition of approval that a noise study be  
108 conducted on the property. Mr. Miller reminded Staff that they had asked the applicant to limit its business hours at the previous work  
109 session but the applicant has chosen not to limit hours and continue with the normal operating hours. Normally, Staff would like to limit  
110 those hours to something more reasonable due to the residential adjacency. Specific Use Permits are discretionary to the City Council  
111 pending a recommendation from the Planning and Zoning Commission. With this being a zoning case, Staff sent out 107 notices to  
112 property owners and residents living within 500-feet of the subject property. Staff also notified the Stone Bridge Meadows Association  
113 which was the only HOA within 1500-feet of the subject property. Mr. Miller advised the Commission that the applicant and Staff were  
114 present and available to answer questions.  
115

116 Vice-Chairman Welch had a question in regards to the request of limiting hours.  
117

118 Chairman Chodun asked the applicant to come forward.  
119

120 Michael Stansbury  
121 101 E. Cherokee  
122 Jacksonville, TX 75766  
123

124 Mr. Stansbury came forward and provided additional details and background in regards to the request. He pointed out some items  
125 regarding the original site plan and the updated plan where changes were made. Mr. Stansbury mentioned the hours of operation and  
126 how they could not change them due to the fact that 20% of all transactions were made between 9pm to close. He also addressed the  
127 other comments made about safety, crime, and loitering.  
128

129 Commissioner Moeller asked about the driveway off of Goliad and what the timeline was in getting together with TXDot to talk about the  
130 matter.  
131

132 Commissioner Deckard also asked what the timeline was for talking to TX Dot. Mr. Miller addressed the question and explained what the  
133 process would be for getting together for TXDot.

134  
135 Commissioner Thomas asked if the applicant if they had considered public density with the project

136  
137 Commissioner Womble asked about the entrance and its placement and the reasoning behind it.

138  
139 Commissioner Deckard wanted clarification in regards to traffic and streets patrons would be using.

140  
141 Commissioner Womble asked if which entrance would be the most preferable one.

142  
143 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward.

144  
145 Justin Scroggs  
146 1512 S. Alamo Road  
147 Rockwall, TX 75087

148  
149 Mr. Scroggs came forward and expressed his opposition to the case. His main concerns are traffic, noise and light pollution, and  
150 loitering.

151  
152 Chuck Scroggs  
153 813 S. Alamo Road  
154 Rockwall, TX 75087

155  
156 Mr. Scroggs came forward and expressed his opposition in regards to the case. His main concern is his house losing value.

157  
158 Chris Brannon  
159 810 S. Alamo Road  
160 Rockwall, TX 75087

161  
162 Mr. Brannon came forward and expressed his opposition in regards to the request.

163  
164 Joe Rochier  
165 901 S. Alamo Road  
166 Rockwall, TX 75087

167  
168 Mr. Rochier came forward and expressed his opposition in regards to the request.

169  
170 Chairman Chodun asked if anyone else wished to speak; there being no one doing such. Chairman Chodun closed the public hearing  
171 and asked the applicant to come forward once again to respond to comments.

172  
173 Mr. Stansberry (applicant) came forward and responded to comments made by property owners and residents.

174  
175 Chairman Chodun brought the item back to the Commission for discussion or action.

176  
177 Commissioner Deckard asked what the permitted use was at the moment. Commissioner Moeller expressed that he disagreed with the  
178 location of the restaurant. Chairman Chodun also expressed his disapproval to the request.

179  
180 Vice-Chairman Welch made a motion to deny item Z2020-035. Commissioner Moeller seconded the motion to deny which passed by a  
181 vote of 6-0.

182  
183 Director of Planning and Zoning Ryan Miller advised the applicant and Commission that based on tonight's motion that the case would  
184 go before the City Council on September 21, 2020 and will require a ¾ majority vote.

185  
186 8. **Z2020-036 (RYAN MILLER)**

187 Hold a public hearing to discuss and consider a request by Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the  
188 approval of a Specific Use Permit (SUP) to allow a structure that exceeds 60-feet in height in a Light Industrial (LI) District for the purpose of  
189 constructing a flag pole on an existing motor vehicle dealership (i.e. Clay Cooley Hyundai) being a 4.39-acre parcel of land identified as Lot 1,  
190 Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30  
191 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

192  
193 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Mr. Miller also provided background in  
194 regards to the variances requested in the past by the applicant. All of these were approved and the dealership was founded in 2012. This  
195 time the applicant is requesting to establish a flag pole up to 120-feet. According to the Unified Development Code, a flag pole is treated  
196 the same as any structure meaning it is subject to the same height requirements. With this property being in a Light Industrial (LI)  
197 district, structures are allowed to go up to 60-feet by right and also allows the ability for additional height up to 120-feet with a Specific  
198 Use Permit. In this case, the applicant is requesting the maximum at 120-feet for a flag pole. Since this is requires an SUP, it is a  
199 discretionary decision to the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 16

200 notices to property owners and resident within 500-feet of the subject property. Mr. Miller advised the Commission that the applicant and  
201 Staff were present to answer questions.

202  
203 Chairman Chodun asked the applicant to come forward.

204  
205 Steve Symonds  
206 7503 Flagstone  
207 Fort Worth, TX 76118

208  
209 Mr. Symonds (representative) came forward and advised that he was ready to answer questions.

210  
211 Commissioner Deckard asked what the pole was rated for and how big the flag was that it could fly.

212  
213 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

214  
215 Bob Wacker  
216 309 Featherstone  
217 Rockwall, TX 75087

218  
219 Mr. Wacker came forward and asked if staff could limit the permit to only display the American flag.

220  
221 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public  
222 hearing and brought the item back for discussion or action.

223  
224 Commissioner Thomas expressed his concern as to not being able to dictate what could be flown on the pole.

225  
226 Commissioner Moeller expressed that the 60-foot limit is appropriate and did not support anything higher than 60 feet.

227  
228 Commissioner Deckard asked if this would be the highest structure in Rockwall.

229  
230 Commissioner Moeller made a motion to deny item Z2020-036. Commissioner Womble seconded the motion which passed by a vote of  
231 5-1 with Vice-Chairman Welch dissenting.

232  
233 Chairman Chodun advised the applicant that based on tonight's motion that the case would go before the City Council on September 21,  
234 2020 and will require a ¾ majority vote.

235  
236 9. **Z2020-037 (RYAN MILLER)**

237 Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad  
238 Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a  
239 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned  
240 Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed  
241 as 150 Pecan Valley Drive, and take any action necessary.

242  
243 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant originally requested the  
244 approval of an SUP for the restaurant with less than 2,000 square feet in a General Retail (GR) District. It went to the work session and  
245 was withdrawn by the applicant at that time. The applicant resubmitted the same request and took it forward to which she was ultimately  
246 denied by this Board and requesting to withdraw the case at City Council. The proposed request has now been submitted three times  
247 and it is the same that was proposed last time with the exception of knowing what the restaurant is and the applicant adding a walking  
248 trial. As was explained earlier, certain uses are not permitted in GR areas due to their close proximity to residential streets. In this case,  
249 the applicant does meet the screening requirements and stacking requirements. Quail Run Road is considered to be a residential  
250 roadway and what is not being met is that their only access road is off of that residential roadway. Other non-conformance issues are  
251 the lack of parking spaces and the trash enclosure is facing Pecan Valley which, according to the ordinance, cannot be facing a public  
252 street. Another waiver would be the driveway spacing requirement as it is only 37 feet from the intersection where the minimum is 100-  
253 feet. Staff sent out 35 notices to property owners and residents within 500-feet of the subject property and 13 came back in opposition of  
254 the case with 1 being in favor. Staff also notified the Shores at Lake Ray Hubbard, Random Oaks, Stone Creek, Quail Run, and Lakeview  
255 Summit Homeowner Associations as they were the ones within 1500-feet from the subject property. Mr. Miller then advised that the  
256 applicant and Staff were present and available to answer questions.

257  
258 Commissioner Deckard asked what the max capacity would be at the restaurant.

259  
260 Chairman Chodun asked if there was an issue with part of the property being in a flood zone.

261  
262 Chairman Chodun asked the applicant to come forward.

263  
264 Casey Orr (Engineer)  
265 121 S. Main Street  
266 Henderson, TX 75654

268 The applicant came forward and provided additional details and background in regards to the request. She addressed some of the  
269 resident's concerns from the neighborhood responses. She also added that the busiest hour would consist of 24 transactions and their  
270 busiest hour does not coincide with rush hour.  
271

272 Commissioner Thomas asked what the proposed hours of operation and peak hours would be. Ms. Orr answered that she would defer to  
273 the developer.  
274

275 Chairman Chodun asked the developer to come forward.  
276

277 Chad DuBose  
278 7218 Colgate Avenue  
279 Dallas, TX 75225  
280

281 Mr. Dubose came forward and announced the hours of operation would be 9:00am- 9:00pm and the peak hours would be midday from  
282 10:00am- 4:00pm. He also mentioned that 30% of the transactions would be in store and 70% would take place in the drive thru.  
283

284 Director of Planning and Zoning Ryan Miller asked how many employees typically would be working in the establishment. Mr. Dubose  
285 answered that there would be anywhere between 2-4 employees depending on the store volume or peak hours.  
286

287 Commissioner Deckard asked if there was any access to the sidewalk from the north and south entries.  
288

289 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.  
290

291 Lanty Dean  
292 216 W. Quail Run Road  
293 Rockwall, TX 75087  
294

295 Mr. Dean came forward and expressed his opposition to the request.  
296

297 Jim Turner  
298 1691 E. Quail Run  
299 Rockwall, TX 75087  
300

301 Mr. Turner came forward and expressed his opposition to the request.  
302

303 Bob Wacker  
304 309 Featherstone Drive  
305 Rockwall, TX 75087  
306

307 Mr. Wacker came forward and expressed his opposition to the request.  
308

309 Michael Hunter  
310 220 N. Quail Run Road  
311 Rockwall, TX 75087  
312

313 Mr. Hunter came forward and expressed his opposition to the request.  
314

315 Chairman Chodun asked if anyone else wished to speak to come forward at this time; there being no one doing such, Chairman Chodun  
316 closed the public hearing and brought the item back to the Commission for discussion or action.  
317

318 Cary Albert  
319 14114 Dallas Parkway  
320 Dallas, TX 75240  
321

322 Mr. Albert came forward and provided additional details in regards to the request.  
323

324 Mr. Dubose came forward and expressed details of concern in regards to the comments made on the architectural details of the  
325 restaurant along with providing additional stacking requirements details.  
326

327 Chairman Chodun asked if there were any other questions for the applicant.  
328

329 Vice-Chairman Welch asked if Pecan Valley Drive was a dead end. He also wanted further information on the parking situation for  
330 employees and customer; also whether or not the specific use permit would stay with the franchise or with the land.  
331

332 Commissioner Deckard stated that his only concern was the parking deficiency in the situation.  
333



334 Commissioner Thomas added that the applicant would not be able to do this without a drive thru since it would cut into their sales and  
335 he could not support the project.

336  
337 Commissioner Thomas made a motion to deny item Z2020-037. Commissioner Moeller seconded the motion to deny which passed by a  
338 vote of 4-2 with Commissioner Deckard and Vice-Chairman Welch dissenting.

339  
340 Based on the motion made tonight, item Z2020-037 will go before City Council on September 21, 2020 and will require a ¾ majority vote.

341  
342 10. **Z2020-038 (HENRY LEE)**

343 Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit  
344 (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land  
345 identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas,  
346 zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take  
347 any action necessary.

348  
349 Planner Henry Lee provided a brief summary in regards to the request. He explained that the applicant is requesting an approval for an  
350 SUP for a single-family home facing west on Russell Drive and will be complementary to the existing housing. Due to the Lake Rockwall  
351 Estates being an established subdivision, then the request of a residential infill requires an SUP. An established subdivision is defined  
352 as one that is more than 90% developed and has been in existence for 10 years. The UDC requires that the Commission consider the  
353 location, size, and architectural build to the existing housing. Staff sent out 144 notices to property owners and residents living within  
354 500-feet of the subject property.

355  
356 Chairman Chodun asked the applicant to come forward

357  
358 Ruben Segovia  
359 710 Teagarden  
360 Dallas, TX 75217

361  
362 Mr. Segovia came forward and advised the Commission that he was available to answer questions.

363  
364 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one  
365 doing such; Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

366  
367 Commissioner Moeller made a motion to approve item Z2020-038 with staff recommendations. Commissioner Womble seconded the  
368 motion which passed by a vote of 6-0.

369  
370 Chairman Chodun advised the applicant that the case would go before the City Council on September 21, 2020.

371  
372 V. ACTION ITEMS

373  
374 11. **SP2020-018 (DAVID GONZALES)**

375 Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Russell Phillips of Harbor LakePointe  
376 Investors, LLC for the approval of an Amended Site Plan for a 265-unit condominium development situated on a 7.58-acre tract of land identified  
377 as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall  
378 County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and  
379 take any action necessary.

380  
381 Planning and Zoning Manager David Gonzales provided a brief summary and background in regards to the request. The applicant is  
382 amending the site plan but, technically, he is only changing the colors of the building. The architecture is the same and the only  
383 change would be in the color of the stucco and a change in stone. The applicant is proposing a white building with gray accents. This  
384 case went before the Architectural Review Board three (3) weeks ago and the Board is forwarding a recommendation of approval.  
385 Also, the colors in the stone were a part of the original approval in 2018 so it needed to come back before the Commission to take it  
386 into consideration. Staff is also including all the recommendations of approval that were approved in 2018. Mr. Gonzales then advised  
387 the Commission that he was available to answer questions.

388  
389 Chairman Chodun asked what the vote at ARB was. He also asked if this was going to be the first building in that Planned  
390 Development that was allowed a color change like the one proposed.

391  
392 Vice-Chairman Welch asked for the reasoning behind the change of color.

393  
394 Commissioner Womble advised that he agreed with the recommendation from ARB.

395  
396 Commissioner Womble made a motion to approve item SP2020-018 with ARB recommendations. Commissioner Thomas seconded  
397 the motion which passed by a vote of 6-0.

398  
399 VI. DISCUSSION ITEMS

400  
401 12. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

402  
403  
404  
405  
406  
407  
408  
409  
410  
411  
412  
413  
414  
415  
416  
417  
418  
419  
420  
421  
422  
423  
424  
425

- P2020-031: Final Plat for Lot 1, Block A, Sparks Six Addition [APPROVED]
- P2020-033: Replat for Lot 6, Block A, Harbor District Addition [APPROVED]
- Z2020-030: SUP for an *Accessory Building* for 1748 Lake Breeze Drive [APPROVED; 2<sup>ND</sup> READING]
- Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79) [APPROVED; 2<sup>ND</sup> READING]
- Z2020-032: SUP for a *Residential Infill in an Established Subdivision* for 481 Blanche Drive [APPROVED; 2<sup>ND</sup> READING]

**Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting. He also welcomed Derek Deckard to the Planning and Zoning Commission and advised that a new member will be present at the next meeting.**

VII. ADJOURNMENT

**Chairman Chodun adjourned the meeting at 8:04 PM.**

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Eric Chodun, Chairman

Attest:  
\_\_\_\_\_  
Angelica Gamez, Planning and Zoning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

TO: Planning and Zoning Commission  
DATE: September 29, 2020  
APPLICANT: Brad Williams; *Winstead PC*  
CASE NUMBER: P2020-035; *Lot 3, Block A, Woods at Rockwall Addition*

---

### SUMMARY

Consider a request by Brad Williams of Winstead PC on behalf of Brian Thornton of Mountainprize, Inc. for the approval of a Replat for Lot 3, Block A, Woods at Rockwall Addition being a 2.46-acre parcel of land identified as a portion of Lots 1 & 2, Block A, Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 2.46-acre parcel of land (i.e. *Lot 3, Block A, Woods at Rockwall Addition*) by incorporating two (2) lots (i.e. *Lots 1 & 2, Block A, Woods at Rockwall Addition*) into one (1) lot for purpose of conveying the property. Staff should note that the site will not be developed and no permits will be issued without first having an approved site plan, civil engineering plans, and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- ☑ On April 15, 2013, the City Council approved a Specific Use Permit (SUP) for the subject property to allow for a convenience store with gasoline sales by *Ordinance No. 13-09 [Case No. Z2013-004]*. On December 10, 2013, the Planning and Zoning Commission approved a site plan [*Case No. SP2013-002*] for the subject property. On December 8, 2015, the Planning and Zoning Commission approved an amended site plan [*Case No. SP2015-018*] for the purpose of revising the exterior elevations of the proposed *Race Trac* gas station and convenience store. On December 21, 2015, the City Council approved a variance to allow for secondary materials (i.e. *EIFS and Trex Board*) to exceed 10% within the Scenic Overlay (SOV) District. On September 25, 2018, the Planning and Zoning Commission approved a second request to amend an approved site plan [i.e. *SP2018-019*] changing the exterior elevations and making minor modifications to the site plan.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 3, Block A, Woods at Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-035  
PROJECT NAME: Woods at Rockwall Addition  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Consider a request by Brad Williams of Winstead PC on behalf of Brian Thornton of Mountainprize, Inc. for the approval of a Replat for Lot 3, Block A, Woods at Rockwall Addition being a 2.46-acre parcel of land identified as a portion of Lots 1 & 2, Block A, Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/18/2020	Approved w/ Comments

09/18/2020: P2020-035; Conveyance Plat for Lot 3, Block A, Woods at Rockwall Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 3, Block A, Woods at Rockwall Addition for the purpose of conveyance on a 2.46-acre tract of land identified as Lots 1 & 2, Block A, Wood at Rockwall Addition, E.P. Gaines Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellowjacket Lane.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (P2020-035) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Scenic Overlay (SOV) District, and the Commercial (C) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat (i.e. conveyance plat) shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.8 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.9 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) City Council meeting will be held on October 5, 2020.

I.10 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/18/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/21/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

09/21/2020: No comments



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address None

Subdivision Woods at Rockwall Addition

Lot 3

Block A

General Location Southeast corner Ridge Road and W. Yellow Jacket Lane

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use None

Proposed Zoning C

Proposed Use None

Acreage 2.46

Lots [Current] 1.5 +/-

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Mountainprize, Inc.

Applicant Brad Williams, Winstead PC

Contact Person Brian Thornton

Contact Person

Address 200 Galleria Pkwy. SE  
Suite 900

Address 2728 N Harwood Street  
Suite 500

City, State & Zip Atlanta, Georgia 30339

City, State & Zip Dallas, Texas 75201

Phone 706-288-7672

Phone 214.745.5264

E-Mail amalzer@racetrac.com

E-Mail bwilliams@winstead.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Brian Thornton [Owner] the undersigned, who stated the information on this application to be true and certified the following:

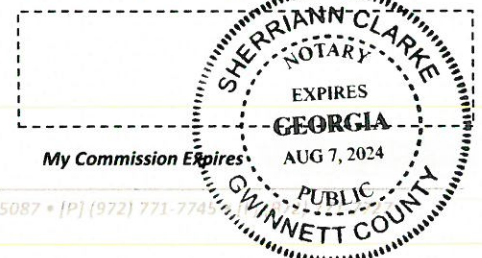
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11<sup>th</sup> day of September, 20 20.


Owner's Signature

Notary Public in and for the State of Texas

Brian Thornton  
Sherrianne Clarke



0 50 100 200 300 400 Feet

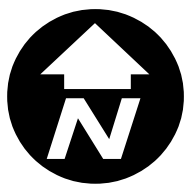
P2020-035- LOT 3, BLOCK A, WOODS AT ROCKWALL ADDITION  
AMENDING PLAT - LOCATION MAP = 



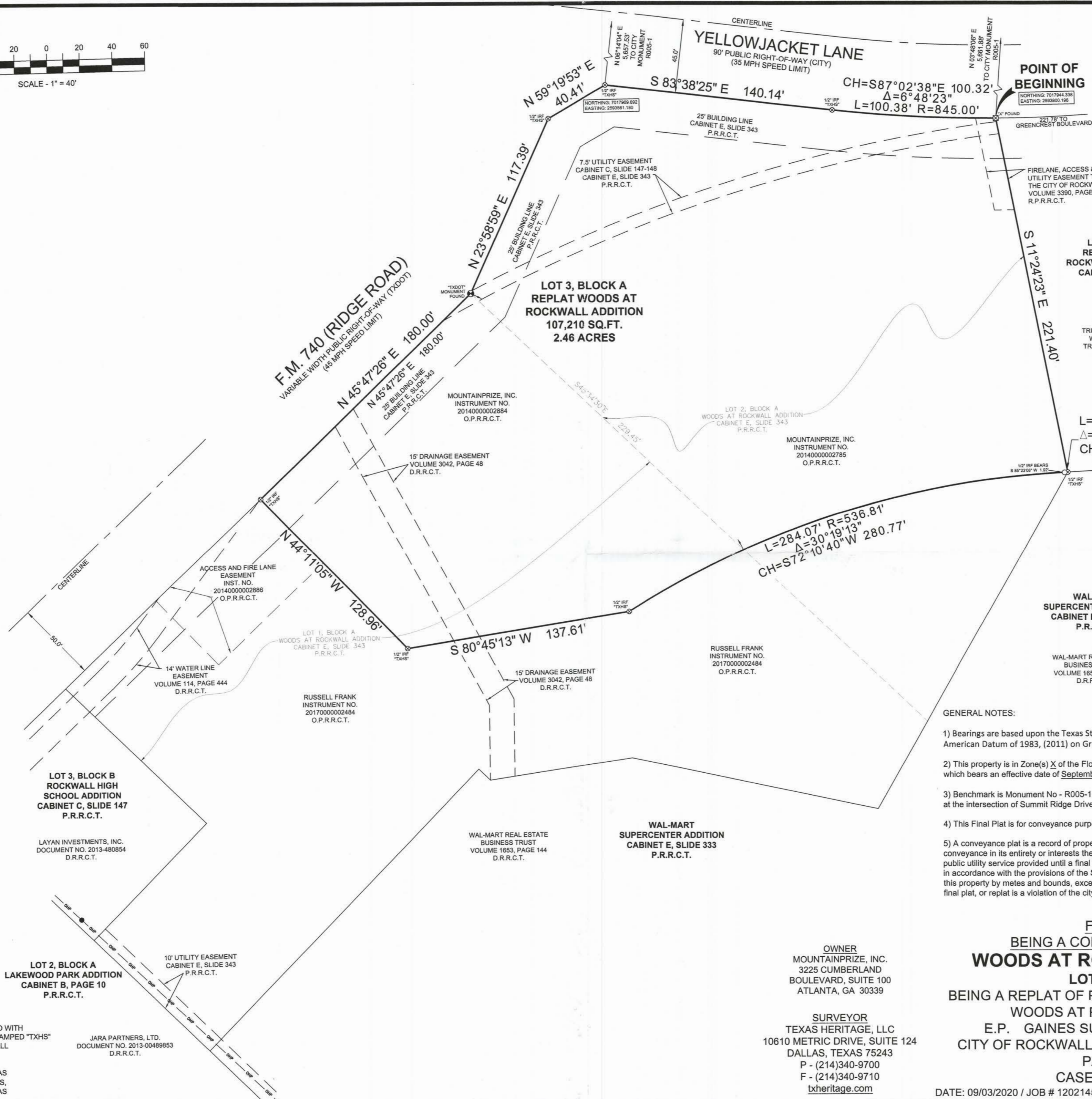
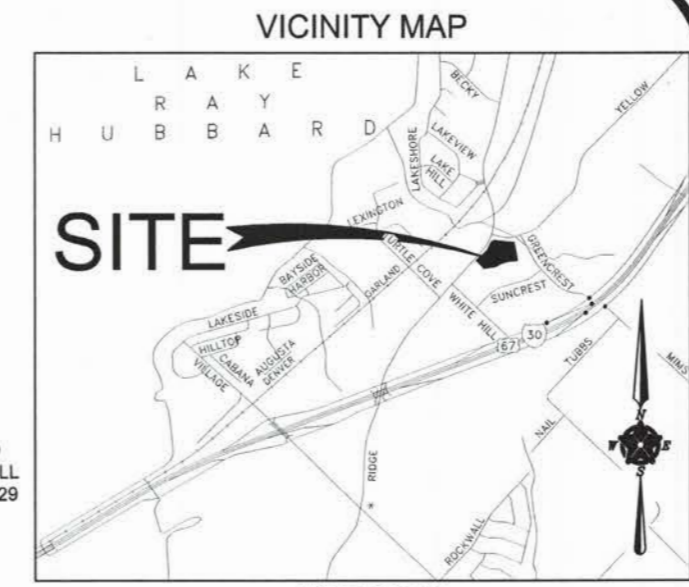
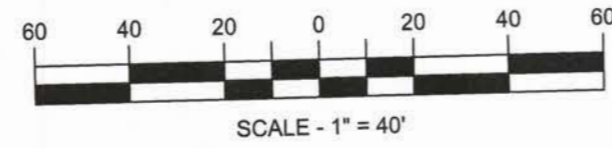
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LOT 3R, BLOCK B  
REPLAT WOODS AT  
ROCKWALL ADDITION NO. 1  
CABINET E, SLIDE 389  
P.R.R.C.T.

RICHARD W. MCKEE,  
TRUSTEE OF THE RICHARD  
W. MCKEE REVOCABLE  
TRUST DATED MAY 3, 1994  
INSTRUMENT NO.  
2020000013358  
O.P.R.R.C.T.

L=1.75' R=772.78'  
Δ=0°07'47"  
CH=S87°17'03"W, 1.75'

WAL-MART  
SUPERCENTER ADDITION  
CABINET E, SLIDE 333  
P.R.R.C.T.

WAL-MART REAL ESTATE  
BUSINESS TRUST  
VOLUME 1653, PAGE 144  
D.R.R.C.T.

WAL-MART  
SUPERCENTER ADDITION  
CABINET E, SLIDE 333  
P.R.R.C.T.

WAL-MART REAL ESTATE  
BUSINESS TRUST  
VOLUME 1653, PAGE 144  
D.R.R.C.T.

LAYAN INVESTMENTS, INC.  
DOCUMENT NO. 2013-480854  
D.R.R.C.T.

LOT 2, BLOCK A  
LAKEWOOD PARK ADDITION  
CABINET B, PAGE 10  
P.R.R.C.T.

JARA PARTNERS, LTD.  
DOCUMENT NO. 2013-00489853  
D.R.R.C.T.

OWNER  
MOUNTAINPRIZE, INC.  
3225 CUMBERLAND  
BOULEVARD, SUITE 100  
ATLANTA, GA 30339

SURVEYOR  
TEXAS HERITAGE, LLC  
10610 METRIC DRIVE, SUITE 124  
DALLAS, TEXAS 75243  
P - (214)340-9700  
F - (214)340-9710  
txheritage.com

GENERAL NOTES:

- 1) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011) on Grid Coordinate values, No Scale and No Projection.
- 2) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0040 L, which bears an effective date of September 28, 2008 and IS NOT in a Special Flood Hazard Area.
- 3) Benchmark is Monument No - R005-1, City of Rockwall Geodetic Monument located on concrete median at the intersection of Summit Ridge Drive and FM 740. (Elevation - 578.6314')
- 4) This Final Plat is for conveyance purposes only and not for the development of the subject property.
- 5) A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

FINAL PLAT  
BEING A CONVEYANCE PLAT FOR  
**WOODS AT ROCKWALL ADDITION**  
LOT 3, BLOCK A

BEING A REPLAT OF PARTS OF LOTS 1 & 2, BLOCK A  
WOODS AT ROCKWALL ADDITION,  
E.P. GAINES SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PAGE 1 OF 2  
CASE NO: P2017-019

DATE: 09/03/2020 / JOB # 1202145-19 / SCALE= 1" = 40' / DRAWN BY: JACOB/CN

LEGEND  
 © IRF 1/2 INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "TXHS"  
 P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS  
 D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL
CITY OF ROCKWALL

WHEREAS, Mountainprize, Inc. is the sole owner of a tract of land situated in the E.P. Gaines Survey, Abstract No. 64 in the City of Rockwall, Rockwall County, Texas, being a part of Lots 1 and 2, Block A of THE WOODS AT ROCKWALL ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 343, Plat Records, Rockwall County, Texas and being the same tract of land described in Special Warranty Deed to Mountainprize, Inc., a Georgia corporation, recorded in Instrument No. 2014000002785, Official Public Records, Rockwall County, Texas, and also being the same tract of land described in Special Warranty Deed to Mountainprize, Inc., a Georgia corporation, recorded in Instrument No. 2014000002884, Official Public Records, Rockwall County, Texas, and collectively being more particularly described by metes and bounds as follows:

Beginning at an "X" found in the South right-of-way line of Yellowjacket Lane (90 foot public right-of-way), said point being the northwest corner of Lot 3R, Block B of REPLAT WOODS AT ROCKWALL ADDITION NO. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 389 of the Plat Records of Rockwall County, Texas, same being the northeast corner of said Lot 2, same being the northeast corner of herein described tract;

Thence South 11 Degrees 24 Minutes 23 Seconds East, along the west line of said Lot 3R, a distance of 221.40 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS", said point being the southwest corner of said Lot 3R, same being the northwest corner of Wal-Mart Supercenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 333 of the Plat Records of Rockwall County, Texas, and being the beginning of a non-tangent curve to the right with a radius of 772.78 feet at the northeast corner of a tract of land described in General Warranty Deed with Vendor's Lien to Russell Frank, recorded in Instrument No. 2017000002484, Official Public Records, Rockwall County, Texas;

Thence along said non-tangent curve to the right and north line of said Frank tract, having a delta angle of 00 degrees 07 minutes 47 seconds, a chord bearing and distance of South 87 degrees 17 minutes 03 seconds West, 1.75 feet, and an arc length of 1.75 feet to a 1/2 inch iron rod found at the beginning of a tangent curve to the left with a radius of 536.81 feet;

Thence along said tangent curve to the left and said north line of Frank tract, having a delta angle of 30 degrees 19 minutes 13 seconds, a chord bearing and distance of South 72 degrees 10 minutes 40 seconds West, 280.77 feet, and an arc length of 284.07 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence South 80 degrees 45 minutes 13 seconds West, along said north line of Frank tract, a distance of 137.61 feet to a 1/2 inch iron rod found for corner with a yellow plastic cap stamped "TXHS";

Thence North 44 degrees 11 minutes 05 seconds West, along the northeast line of said Frank tract, a distance of 128.96 feet to a 1/2 inch iron rod found for corner with a yellow plastic cap stamped "TXHS" lying in the southeast right-of-way line of said F.M. 740 (Ridge Road) (variable width public right-of-way) and being the most northern corner of said Frank tract;

Thence North 45 Degrees 47 Minutes 26 Seconds East, along said southeast right-of-way line of said F.M. 740 (Ridge Road), a distance of 180.00 feet to a TXDOT Monument found for corner, said point being the north corner of said Lot 1 and the common west corner of said Lot 2;

Thence North 23 Degrees 58 Minutes 59 Seconds East, continuing along the southeast right-of-way line of said F.M. 740, a distance of 117.39 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS" at the intersection of the southeast right-of-way line of said F.M. 740 and the south right-of-way line of said Yellowjacket Lane, said point being the northwest corner of said Lot 2, and being the northwest corner of herein described tract;

Thence North 59 Degrees 19 Minutes 53 Seconds East, along the south right-of-way line of said Yellowjacket Lane, a distance of 40.41 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence South 83 Degrees 38 Minutes 25 Seconds East, continuing along the south right-of-way line of said Yellowjacket Lane, a distance of 140.14 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS", said point being the beginning of a curve to the left;

Thence, continuing along the south right-of-way line of said Yellowjacket Lane, and along said curve to the left, through a central angle of 6°48'23", a radius of 845.00 feet, a chord bearing and distance of South 87°02'38" East, 100.32 feet and an arc length of 100.38 feet to the POINT OF BEGINNING and containing 107,210 square feet or 2.46 acres of land.

SURVEYORS CERTIFICATE:

THAT I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gary E. Johnson, R.P.L.S. No. 5299



STATE OF TEXAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Gary E. Johnson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_ day of \_\_\_, 2020.

Notary Signature My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL
CITY OF ROCKWALL

That, Mountainprize, Inc., does hereby adopt this plat designating the herein described property as CONVEYANCE PLAT OF WOODS AT ROCKWALL ADDITION, LOT 3, BLOCK A, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown for the purposes and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REPLAT WOODS AT ROCKWALL ADDITION, LOT 3, BLOCK A, subdivision have been notified and signed this plat.

I understand and do hereby reserve the easements strips shown on this plat for the purposes stated and for the mutual use accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance, or efficiency of their respective system on any of these easement strips, and any public utility shall at all times have the right to ingress or egress to, from and upon the said easement strips for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, and either adding to or removing all or part of the respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bears total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;
7. The property owner is responsible for maintenance, repair, and replacement of all detention and drainage system.

Until an escrow deposit sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the developer and/or owner as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence or work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; Our successors and assigns hereby waive any claim, damage, or cause of action the We may have as a result of the dedication of exactions made herein.

Mountainprize, Inc.

Brian Thornton
Vice President of Real Estate, Engineering and Construction

STATE OF TEXAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Brian Thornton, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

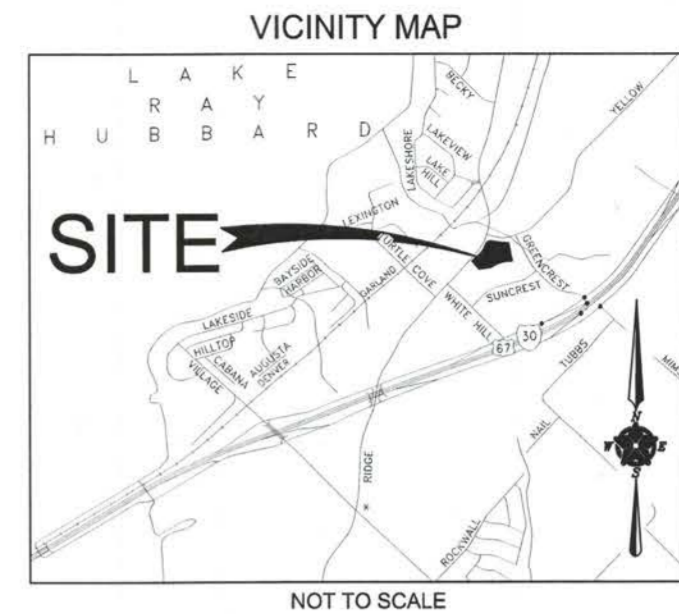
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_ day of \_\_\_, 2020.

Notary Signature My commission expires: \_\_\_\_\_

LEGEND
1/2 INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "TXHS"
P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

OWNER
MOUNTAINPRIZE, INC.
3225 CUMBERLAND BOULEVARD, SUITE 100
ATLANTA, GA 30339

SURVEYOR
TEXAS HERITAGE, LLC
10610 METRIC DRIVE, SUITE 124
DALLAS, TEXAS 75243
P - (214)340-9700
F - (214)340-9710
txheritage.com



NOT TO SCALE

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on this the \_\_\_ day of \_\_\_, 2020.

WITNESS OUR HANDS, on this the \_\_\_ day of \_\_\_, 2020.

Mayor, City of Rockwall

City Secretary, City of Rockwall

Engineer, City of Rockwall

GENERAL NOTES:

- 1) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011) on Grid Coordinate values, No Scale and No Projection.
2) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0040 L, which bears an effective date of September 28, 2008 and IS NOT in a Special Flood Hazard Area.
3) Benchmark is Monument No - R005-1, City of Rockwall Geodetic Monument located on concrete median at the intersection of Summit Ridge Drive and FM 740. (Elevation - 578.6314')
4) This Final Plat is for conveyance purposes only and not for the development of the subject property.
5) A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

FINAL PLAT
BEING A CONVEYANCE PLAT FOR
WOODS AT ROCKWALL ADDITION
LOT 3, BLOCK A

BEING A REPLAT OF PARTS OF LOTS 1 & 2, BLOCK A
WOODS AT ROCKWALL ADDITION,
E.P. GAINES SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PAGE 1 OF 2

CASE NO: P2017-019

DATE: 09/03/2020 / JOB # 1202145-19 / SCALE= 1" = 40' / DRAWN BY: JACOB/CN



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 29, 2020  
**APPLICANT:** Clay Cristy; *ClayMoore Engineering*  
**CASE NUMBER:** P2020-038; *Lots 10 & 11, Block A, Stone Creek Retail Addition*

---

### SUMMARY

Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of a Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition being an eight (8) acre parcel of land identified as Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located north of the intersection of Stone Creek Drive and Bordeaux Drive, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a replat for an eight (8) acre parcel of land identified as Lot 8, Block A, Stone Creek Retail Addition for the purpose of creating two (2) lots (*i.e. Lots 10 & 11, Block A, Stone Creek Retail Addition*) to facilitate the construction of a daycare facility on Lot 10, Block A, Stone Creek Retail Addition.
- On April 2, 2007, the City Council approved Planned Development District 70 (PD-70) [*Ordinance No. 07-13; Case No. Z2007-006*], which created a master planned community that consisted of 23.44-acres of land designated for General Retail (GR) District land uses and 395.075-acres of land designated for Single-Family 10 (SF-10) District land uses. This is currently the location of the Stone Creek Subdivision. On January 5, 2009, the City Council adopted *Ordinance No. 09-01*, which approved a PD Development Plan for the 23.44-acre tract of land designated for General Retail (GR) District land uses. On June 9, 2020, the Planning and Zoning Commission approved a site plan [*i.e. Case Number SP2020-005*] for Primrose School located on the proposed Lot 10, Block A, Stone Creek Retail Addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 10 & 11, Block A, Stone Creek Retail Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: P2020-038  
PROJECT NAME: Lots 10 & 11, Block A, Stone Creek Retail Addition  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of a Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition being an eight (8) acre parcel of land identified as Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located north of the intersection of Stone Creek Drive and Bordeaux Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: P2020-038; Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition being an eight (8) acre parcel of land identified as Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located north of the intersection of Stone Creek Drive and Bordeaux Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email [hlee@rockwall.com](mailto:hlee@rockwall.com).

M.3 For reference, include the case number (P2020-038) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development 70 (PD-70), the North SH-205 Overlay (N. SH-205 OV), and the General Retail (GR) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

M.7 Correct Title Block to read as follows:

Final Plat  
Lots 10 & 11, Block A, Stone Creek Retail Addition  
Being a Replat of Lot 8, Block A, Stone Creek Retail Addition  
Lots 2 (Proposed)  
Containing a Total of 8.01 Acres  
Recorded in Cabinet H, Page 147, P.R.R.C.T.,

Situated in the William G. Dewees Survey, Abstract No. 71,  
City of Rockwall, Rockwall County, Texas

M.8 Verify that all fire lane easements read Fire Lane, Public Access & Utility Easement. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M.9 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.11 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.12 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) City Council meeting will be held on October 5, 2020.

I.13 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Must have the curve data for the fire lane at the northeast corner of the property.  
M - Must have a 30'x30' ROW clip at the intersection of Bordeaux and 205 and Stone Creek Drive.  
M - The numbers are difficult to readapt the fire lane entrance off Stone Creek Drive. You may need a "zoomed in" view.  
M - add note, "8. All decorative sign and light poles to be maintained, repaired, and replaced by property owner."

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved

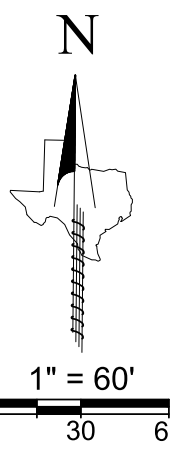
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

09/21/2020: No comments



**LEGEND**

POB POINT OF BEGINNING  
 IRF = IRON ROD FOUND  
 CIRF = CAPPED IRON ROD SET  
 CIRF = CAPPED IRON ROD FOUND  
 DOC. NO. = DOCUMENT NUMBER  
 D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. = PLAT RECORDS, ROCKWALL COUNTY, TEXAS

LINE	BEARING	DISTANCE
L1	S 20°13'15" W	24.98'
L2	N 69°46'45" W	18.05'
L17	N 30°00'00" W	61.77'
L18	S 30°00'00" E	47.14'
L19	N 68°44'44" W	5.30'
L20	S 35°43'58" W	1.85'
L21	N 54°16'02" W	20.00'
L22	N 35°43'58" E	9.02'
L23	N 30°00'00" W	35.06'
L24	N 90°00'00" W	420.73'
L25	N 00°48'02" W	69.91'
L26	N 90°00'00" W	178.59'
L27	N 00°00'02" W	143.84'
L28	N 88°52'58" E	14.87'
L29	S 00°00'00" E	164.56'
L30	N 90°00'00" E	190.45'
L31	S 30°00'00" E	58.86'
L32	N 69°46'45" E	13.58'
L33	S 30°00'00" E	23.37'
L34	S 30°00'00" E	21.94'
L35	S 30°00'00" E	13.55'
L36	N 00°49'55" W	13.00'
L37	S 89°10'05" W	17.89'
L38	S 45°00'00" W	74.08'
L39	S 00°00'00" E	174.25'
L40	N 90°00'00" E	146.32'
L41	N 90°00'00" W	20.00'
L42	N 00°00'00" W	182.53'
L43	N 45°00'00" E	61.82'
L44	N 89°10'05" E	26.53'
L45	N 90°00'00" W	1.40'
L46	N 90°00'00" W	20.00'
L47	N 90°00'00" W	2.73'
L48	N 00°00'00" W	15.34'
L49	N 90°00'00" E	20.00'
L50	S 00°00'00" E	15.34'
L51	N 35°43'58" E	51.70'
L52	N 00°00'00" W	204.14'
L53	N 89°16'28" E	20.00'
L54	N 89°07'26" E	36.09'
L55	S 00°00'00" E	210.84'
L56	S 35°43'58" W	67.16'
L57	N 35°43'58" E	11.63'
L58	S 54°16'02" E	20.00'
L59	S 35°43'58" W	18.96'
L60	S 00°49'55" E	89.30'
L61	S 00°49'55" E	10.00'
L62	S 89°10'05" W	5.00'
L63	S 00°49'55" E	2.50'
L64	S 89°10'05" W	15.00'
L65	N 00°49'55" W	15.00'
L66	N 89°10'05" E	15.00'
L67	S 00°49'55" E	2.50'
L68	N 89°10'05" E	5.00'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	202.10'	550.00'	21°03'11"	S 09°41'40" W	200.96'
C2	189.99'	650.00'	16°44'48"	N 82°33'52" W	189.31'
C3	14.30'	25.00'	32°46'32"	N 53°23'29" W	14.11'
C4	13.89'	20.00'	39°46'45"	N 49°53'22" W	13.61'
C5	20.94'	20.00'	60°00'00"	N 60°00'00" W	20.00'
C6	14.46'	20.00'	41°25'02"	S 50°42'31" E	14.14'
C7	31.64'	20.00'	90°39'15"	S 44°40'23" W	28.45'
C8	8.63'	27.44'	18°01'35"	S 08°33'39" E	8.60'
C9	31.09'	20.00'	89°03'31"	S 45°28'14" E	28.05'
C10	31.42'	20.00'	90°00'00"	N 45°00'00" E	28.28'
C11	31.73'	20.00'	90°53'29"	N 45°26'44" W	28.50'
C12	31.42'	20.00'	90°00'00"	S 45°00'00" E	28.28'
C13	20.94'	20.00'	60°00'00"	S 60°00'00" E	20.00'
C14	13.89'	20.00'	39°46'45"	S 49°53'22" E	13.61'
C15	15.25'	25.00'	34°56'52"	S 87°15'11" E	15.01'
C16	5.91'	549.92'	0°36'55"	S 19°54'48" W	5.91'
C17	7.89'	20.00'	22°37'02"	S 41°18'31" E	7.84'

Project  
1910.030-03

Date  
09/18/20

Drafter  
TAR/CF

**EAGLE SURVEYING, LLC**  
 210 S. Elm Street, Suite: 104  
 Denton, TX 76201  
 (940) 222-3009  
 TX Firm #10194177

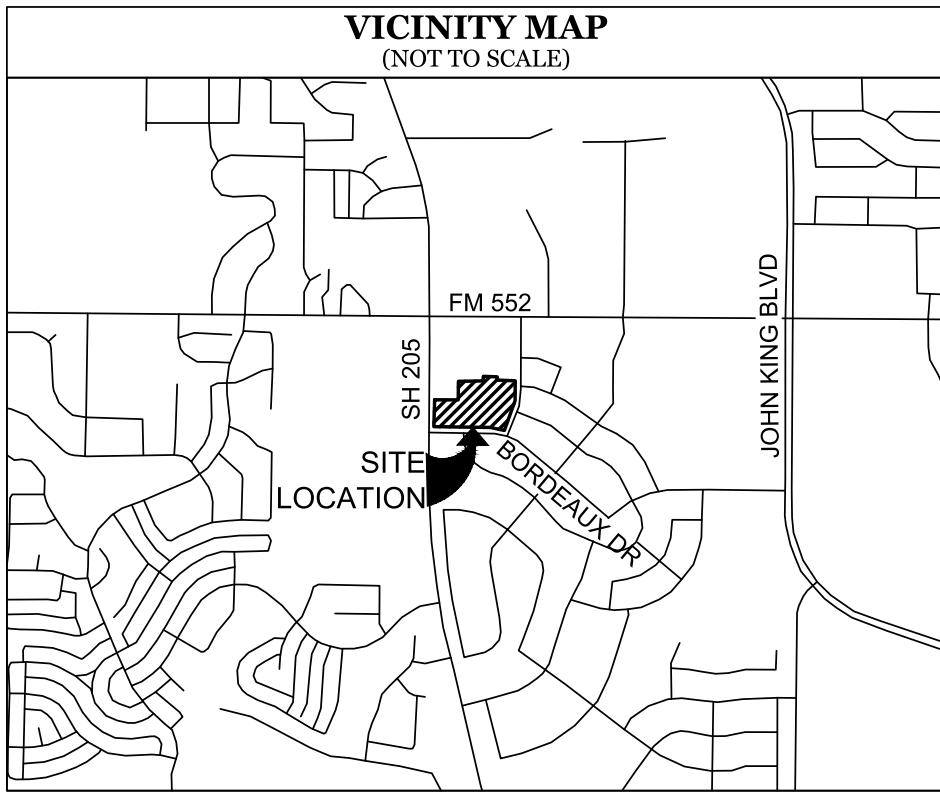
**ENGINEER**  
 ClayMoore Engineering  
 1903 Central Drive, Suite 406  
 Bedford, TX 76021  
 (817) 281-0572

**SURVEYOR**  
 Eagle Surveying, LLC  
 210 S. Elm Street, Suite 104  
 Denton, TX 76201  
 (940) 222-3009

**OWNER**  
 Crestview Real Estate  
 12720 Hillcrest Road, Suite 650  
 Dallas, TX 75230

**FINAL PLAT**  
**STONE CREEK RETAIL ADDITION**  
 LOTS 10 & 11, BLOCK A

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION, RECORDED IN CABINET H, PAGE 147, P.R.R.C.T., SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

WHEREAS, **Crestview Real Estate**, is the owner of an 8.01 acre tract of land out of the William G. Dewees Survey, Abstract Number 71, situated in the City of Rockwall, Rockwall County, Texas, being all of Lot 8, Block A of Stone Creek Retail Addition, Lots 7 & 8, Block A, a subdivision of record in Cabinet H, Page 157 of the Plat Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING**, at a 5/8" iron rod found at the intersection of the East right-of-way line of State Highway 205 (100' right-of-way) and the North right-of-way line of Bordeaux Drive (100' right-of-way), being the Southwest corner of said Lot 8;

**THENCE**, N 00°56'17" W, along the East right-of-way line of State Highway 205, being the common West line of said Lot 8, a distance of 278.27 feet to a 5/8 inch iron rod with yellow plastic cap stamped "POGUE" found at the Southwest corner of Lot 7, Block A of said Stone Creek Retail Addition;

**THENCE**, leaving the East right-of-way line of State Highway 205, along the South and East lines of said Lot 7, being the common West line of said Lot 8, the following two (2) courses and distances:

1. N 89°10'05" E, a distance of 249.46 feet to an "X" cut found at the Southeast corner of said Lot 7;
2. N 00°49'55" W, a distance of 193.03 feet to an "X" cut found in the South line of Lot 2, Block A, Stone Creek Retail Addition, a subdivision of record in Cabinet H, Page 15 of said Plat Records;

**THENCE**, along the South line of said Lot 2, being the common North line of said Lot 8, the following five (5) courses and distances:

1. N 89°10'05" E, a distance of 259.83 feet to an "X" cut found;
2. N 00°49'55" W, a distance of 54.37 feet to an "X" cut found;
3. N 89°10'05" E, a distance of 150.00 feet to an "X" cut found;
4. S 00°49'55" W, a distance of 39.00 feet to a 5/8 inch iron rod with a yellow plastic cap stamped "POGUE" found;
5. N 89°10'05" E, a distance of 191.17 feet to a 1/2 inch iron rod with a yellow cap stamped "WESTWOOD" found in the West right-of-way line of Fairfax Drive (100' right-of-way), being the Southeast corner of said Lot 2, also being the Northeast corner of said Lot 8;

**THENCE**, along the West right-of-way line of Fairfax Drive and, being the common East line of said Lot 8, the following three (3) course and distances:

1. S 00°49'55" E, a distance of 99.30 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of beginning of a curve to the right;
2. Along said curve to the right, having a radius of 550.00 feet, a delta angle of 21°03'11", a chord which bears S 09°41'40" W, a distance of 200.96 feet, an arc length of 202.10 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve;
3. S 20°13'15" W, a distance of 231.46 to an "X" cut set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**THENCE**, along the North right-of-way line of Bordeaux Drive, being the common South line of said Lot 8,

1. Along a curve to the left, having a radius of 650.00 feet, a delta angle of 16°44'48", a chord which bears N 82°33'52" W, a distance of 189.31 feet, an arc length of 189.99 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve;
2. S 89°03'43" W, a distance of 542.74 feet to the **POINT OF BEGINNING** and enclosing 8.01 acres (348,751 square feet) of land, more or less.

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT, **Crestview Real Estate**, the undersigned owner of the land shown on this plat, and designated herein as the **STONE CREEK RETAIL ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **STONE CREEK RETAIL ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

**8. All decorative sign and light poles to be maintained, repaired, and replaced by property owner.**

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: Crestview Real Estate

BY: \_\_\_\_\_ Date \_\_\_\_\_  
 Grey Stogner

STATE OF TEXAS §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared **Grey Stogner**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
 Notary Public in and for the State of Texas

**CERTIFICATE OF SURVEYOR**

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY**  
 this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

\_\_\_\_\_  
 Matthew Raabe  
 Registered Professional Land Surveyor #6402

\_\_\_\_\_  
 Date

**GENERAL NOTES**

- 1.) The purpose of this plat is to split a single lot of record into two lots and dedicate easements for site development.
- 2.) This property is located in "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 as shown on Map Number 48397C0030L.
- 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- 4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- 5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- 6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011).
- 7.) Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
- 8.) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

**CERTIFICATE OF APPROVAL**

\_\_\_\_\_  
 Chairman  
 Planning & Zoning Commission

\_\_\_\_\_  
 Date

**APPROVED:**

I hereby certify that the above and foregoing plat of **STONE CREEK RETAIL ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
 Mayor, City of Rockwall

\_\_\_\_\_  
 City Secretary, City of Rockwall

\_\_\_\_\_  
 City Engineer

**FINAL PLAT  
 STONE CREEK RETAIL ADDITION  
 LOTS 10 & 11, BLOCK A**

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION, RECORDED IN CABINET H, PAGE 147, P.R.R.C.T., SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	1910.030-03	 <b>EAGLE SURVEYING, LLC</b> 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	09/18/20	
Drafter	TAR/CF	

**SURVEYOR**  
 Eagle Surveying, LLC  
 210 S. Elm Street, Suite: 104  
 Denton, TX 76201  
 (940) 222-3009

**ENGINEER**  
 ClayMoore Engineering  
 1903 Central Drive, Suite 406  
 Bedford, TX 76021  
 (817) 281-0572

**OWNER**  
 Crestview Real Estate  
 12720 Hillcrest Road, Suite 650  
 Dallas, TX 75230





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision Stone Creek Retail Addition

Lot 8 Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Mixed-Retail/Rest//Office/Daycare

Acreage 8.00

Lots [Current] 1

Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Grey Stogner

Contact Person Clay Cristy

Address 1717 Woodstead Ct.  
Ste. 207

Address 1903 Central Dr.  
Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail gstogner@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Grey Stogner [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

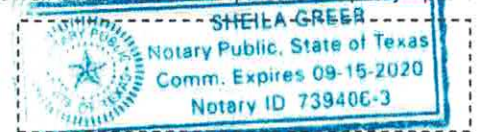
Given under my hand and seal of office on this the 30<sup>th</sup> day of February, 20 20.

Owner's Signature

*Grey Stogner*

Notary Public in and for the State of Texas

*Sheila Greer*



My Commission Expires 9-15-2020



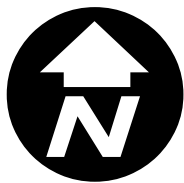
P2020-038- LOTS 10 & 11, BLOCK A, STONE CREEK RETAIL ADDITION  
REPLAT - LOCATION MAP =

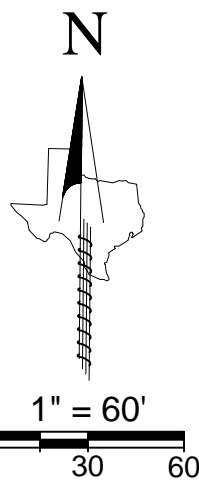


## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**LEGEND**

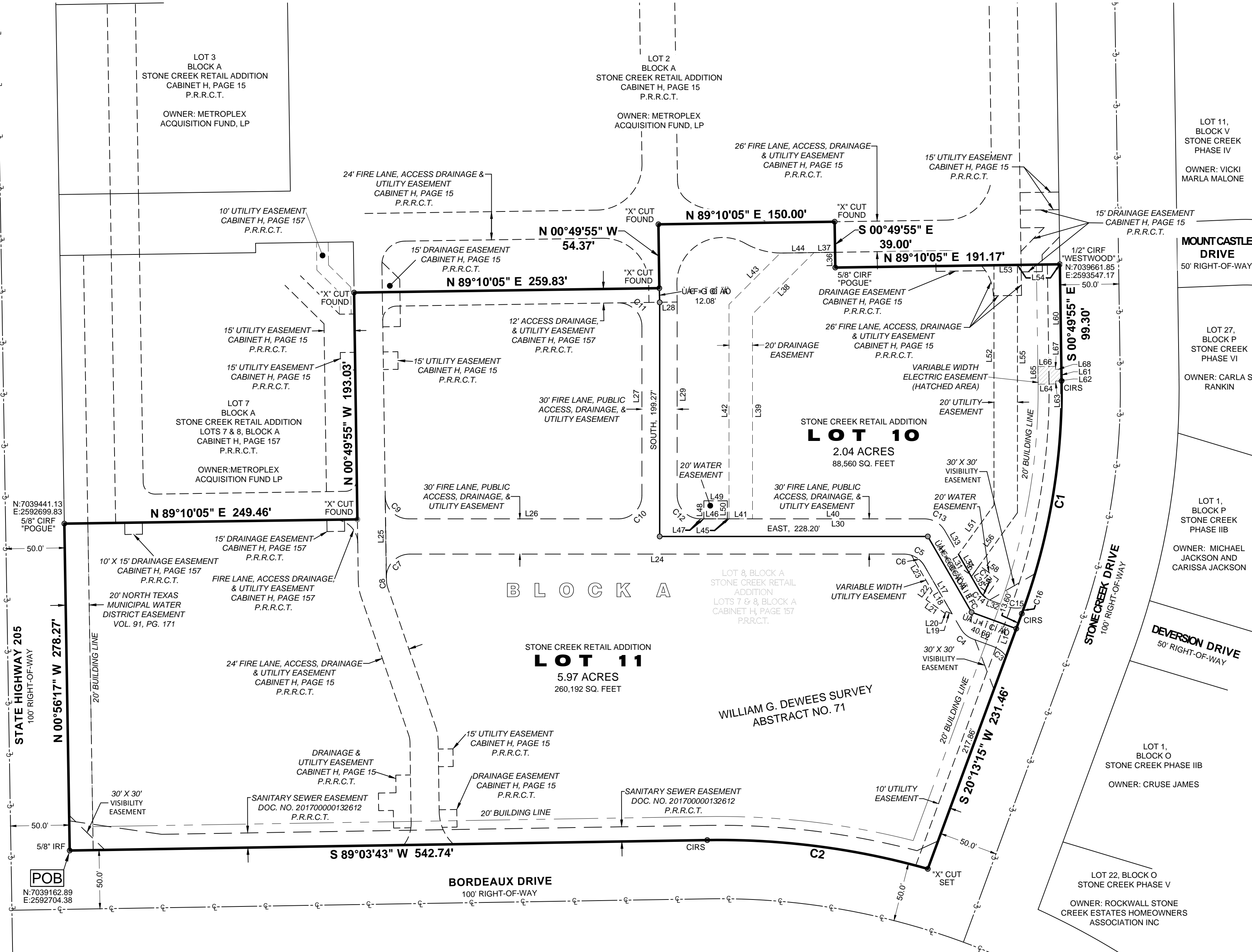
POB POINT OF BEGINNING  
 IRF = IRON ROD FOUND  
 CIRFS = CAPPED IRON ROD SET  
 CIRF = CAPPED IRON ROD FOUND  
 DOC. NO. = DOCUMENT NUMBER  
 D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. = PLAT RECORDS, ROCKWALL COUNTY, TEXAS

LINE	BEARING	DISTANCE
L1	UAEHFCAY	24.98'
L2	PAJHCIA	18.05'
L17	PAHCCGAY	61.77'
L18	UAHCCGAY	47.14'
L19	PAIHCIAY	5.30'
L20	UAHHCIA	1.85'
L21	PAIFCGAY	20.00'
L22	PAIHHCIA	9.02'
L23	PAHCCGAY	35.06'
L24	PAHCCGAY	420.73'
L25	PAHICGAY	69.91'
L26	PAHCCGAY	178.59'
L27	PAHCCGAY	143.84'
L28	PAIHCIAY	14.87'
L29	UAHCCGAY	164.56'
L30	PAHCCGAY	190.45'
L31	UAHCCGAY	58.86'
L32	UAJHCIA	13.58'
L33	UAHCCGAY	23.37'
L34	UAHCCGAY	21.94'
L35	UAHCCGAY	13.55'
L36	PAHHCIA	13.00'
L37	UAJHCIA	17.89'
L38	UAHCCGAY	74.08'
L39	UAHCCGAY	174.25'
L40	PAHCCGAY	146.32'
L41	PAHCCGAY	20.00'
L42	PAHCCGAY	182.53'
L43	PAHCCGAY	61.82'
L44	PAJHCIA	26.53'
L45	PAHCCGAY	1.40'
L46	PAHCCGAY	20.00'
L47	PAHCCGAY	2.73'
L48	PAHCCGAY	15.34'
L49	PAHCCGAY	20.00'
L50	UAHCCGAY	15.34'
L51	PAHHCIA	51.70'
L52	PAHCCGAY	204.14'
L53	PAJHCIA	20.00'
L54	PAJHCIA	36.09'
L55	UAHCCGAY	210.84'
L56	UAHHCIA	67.16'
L57	PAHHCIA	11.63'
L58	UAHCCGAY	20.00'
L59	UAHHCIA	18.96'
L60	UAHHCIA	89.30'
L61	UAHHCIA	10.00'
L62	UAJHCIA	5.00'
L63	UAHHCIA	2.50'
L64	UAJHCIA	15.00'
L65	PAHHCIA	15.00'
L66	PAJHCIA	15.00'
L67	UAHHCIA	2.50'
L68	PAJHCIA	5.00'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	202.10'	550.00'	6°48'58"	UAEHFCAY	200.96'
C2	189.99'	650.00'	FIHICIA	PAHHCIA	189.31'
C3	14.30'	25.00'	HCHICIA	PAHHCIA	14.11'
C4	13.89'	20.00'	HCHICIA	PAJHCIA	13.61'
C5	20.94'	20.00'	IHCIA	PAHCCGAY	20.00'
C6	14.46'	20.00'	IFHCIA	UAHCCGAY	14.14'
C7	31.64'	20.00'	JHHCIA	UAHCCGAY	28.45'
C8	8.63'	27.44'	FIHCIA	UAHHCIA	8.60'
C9	31.09'	20.00'	IHCIA	UAHHCIA	28.05'
C10	31.42'	20.00'	JHCIA	PAHCCGAY	28.28'
C11	31.73'	20.00'	JHCIA	PAHCCGAY	28.50'
C12	31.42'	20.00'	JHCIA	UAHCCGAY	28.28'
C13	20.94'	20.00'	IHCIA	UAHCCGAY	20.00'
C14	13.89'	20.00'	HCHICIA	UAJHCIA	13.61'
C15	15.25'	25.00'	HCHICIA	UAHHCIA	15.01'
C16	5.91'	549.92'	CHICIA	UAJHCIA	5.91'
C17	7.89'	20.00'	GHHCIA	UAHHCIA	7.84'

LOT 4, BLOCK A, MASON-STEED ADDITION, OWNER: LIU JOHN Q AND CONNIE Q

LOT 4, BLOCK A, MASON-STEED ADDITION, OWNER: JASON STEED & NATALIE MARIE STEED



POB N:7039162.89 E:2592704.38

**FINAL PLAT  
 STONE CREEK RETAIL ADDITION  
 LOTS 10 & 11, BLOCK A**

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION, RECORDED IN CABINET H, PAGE 147, P.R.R.C.T., SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

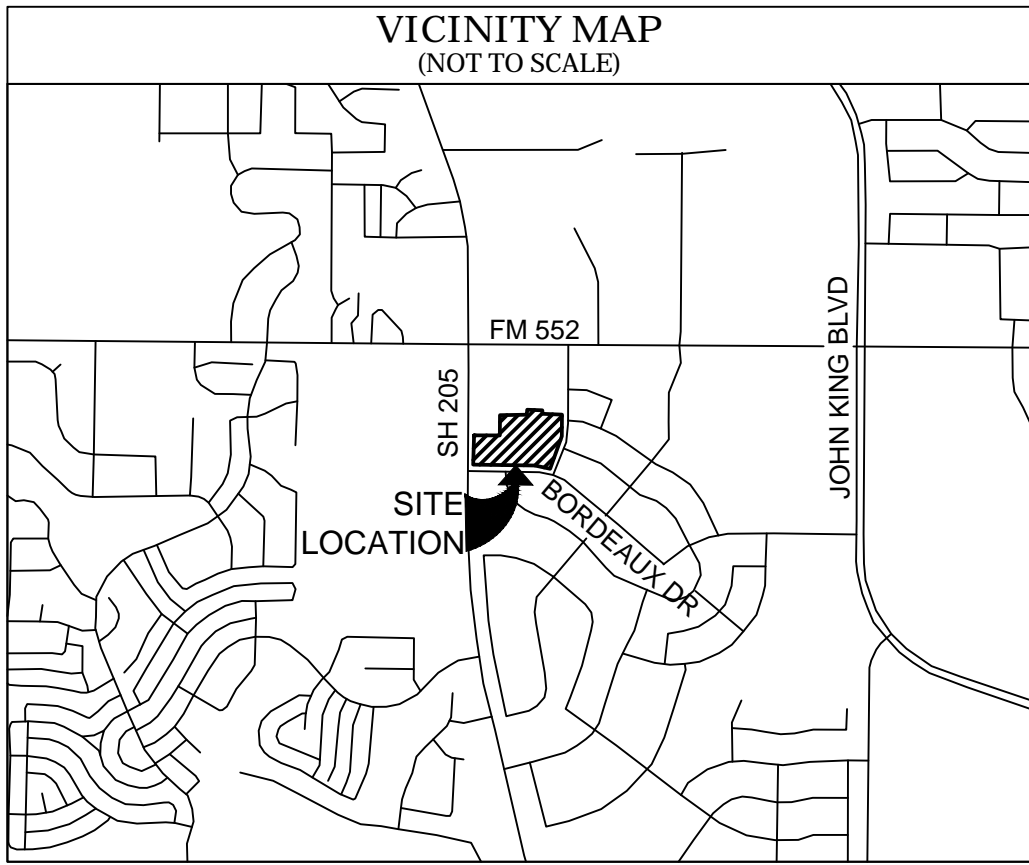
Project: 1910.030-03  
 Date: 09/18/20  
 Drafter: TAR/CF

**EAGLE SURVEYING, LLC**  
 210 S. Elm Street, Suite: 104  
 Denton, TX 76201  
 (940) 222-3009  
 TX Firm #10194177

**ENGINEER**  
 ClayMoore Engineering  
 1903 Central Drive, Suite 406  
 Bedford, TX 76021  
 (817) 281-0572

**SURVEYOR**  
 Eagle Surveying, LLC  
 210 S. Elm Street, Suite 104  
 Denton, TX 76201  
 (940) 222-3009

**OWNER**  
 Crestview Real Estate  
 12720 Hillcrest Road, Suite 650  
 Dallas, TX 75230



**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

WHEREAS, **Crestview Real Estate**, is the owner of an 8.01 acre tract of land out of the William G. Dewees Survey, Abstract Number 71, situated in the City of Rockwall, Rockwall County, Texas, being all of Lot 8, Block A of Stone Creek Retail Addition, Lots 7 & 8, Block A, a subdivision of record in Cabinet H, Page 157 of the Plat Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING**, at the Southwest corner of said Lot 8, being the Southwest corner of said Lot 8, Bordeaux Drive (100' right-of-way), being the Southwest corner of said Lot 8;

**THENCE** E 90° 00' 00" A to the East line of said Lot 8, being the common East line of said Lot 8, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**THENCE**, leaving the East right-of-way line of State Highway 205, along the South and East lines of said Lot 7, being the common West line of said Lot 8, the following two (2) courses and distances:

1. S 89° 59' 59" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;
2. N 00° 00' 00" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**THENCE**, along the South line of said Lot 2, being the common North line of said Lot 8, the following five (5) courses and distances:

1. S 89° 59' 59" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;
2. N 00° 00' 00" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;
3. S 89° 59' 59" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;
4. N 00° 00' 00" W, a distance of 193.03 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;
5. N 11° 59' 59" E, a distance of 191.17 feet to a 1/2 inch iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive (100' right-of-way), being the Southeast corner of said Lot 2, also being the Northeast corner of said Lot 8;

**THENCE**, along the West right-of-way line of Fairfax Drive and, being the common East line of said Lot 8, the following three (3) course and distances:

1. S 89° 59' 59" E, a distance of 99.30 feet to a 1/2 inch iron rod with green plastic cap stamped "0000 0000" and set at the point of beginning of a curve to the right;
2. Along said curve to the right, having a radius of 550.00 feet, a delta angle of 6° 59' 59" chord which bears S 89° 59' 59" E, a distance of 200.96 feet, an arc length of 36.58 feet, and a central angle of 6° 59' 59";
3. S 89° 59' 59" E, a distance of 231.46 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**THENCE**, along the North right-of-way line of Bordeaux Drive, being the common South line of said Lot 8,

1. Along a curve to the left, having a radius of 650.00 feet, a delta angle of 6° 59' 59" chord which bears N 11° 59' 59" W, a distance of 189.31 feet, an arc length of 33.17 feet, and a central angle of 6° 59' 59";
2. N 11° 59' 59" W, a distance of 189.31 feet to an iron rod with a yellow cap stamped "0000 0000" and set at the intersection of the West right-of-way line of Fairfax Drive and the curving North right-of-way line of Bordeaux Drive, being the Southeast corner of said Lot 8;

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT, **Crestview Real Estate**, the undersigned owner of the land shown on this plat, and designated herein as the **STONE CREEK RETAIL ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **STONE CREEK RETAIL ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or easements made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: Crestview Real Estate

BY: \_\_\_\_\_  
 Grey Stogner

\_\_\_\_\_  
 Date

STATE OF TEXAS §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared **Grey Stogner**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

**CERTIFICATE OF SURVEYOR**

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY**

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe  
 Registered Professional Land Surveyor #6402

\_\_\_\_\_  
 Date

**CERTIFICATE OF APPROVAL**

\_\_\_\_\_  
 Chairman  
 Planning & Zoning Commission

\_\_\_\_\_  
 Date

**APPROVED:**

I hereby certify that the above and foregoing plat of **STONE CREEK RETAIL ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
 Mayor, City of Rockwall

\_\_\_\_\_  
 City Secretary, City of Rockwall

\_\_\_\_\_  
 City Engineer

GENERAL NOTES	
1.)	The purpose of this plat is to split a single lot of record into two lots and dedicate easements for site development.
2.)	This property is located in "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 as shown on Map Number 48397C0030L.
3.)	The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011) State Plane Coordinate System (Texas North Central Zone - 4202).
4.)	Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
5.)	All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
6.)	The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. North American Datum of 1983 (adjustment realization 2011).
7.)	Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
8.)	It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Project	1910.030-03	 EAGLE SURVEYING, LLC 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	09/18/20	
Drafter	TAR/CF	

**SURVEYOR**  
 Eagle Surveying, LLC  
 210 S. Elm Street, Suite: 104  
 Denton, TX 76201  
 (940) 222-3009

**ENGINEER**  
 ClayMoore Engineering  
 1903 Central Drive, Suite 406  
 Bedford, TX 76021  
 (817) 281-0572

**OWNER**  
 Crestview Real Estate  
 12720 Hillcrest Road, Suite 650  
 Dallas, TX 75230

**FINAL PLAT  
 STONE CREEK RETAIL ADDITION  
 LOTS 10 & 11, BLOCK A**

BEING A REPLAT OF LOT 8, BLOCK A OF STONE CREEK RETAIL ADDITION, RECORDED IN CABINET H, PAGE 147, P.R.R.C.T., SITUATED IN THE WILLIAM G. DEWEES SURVEY, ABSTRACT No. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Lot File: Z:\OFFICE\PROJECTS\2019\1910 - October 2019\19-10-30 STONE CREEK DRIVE\DWG\  
CRD File: Z:\OFFICE\COORD\19-10-30 STONECREEK DR.crd

Lot: 8 , Block: A, Type: LOT

PNT#	Bearing	Distance	Northing	Easting	Station
105	N 00°56'17" W	278.272	7039162.894	2592704.384	0.000
104	N 89°10'05" E	249.457	7039441.129	2592699.829	278.272
100	N 00°49'55" W	193.030	7039444.750	2592949.260	527.729
101	N 89°10'05" E	259.830	7039637.760	2592946.457	720.759
110	N 00°49'55" W	54.370	7039641.532	2593206.260	980.589
109	N 89°10'05" E	150.000	7039695.897	2593205.470	1034.959
108	S 00°49'55" E	39.000	7039698.074	2593355.454	1184.959
107	N 89°10'05" E	191.170	7039659.079	2593356.021	1223.959
106	S 00°49'55" E	99.300	7039661.854	2593547.171	1415.129
S10			7039562.565	2593548.612	1514.429
Radius: 550.000 Length: 202.095 Chord: 200.960 Delta: 21°03'11"					
Chord BRG: S 09°41'40" W Rad-In: S 89°10'05" W Rad-Out: N 69°46'44" W					
Radius Pt: C10 7039554.578,2592998.670 Tangent: 102.200 Dir: Right					
Tangent-In: S 00°49'55" E Tangent-Out: S 20°13'16" W Tangential-In Tangential-Out					
S11			7039364.474	2593514.772	1716.524
	S 20°13'15" W	231.460			
S12			7039147.280	2593434.770	1947.984
Radius: 650.000 Length: 189.986 Chord: 189.310 Delta: 16°44'48"					
Chord BRG: N 82°33'52" W Rad-In: S 15°48'32" W Rad-Out: S 00°56'16" E					
Radius Pt: C11 7038521.866,2593257.690 Tangent: 95.675 Dir: Left					
Tangent-In: N 74°11'28" W Tangent-Out: S 89°03'44" W Non Tangential-In Tangential-In					
S13			7039171.779	2593247.052	2137.970
	S 89°03'43" W	542.740			
105			7039162.894	2592704.384	2680.710

Closure Error Distance> 0.00000  
Total Distance> 2680.710  
Area: 348751 Sq. Feet, 8.0062 Acres

Block A Total Area: 348751 Sq. Feet, 8.0062 Acres



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

TO: Planning and Zoning Commission  
DATE: September 29, 2020  
APPLICANT: Brad Bacon; *Bacon Property, LLC*  
CASE NUMBER: P2020-041; *Lot 1, Block A, Bacon Addition*

---

### SUMMARY

Consider a request by Brad Bacon of Bacon Property, LLC for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a final plat for a 3.57-acre parcel of land currently identified as Lot 1-M, Block A, Bodin Industrial Tract for the purpose of establishing one (1) lot (*i.e. Lot 1, Block A, Bacon Addition*) to facilitate the construction of a ~20,823 SF single-story office/warehouse facility.
- ☑ On August 16, 1979, a final plat was filed with Rockwall County establishing the Bodin Industrial Tract. This plat designated the subject property as a portion of Lot 1 of the Bodin Industrial Tract. On December 21, 2009, the subject property was established as Lot 1-M of the Bodin Industrial Tract by *Volume 6001, Page 215*, which conveyed the subject property as a portion of Lot 1 of the Bodin Industrial Tract (*i.e. subdividing the tract by metes and bounds*). On February 11, 2020, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2019-047*] for a ~20,823 SF office/warehouse facility.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for *Lot 1, Block A, Bacon Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: P2020-041  
PROJECT NAME: Lot 1, Block A, Bacon Addition  
SITE ADDRESS/LOCATIONS: 2055 KRISTY LN, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Consider a request by Brad Bacon of Bacon Property, LLC for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: P2020-041; Final Plat for Lot 1, Block A, Bacon Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email [hlee@rockwall.com](mailto:hlee@rockwall.com).

M.3 For reference, include the case number (P2020-041) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the IH-30 Overlay (IH-30 OV), and the Light Industrial (LI) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

M.7 Correct Title Block to read as follows:

Final Plat

Lots 1, Block A, Bacon Addition

Being a Replat of Lot 1M, Block A, Bodin Industrial Tract

Containing a Total of 3.57 Acres / 155,294 SF

Situated in the N.M. Ballard Survey, A-24

City of Rockwall, Rockwall County, Texas

M.8 Verify the acreage.

M.9 Verify the adjacent properties. Per our records Lot 1-B is Lot 1-A.

M.10 Include the required storm drainage improvement statement as #7 on sheet 2.

M.11 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.13 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.14 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) City Council meeting will be held on October 5, 2020.

I.15 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Must include the detention easements on the plat.

M - Must include the signature page of the plat.

M - Must include bearings and distances for each of the easements lines and curves.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	09/24/2020	N/A

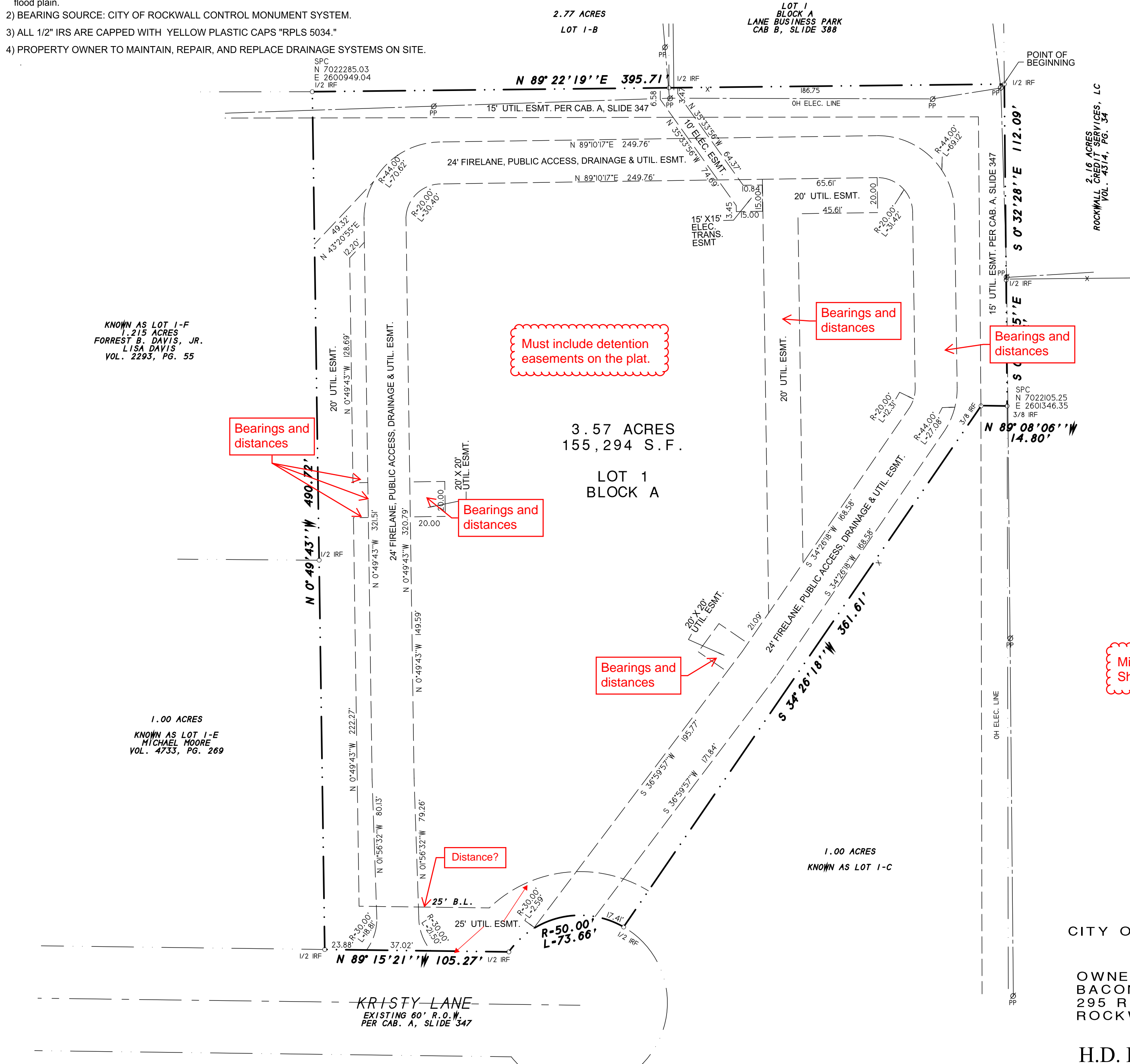
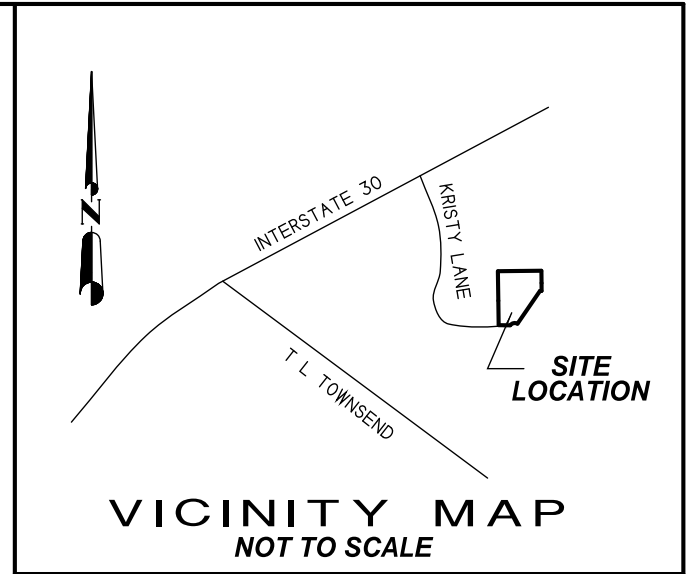
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

09/21/2020: No comments



- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
  - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.



Bearings and distances

Must include detention easements on the plat.

Bearings and distances

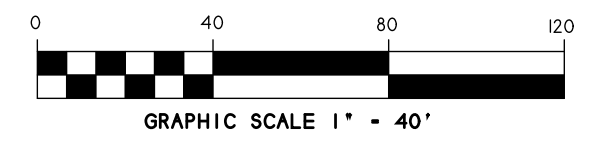
Bearings and distances

Bearings and distances

Bearings and distances

Distance?

Missing Signature Sheet



FINAL PLAT  
**BACON ADDITION  
 LOT 1, BLOCK A**  
 BEING A REPLAT OF  
 PART OF LOT 1, BLOCK A  
 BODIN INDUSTRIAL TRACT  
 3.57 ACRES/155,294 S.F.  
 ( 1 LOT )  
 N.M. BALLARD SURVEY, A-24  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:  
**BACON PROPERTY, LLC**  
 295 RANCH TRAIL  
 ROCKWALL, TEXAS 75032

SYMBOL LEGEND	
⊕	TV
⊙	TELEPHONE
⊗	CABLE RISER
⊕	GAS
⊙	METER
⊗	PRIME
⊕	RISER
⊙	FIRE
⊗	HYDRANT
⊕	POWER
⊙	POLE
⊗	1/2" IRF
⊕	3/8" IRF
⊙	1" IRF
⊗	2" IRF
⊕	4" IRF
⊙	8" IRF
⊗	12" IRF
⊕	18" IRF
⊙	24" IRF
⊗	30" IRF
⊕	36" IRF
⊙	42" IRF
⊗	48" IRF
⊕	54" IRF
⊙	60" IRF
⊗	66" IRF
⊕	72" IRF
⊙	78" IRF
⊗	84" IRF
⊕	90" IRF
⊙	96" IRF
⊗	102" IRF
⊕	108" IRF
⊙	114" IRF
⊗	120" IRF
⊕	126" IRF
⊙	132" IRF
⊗	138" IRF
⊕	144" IRF
⊙	150" IRF
⊗	156" IRF
⊕	162" IRF
⊙	168" IRF
⊗	174" IRF
⊕	180" IRF
⊙	186" IRF
⊗	192" IRF
⊕	198" IRF
⊙	204" IRF
⊗	210" IRF
⊕	216" IRF
⊙	222" IRF
⊗	228" IRF
⊕	234" IRF
⊙	240" IRF
⊗	246" IRF
⊕	252" IRF
⊙	258" IRF
⊗	264" IRF
⊕	270" IRF
⊙	276" IRF
⊗	282" IRF
⊕	288" IRF
⊙	294" IRF
⊗	300" IRF
⊕	306" IRF
⊙	312" IRF
⊗	318" IRF
⊕	324" IRF
⊙	330" IRF
⊗	336" IRF
⊕	342" IRF
⊙	348" IRF
⊗	354" IRF
⊕	360" IRF
⊙	366" IRF
⊗	372" IRF
⊕	378" IRF
⊙	384" IRF
⊗	390" IRF
⊕	396" IRF
⊙	402" IRF
⊗	408" IRF
⊕	414" IRF
⊙	420" IRF
⊗	426" IRF
⊕	432" IRF
⊙	438" IRF
⊗	444" IRF
⊕	450" IRF
⊙	456" IRF
⊗	462" IRF
⊕	468" IRF
⊙	474" IRF
⊗	480" IRF
⊕	486" IRF
⊙	492" IRF
⊗	498" IRF
⊕	504" IRF
⊙	510" IRF
⊗	516" IRF
⊕	522" IRF
⊙	528" IRF
⊗	534" IRF
⊕	540" IRF
⊙	546" IRF
⊗	552" IRF
⊕	558" IRF
⊙	564" IRF
⊗	570" IRF
⊕	576" IRF
⊙	582" IRF
⊗	588" IRF
⊕	594" IRF
⊙	600" IRF
⊗	606" IRF
⊕	612" IRF
⊙	618" IRF
⊗	624" IRF
⊕	630" IRF
⊙	636" IRF
⊗	642" IRF
⊕	648" IRF
⊙	654" IRF
⊗	660" IRF
⊕	666" IRF
⊙	672" IRF
⊗	678" IRF
⊕	684" IRF
⊙	690" IRF
⊗	696" IRF
⊕	702" IRF
⊙	708" IRF
⊗	714" IRF
⊕	720" IRF
⊙	726" IRF
⊗	732" IRF
⊕	738" IRF
⊙	744" IRF
⊗	750" IRF
⊕	756" IRF
⊙	762" IRF
⊗	768" IRF
⊕	774" IRF
⊙	780" IRF
⊗	786" IRF
⊕	792" IRF
⊙	798" IRF
⊗	804" IRF
⊕	810" IRF
⊙	816" IRF
⊗	822" IRF
⊕	828" IRF
⊙	834" IRF
⊗	840" IRF
⊕	846" IRF
⊙	852" IRF
⊗	858" IRF
⊕	864" IRF
⊙	870" IRF
⊗	876" IRF
⊕	882" IRF
⊙	888" IRF
⊗	894" IRF
⊕	900" IRF
⊙	906" IRF
⊗	912" IRF
⊕	918" IRF
⊙	924" IRF
⊗	930" IRF
⊕	936" IRF
⊙	942" IRF
⊗	948" IRF
⊕	954" IRF
⊙	960" IRF
⊗	966" IRF
⊕	972" IRF
⊙	978" IRF
⊗	984" IRF
⊕	990" IRF
⊙	996" IRF
⊗	1002" IRF

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>

Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>

Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>

Replat (\$300.00 + \$20.00 Acre)<sup>1</sup> **\$ 371.40**

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>

Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>

PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

Tree Removal (\$75.00)

Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address: **2055 KRISTY LANE**

Subdivision: **BACON ADDITION REPEAT BODIN INDUSTRIAL** Lot **1** Block **A**

General Location: **KRISTY LANE - END**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: **C** Current Use: **C**

Proposed Zoning: **C** Proposed Use: **C**

Acreage: **3.57** Lots [Current]: **1** Lots [Proposed]: **1**

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<b>BACON PROPERTY</b>	<input type="checkbox"/> Applicant	
Contact Person	<b>BRAD BACON</b>	Contact Person	
Address	<b>295 RANCH TRAIL</b>	Address	
City, State & Zip	<b>ROCKWALL, TX 75032</b>	City, State & Zip	
Phone	<b>972-236-5794</b>	Phone	
E-Mail	<b>brad@everyone.loves.com</b>	E-Mail	

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared **BRAD BACON** [Owner] the undersigned, who stated the information on this application to be true and certified the following:

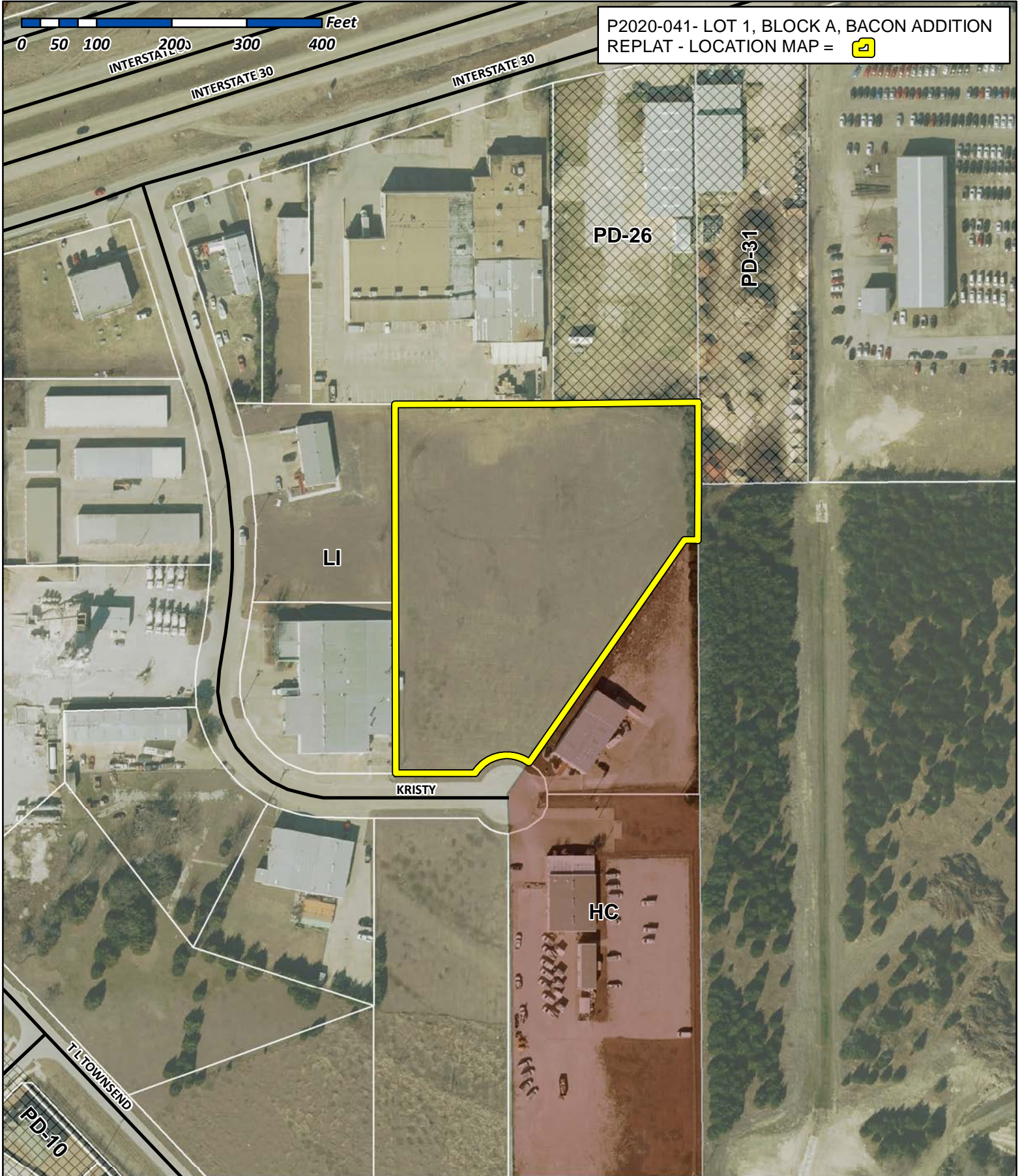
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ **371.40**, to cover the cost of this application, has been paid to the City of Rockwall on this the **21st** day of **September**, 20 **20**. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the **21st** day of **September**, 20 **20**.

Owner's Signature

Notary Public in and for the State of Texas

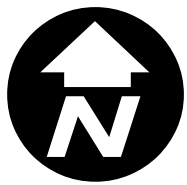
My Commission Expires



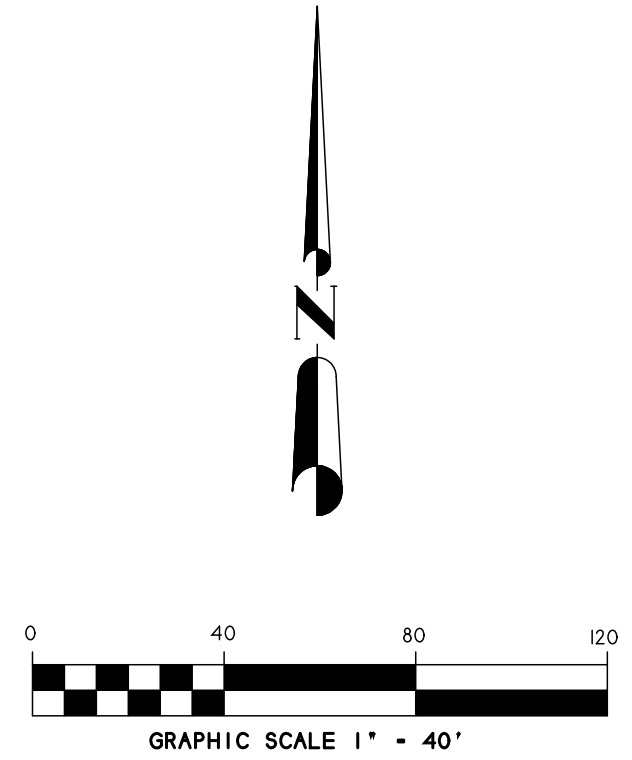
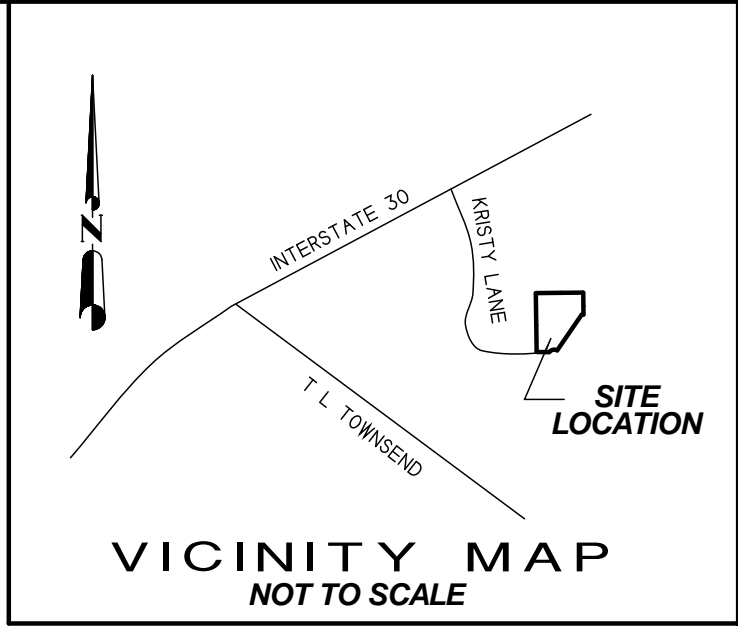
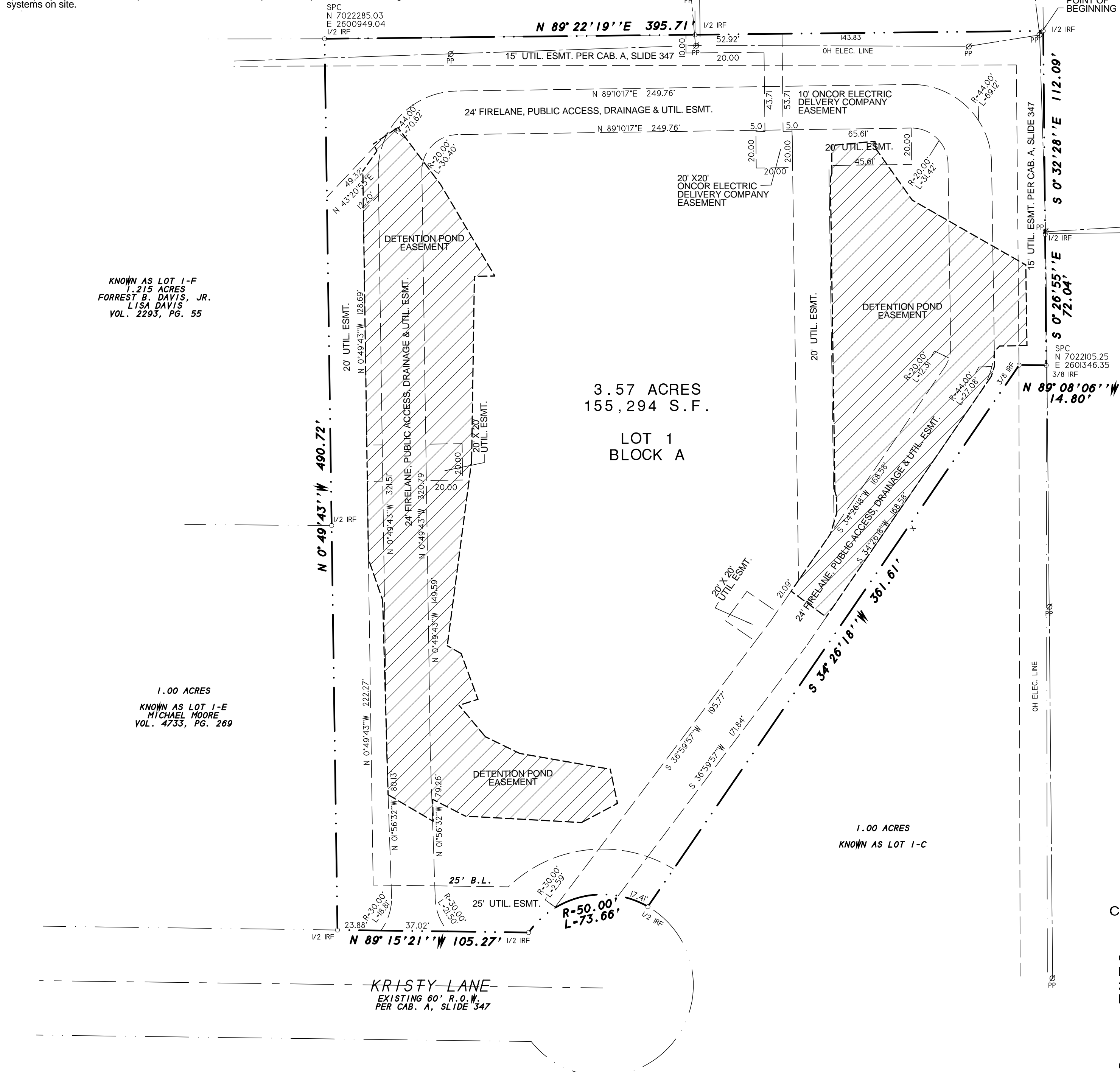
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
  - 4) Property owner shall be responsible for maintenance, repair, and replacement of drainage and detention systems on site.



FINAL PLAT  
**BACON ADDITION**  
**LOT 1, BLOCK A**  
 BEING A REPLAT OF  
 PART OF LOT 1, BLOCK A  
 BODIN INDUSTRIAL TRACT  
 3.57 ACRES/155,294 S.F.  
 ( 1 LOT )  
 N.M. BALLARD SURVEY, A-24  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 SHEET 1 OF 2

OWNER:  
 BACON PROPERTY, LLC  
 295 RANCH TRAIL  
 ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND	
⊙	TV
⊕	TELEVISION CABLE RISER
⊗	GAS
⊙	METER
⊕	TEL
⊗	PHONE RISER
⊙	FIH
⊕	HYDRANT
⊗	POWER POLE
⊙	ELEC
⊕	ELECTRIC METER
⊗	BOX
⊙	WATER METER
⊕	LP
⊗	1/2" BIF
⊙	FOR SOUND
⊕	FOR CORNER
⊗	PROPR. MARK
⊙	A/C
⊕	COND. UNIT
⊗	PROPANE TANK
---	EXISTING LINE
---	PROPERTY LINES
---	FENCE

SURVEY DATE OCTOBER 8, 2019  
 SCALE 1" = 40' FILE # 20090752-RP  
 CLIENT BACON

OWNER'S CERTIFICATE  
(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS BACON PROPERTY, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a part of Lot 1, BODIN INDUSTRIAL TRACT, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 347, of the Plat Records of Rockwall County, Texas, together with a Certificate of Correction of Error, as recorded in Volume 211, Page 632 of the Real Estate Records of Rockwall County, Texas, and being all of a 3.543 acres tract of land as described in a Deed to D. Armstrong Partners, LP, as recorded in Volume 3925, Page 148 of the Real Property Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the most easterly northeast corner of said Lot 1 and said Armstrong tract;

THENCE S. 00 deg. 32 min. 28 sec. E. along the east line of said Lot 1, a distance of 112.09 feet to a 1/2" iron rod found for corner at the southwest corner of a 2.16 acres tract of land as described in a Warranty deed to Rockwall Credit Services, LC as recorded in Volume 4314, Page 34 of the Real Property Records of Rockwall County, Texas;

THENCE S. 00 deg. 26 min. 55 sec. E. along the East line of said Armstrong tract, a distance of 72.04 feet to a 3/8" iron rod found for corner at the east most southeast corner of said Armstrong tract;

THENCE N. 89 deg. 08 min. 06 sec. W. a distance of 14.80 feet to a 3/8" iron rod found for corner;

THENCE S. 34 deg. 26 min. 18 sec. W. a distance of 361.61 feet to a 1/2" iron rod found for corner in the north right-of-way line of Kristy Lane (60' R.O.W.);

THENCE in a southwesterly direction along a curve to the left having a central angle of 84 deg. 24 min. 44 sec., a radius of 50.00 feet, a tangent of 45.35 feet, a chord of S. 77 deg. 45 min. 05 sec. W., 67.18 feet, along said right-of-way line an arc distance of 73.66 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 15 min. 21 sec. W. along said right-of-way line, a distance of 105.27 feet to a 1/2" iron rod found for corner at the southeast corner of a 1.01 acres tract of land as described in a Warranty deed to Michael Moore as recorded in Volume 4733, Page 269 of the Real Property Records of Rockwall County, Texas;

THENCE N. 00 deg. 49 min. 43 sec. W. a distance of 490.72 feet to a 1/2" iron rod found for corner at the northwest corner of said Armstrong tract and at the northeast corner of a 1.215 acres tract as described in a Warranty deed to Forrest B. Davis Jr. and Lisa Davis, as recorded in Volume 2293, Page 55 of the Real Property Records of Rockwall County, Texas;

THENCE N. 89 deg. 22 min. 19 sec. E. along the north boundary line of said Armstrong tract, a distance of 395.71 feet to the POINT OF BEGINNING and containing 155,294 square feet or 3.57 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as BACON ADDITION, LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BACON ADDITION, LOT 1, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

BRAD BACON  
for Bacon Property, LLC

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BRAD BACON known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of BACON ADDITION, LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT  
**BACON ADDITION  
LOT 1, BLOCK A**  
BEING A REPLAT OF  
PART OF LOT 1, BLOCK A  
BODIN INDUSTRIAL TRACT  
3.57 ACRES/155,294 S.F.  
( 1 LOT )  
N.M. BALLARD SURVEY, A-24  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
SHEET 2 OF 2

OWNER:  
BACON PROPERTY, LLC  
295 RANCH TRAIL  
ROCKWALL, TEXAS 75032

SYMBOL LEGEND									
TV	GAS	TEL	FI	PF					
TELEVISION	CABLE	CABLE	POLE	POLE					
WATER	WATER	WATER	WATER	WATER					
ELEC	ELEC	WATER	LP	1/2" IRON ROD FOUND					
ELECTRIC	WATER	WATER	WATER	WATER					
WATER	WATER	WATER	WATER	WATER					
WATER	WATER	WATER	WATER	WATER					
WATER	WATER	WATER	WATER	WATER					
WATER	WATER	WATER	WATER	WATER					
WATER	WATER	WATER	WATER	WATER					

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO. P2020-



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 29, 2020  
**APPLICANT:** Wesley & Carlee Kuenstler and Brandon & Pare Underwood  
**CASE NUMBER:** P2020-042; *Lots 1 & 2, Block A, K. U. Ranch and Rec Addition*

---

### SUMMARY

Discuss and consider a request by Wesley & Carlee Kuenstler and Brandon & Pare Underwood for the approval of a Final Plat for Lots 1 & 2, Block A, K. U. Ranch and Rec Addition being a 6.83-acre tract of land identified as Tract 26 of the J. P. Davis Survey, Abstract No. 249, Collin County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), address 11644 County Road 536, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 6.83-acre tract of land (*i.e. Tract 26 of the J. P. Davis Survey, Abstract No. 249*) for the purpose of creating two (2) lots (*i.e. Lots 1 & 2, Block A, K. U. Ranch and Rec Addition*). The subject property is situated in Collin County and is within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). Both properties will have frontage on County Road 536, with Lot 1 having 266.42-feet of frontage and Lot 2 having 30-feet of lot frontage. The property is generally located in the northwest quadrant of the intersection of Chaparral Trot and North Smith Road in Collin County and is currently address 11644 County Road 536.
- The proposed final plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, and the *Interlocal Subdivision Agreement* between Collin County and the City of Rockwall.
- According to the *Interlocal Subdivision Agreement* between Collin County and the City of Rockwall, the City of Rockwall shall have exclusive jurisdiction to regulate all subdivision plats within the City of Rockwall's Extraterritorial Jurisdiction (ETJ) "... in accordance with Chapter 212 of the Local Government Code, its adopted *Subdivision Ordinance* or other applicable codes or ordinances ..."
- The surveyor has completed the majority of the technical revisions required by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Interlocal Agreement between Collin County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and the *Interlocal Agreement between Collin County and the City of Rockwall*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 1 & 2, Block A, K. U. Ranch and Rec Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Collin County shall be addressed prior to filing of the plat with Collin County; and,
- (2) The applicant shall have the city approved plat mylar signed by the Collin County Judge prior to staff accepting the plat for filing purposes.
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-042  
PROJECT NAME: Lots 1 & 2, KU Ranch and Rec  
SITE ADDRESS/LOCATIONS: 11644 County Road 536

CASE MANAGER: David Gonzales  
CASE MANAGER PHONE: (972) 772-6488  
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Wesley & Carlee Kuenstler and Bandon & Pare Underwood for the approval of a Final Plat for Lots 1 & 2, Block A, K. U. Ranch and Rec Addition being a 6.83-acre tract of land identified as Tract 26 of the J. P. Davis Survey, Abstract No. 249, Collin County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), address 11644 County Road 536, and take any action necessary.

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/24/2020	Needs Review

---

09/24/2020: P2020-042; Final Plat for Lots 1 & 2, Block A, K.U. Ranch and Rec Addition - ETJ  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, K. U. Ranch and Rec Addition being a 6.83-acre tract of land identified as Tract 26 of the J. P. Davis Survey, Abstract No. 249, Collin County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), address 11644 County Road 536, and take any action necessary.
- I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (P2020-042) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
- I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Interlocal Agreement between Collin County and the City of Rockwall that are applicable to the subject property.
- I.5 The final plat shall conform to all standards and requirements of Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Interlocal Agreement between Collin County and the City of Rockwall, the staff comments provided by the Planning, Engineering, and Fire Department as indicated in the Project Plan Review document.
- I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.
- I.7 See comments identified on plat by staff and make the following corrections as noted:
  - 1. Remove line from plat indicating "tree line" that is located on Lot 2.
  - 2. Change signature block under 'Approved' to read "I hereby certify that the above and forgoing plat of Lots 1 & 2, Block A, K.U. Ranch and Rec Addition to the extraterritorial jurisdiction (ETJ) of the City of Rockwall, Rockwall, Texas, was approved by the City Council..."
  - 3. Under General Notes: remove the first note as indicated (i.e. It shall be the policy of the City of Rockwall...).
  - 4. Under General Notes; add to the notes 'the City of Rockwall' where indicated (i.e. Collin County or the City of Rockwall will not be responsible for...).



5. Under "Now, Therefore, Know All Men by These Present:" a new paragraph starts after No. 7, which reads "Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements."

6. See engineering mark-ups on separate sheet.

I.8 Please provide two (2) large copies [18" X 24" FOLDED] on bonded paper and one PDF version for a subsequent/final review by staff.

M.9 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.10 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on September 29, 2020.

2) City Council meeting will be held on October 5, 2020.

I.11 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - "Until an escrow...." is a new paragraph.

M - Change linework to show the new property limits for Lot 2. The current linework looks like a building setback or easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	09/24/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	David Gonzales	09/25/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	David Gonzales	09/23/2020	N/A

No Comments

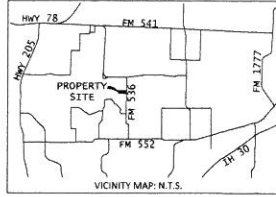
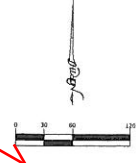
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/23/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	09/23/2020	N/A

No Comments

Provide scale:  
1 inch = ?



OWNERS CERTIFICATE  
STATE OF TEXAS  
COUNTY OF COLLIN:  
WHEREAS, Wesley and Carlee Kuenstler and Brandon and Paire Underwood, are the owners of all that street and land situated in the James P. Davis Survey, Abstract No. 248, Collin County, Texas, a portion being conveyed to Wesley and Carlee Kuenstler as recorded under Instrument No. 20200909001517980, (D.R.C.C.T.), and a portion being conveyed to Brandon and Paire Underwood as recorded under Instrument No. 20200909001516650, (D.R.C.C.T.), as shown on survey and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch yellow capped iron rod found for corner in the West edge of County Road 536, at the Southeast corner of a tract of land described in deed to Rob Whigham and Tabby Whigham, recorded under Instrument No. 20151030001327370 (D.R.C.C.T.), being the Northeast corner of said \*\*\*\*\* tract;

THENCE South 00 degrees 35 minutes 23 seconds West, a distance of 296.42 feet, along said County Road 536 to a 1/2 inch yellow-capped iron rod found for corner at the Northeast corner of a tract of land described in deed to Claudia Gonzalez and Jorge Gonzalez, as recorded under Instrument No. 20151014001501340 (D.R.C.C.T.);

THENCE North 89 degrees 24 minutes 37 seconds West, a distance of 1,002.58 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being on the East line of a tract of land conveyed to James P. Neil and Michele A. Neil, as recorded under Instrument No. 20091010001327370 (D.R.C.C.T.);

THENCE North 89 degrees 24 minutes 37 seconds West, a distance of 1,002.58 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being the Southeast corner of said Whigham tract;

THENCE South 89 degrees 24 minutes 37 seconds East, a distance of 1,004.55 to the PLACE OF BEGINNING and containing 297,480 square feet or 6.829 acres of land.

- GENERAL NOTES:
- 1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREON ISSUED. NOW SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
  - 2. BLOCKING THE FLOW OF WATER OR CONSTRUCTION IMPROVEMENTS IN DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
  - 3. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVELLED BY OR ADJACENT TO THE DRAINAGE COURSE ALONG OR ACROSS SAID LOTS.
  - 4. COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGEWAYS OR FOR THE CONTROL OF EROSION IN SAID DRAINAGEWAYS.
  - 5. COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING FOR FLOODING CONDITIONS.
  - 6. COLLIN COUNTY PERMITS ARE REQUIRED FOR BUILDING CONSTRUCTION, ON-SITE SEWAGE FACILITIES AND DRIVEWAY CULVERTS.
  - 7. ALL PRIVATE DRIVEWAY AND TO A COUNTY MAINTAINED ROADWAY MUST BE EVEN WITH THE EXISTING DRIVING SURFACE.
  - 8. ALL SURFACE DRAINAGE EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, FOUNDATIONS AND PAINTING, AND OTHER OBSTRUCTION TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF COLLIN  
I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as LOT 1 and LOT 2, BLOCK A, K.U. RANCH AND REC subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public; forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the K.U. RANCH AND REC subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the

Start new paragraph with Until and escrow...

City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curbs and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall.

7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements. Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements as prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requests to the city secretary, supported by evidence of work done.

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or creation's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of easements made herein.

WESLEY KUENSTLER  
CARLEE KUENSTLER  
BRANDON UNDERWOOD  
PAIRE UNDERWOOD

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared CARLEE KUENSTLER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared BRANDON UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared PAIRE UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

FINAL PLAT  
K.U. RANCH AND REC  
LOT 1 & LOT 2, BLOCK A  
2 LOTS  
297,480 S.F. - 6.829 ACRES  
OUT OF THE  
JAMES P. DAVIS SURVEY ABSTRACT NO. 249  
CITY OF ROCKWALL, COLLIN COUNTY, TEXAS  
OWNERS - WESLEY KUENSTLER & CARLEE KUENSTLER  
613 CAYDEN COURT, FATE, TX 75087 - 409-974-0007  
OWNERS - BRANDON UNDERWOOD & PAIRE UNDERWOOD  
572 LA GRANGE, FATE, TX 75087 - 214-678-8507  
SURVEYOR: BARRY S. RHODES, REGISTERED PROFESSIONAL LAND SURVEYOR  
7509 PENNWOOD CIRCLE, ROCKWELL, TX 75088 - (214) 326-1090  
FIRM NO. 10194366  
DATE: 9/10/2020  
DRAWN BY: MSO - PROJECT NO. 202005195-02  
SHEET 1 OF 1

Remove Line

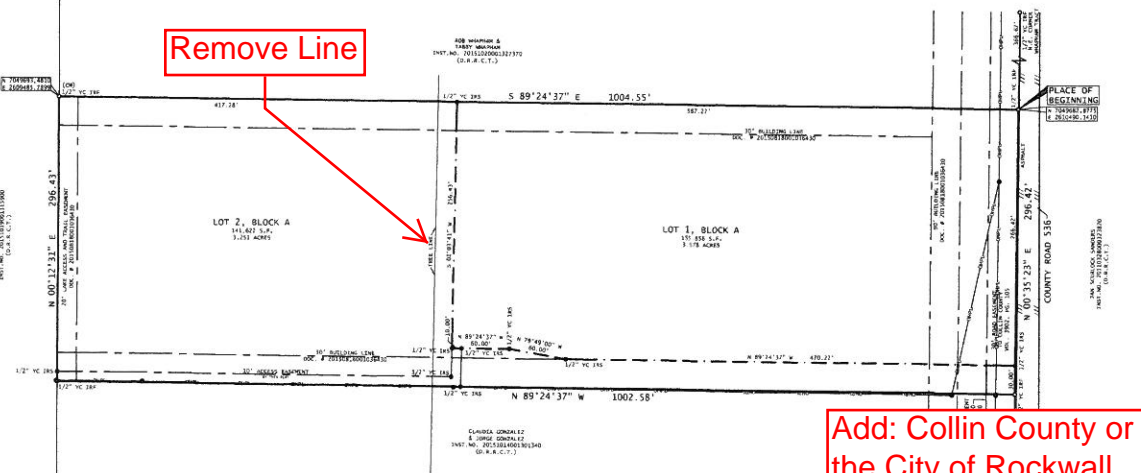
Remove Note

Add: Collin County or the City of Rockwall will not be responsible for...

Add: plat of Lots 1 & 2, Block A, K.U. Ranch and Rec,

Change to forgoing

Add: to the extraterritorial jurisdiction of the City of Rockwall, Rockwall, Texas,



SURVEYOR'S CERTIFICATE  
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
THAT I, BARRY S. RHODES, R.P.L.S. 3691, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.  
-FOR REVIEW PURPOSES ONLY-  
Barry S. Rhodes  
Registered Professional Land Surveyor No. 3691  
STATE OF TEXAS:  
COUNTY OF DALLAS:  
Before me, the undersigned authority, on this day personally appeared Barry S. Rhodes, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

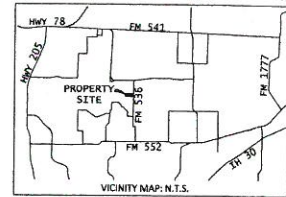
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

HEALTH DEPARTMENT CERTIFICATION:  
I HEREBY CERTIFY THAT THE ON-SITE SEWAGE FACILITIES DESCRIBED ON THIS PLAT CONFORM TO THE APPLICABLE OCSF LAWS OF THE STATE OF TEXAS, THAT SITE EVALUATIONS HAVE BEEN SUBMITTED REPRESENTING THE SITE CONDITIONS IN THE AREA IN WHICH ON-SITE SEWAGE FACILITIES ARE PLANNED TO BE USED.  
REGISTERED SANITARIAN OR DESIGNATED REPRESENTATIVE  
COLLIN COUNTY DEVELOPMENT SERVICES  
CERTIFICATE OF APPROVAL  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF COLLIN COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.  
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
MAYOR, CITY OF ROCKWALL  
CITY SECRETARY  
CITY ENGINEER  
COUNTY JUDGE, CHRIS HILL

NOTE: PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.  
PLANNING & ZONING COMMISSION, CHAIRMAN  
DATE  
APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF COLLIN COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.  
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
MAYOR, CITY OF ROCKWALL  
CITY SECRETARY  
CITY ENGINEER

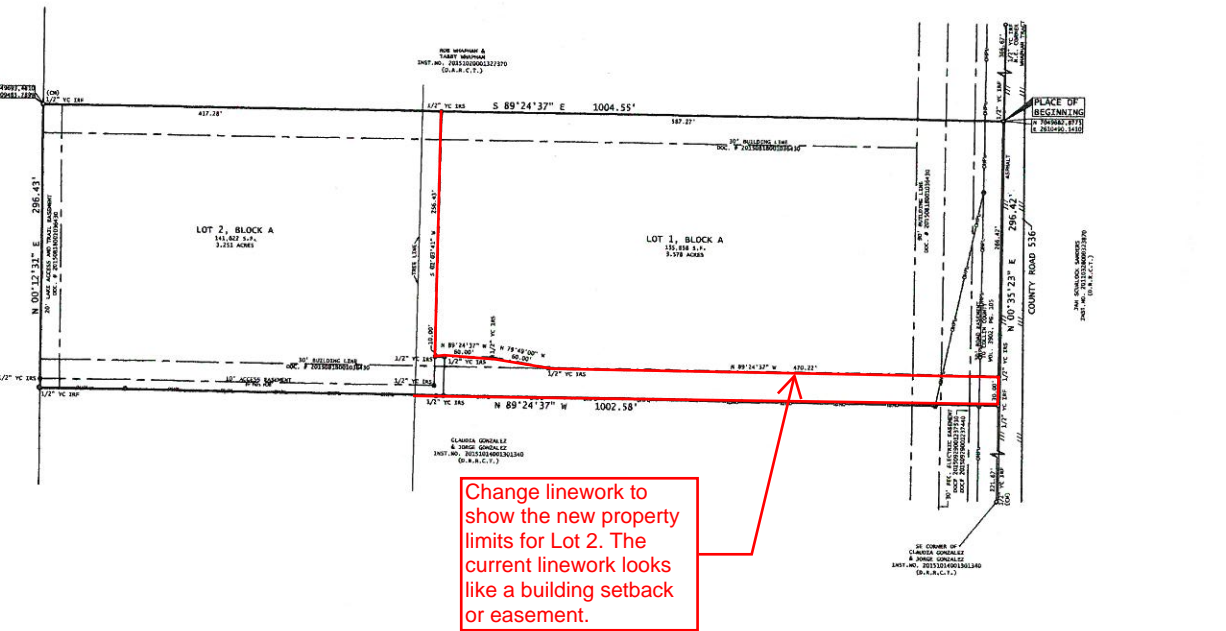
P 2020-042

RECEIVED  
SEP 23 2020  
BY:



OWNERS CERTIFICATE  
STATE OF TEXAS:  
COUNTY OF COLLIN:  
WHEREAS, Wesley and Carlee Kuenstler and Brandon and Paire Underwood, are the owners of all that tract of land situated in the James P. Davis Survey, Abstract No. 245, Collin County, Texas, a portion being conveyed to Wesley and Carlee Kuenstler as recorded under Instrument No. 20200909001517980, (D.R.C.C.T.), and a portion being conveyed to Brandon and Paire Underwood as recorded under Instrument No. 20200909001516650, (D.R.C.C.T.), as shown on survey and being more particularly described by meters and bounds as follows:  
BEGINNING at a 1/2 inch yellow-capped iron rod found for corner in the West edge of County Road 536, at the Southeast corner of a tract of land described in deed to Rob Whigham and Tabby Whigham, recorded under Instrument No. 2015102001327370 (D.R.C.C.T.), being the Northeast corner of said \*\*\*\*\* tract;  
THENCE South 00 degrees 35 minutes 23 seconds West, a distance of 296.42 feet, along said County Road 536 to a 1/2 inch yellow-capped iron rod found for corner at the Northeast corner of a tract of land described in deed to Claudia Gonzalez and Jorge Gonzalez, as recorded under Instrument No. 20151014001301340 (D.R.C.C.T.);  
THENCE North 89 degrees 24 minutes 37 seconds West, a distance of 1,002.58 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being on the East line of a tract of land conveyed to James P. Reli and Michele A. Reli, as recorded under Instrument No. 20151014001301340 (D.R.C.C.T.);  
THENCE North 00 degrees 12 minutes 31 seconds East, a distance of 470.22 feet to a 1/2 inch yellow-capped iron rod found for corner, said corner of said Whigham tract;  
THENCE South 89 degrees 24 minutes 37 seconds East, a distance of 1,004.55 to the PLACE OF BEGINNING and containing 297,480 square feet or 6.829 acres of land.

"Until an escrow..." is a new paragraph.



- NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
  - Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growth or improvements therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the K.U. RANCH AND REC subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:
    - The developer and subdivision engineer shall bear total responsibility for their respective system without the necessity of, at any time, procuring the permission of anyone.
    - The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
    - The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
    - The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
    - No house dwelling unit, or other structure shall be constructed on any lot or other parcel unless the developer and/or any other person until the developer and/or requirements of the Subdivision Regulations of the improvements with respect to the entire block on the plat are met, including the actual installation of pipe and paving, curbs, gutters, water and sewer, structures, storm sewer, utility, etc.
    - Property owner shall be responsible for maintaining, repairing, and replacing all pipes within the drainage and detention easement. Use an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city engineer and city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail to install the required improvements within the time stated in such written agreement; but in no case shall the city be obligated to make such improvements itself, such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified regulations to the city secretary, supported by evidence of work done; or
    - Property owner shall be responsible for maintaining, repairing, and replacing all pipes within the drainage and detention easement. Use an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city engineer and city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail to install the required improvements within the time stated in such written agreement; but in no case shall the city be obligated to make such improvements itself, such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified regulations to the city secretary, supported by evidence of work done; or

GENERAL NOTES:  
1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREON ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 89-54.  
2. BLOCKING THE FLOW OF WATER OR CONSTRUCTION IMPROVEMENTS IN DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.  
3. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE COURSE ALONG OR ACROSS SAID LOTS.  
4. COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGEWAYS OR FOR THE CONTROL OF EROSION IN SAID DRAINAGEWAYS.  
5. COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOODING CONDITIONS.  
6. COLLIN COUNTY PERMITS ARE REQUIRED FOR BUILDING CONSTRUCTION, ON-SITE SEWAGE FACILITIES AND DRIVEWAY CURBWEIS.  
7. ALL SURFACE DRAINAGE EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, FOUNDATIONS AND PAINTING, AND OTHER OBSTRUCTION TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY.

I (we) further acknowledge that the dedications and/or easement hereon are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of easements made herein.

WESLEY KUENSTLER  
CARLEE KUENSTLER  
BRANDON UNDERWOOD  
PAIRE UNDERWOOD  
STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared CARLEE KUENSTLER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 20\_\_.  
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared BRANDON UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 20\_\_.  
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared PAIRE UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 20\_\_.  
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_  
Before me, the undersigned authority, on this day personally appeared WESLEY KUENSTLER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 20\_\_.  
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

FINAL PLAT  
K.U. RANCH AND REC  
LOT 1 & LOT 2, BLOCK A  
2 LOTS  
297,480 S.F. - 6.829 ACRES  
OUT OF THE  
JAMES P. DAVIS SURVEY ABSTRACT NO. 245  
CITY OF ROCKWALL, COLLIN COUNTY, TEXAS  
OWNERS - WESLEY KUENSTLER & CARLEE KUENSTLER  
613 CADEN COURT, FATE, TX 75087 - 409-974-0007  
OWNERS - BRANDON UNDERWOOD & PAIRE UNDERWOOD  
572 LA GRANGE, FATE, TX 75087 - 214-678-8507

SURVEYOR: BARRY S. RHODES, REGISTERED PROFESSIONAL LAND SURVEYOR  
7509 PENNRIDGE CIRCLE, ROWLETT, TX 75088 - (214) 326-1090  
FIRM NO. 10194366

DATE: 9/10/2020  
DRAWN BY: MSO - PROJECT NO. 202005195-02  
SHEET 1 OF 1

SURVEYOR'S CERTIFICATE  
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
THAT I, BARRY S. RHODES, R.P.L.S. 3691, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.  
-FOR REVIEW PURPOSES ONLY-  
Barry S. Rhodes  
Registered Professional Land Surveyor No. 3691  
STATE OF TEXAS:  
COUNTY OF DALLAS:  
Before me, the undersigned authority, on this day personally appeared Barry S. Rhodes, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 20\_\_.  
Notary Public in and for the State of Texas  
My commission expires \_\_\_\_\_

HEALTH DEPARTMENT CERTIFICATION:  
I HEREBY CERTIFY THAT THE ON-SITE SEWAGE FACILITIES DESCRIBED ON THIS PLAT CONFORM TO THE APPLICABLE OSSF LAWS OF THE STATE OF TEXAS, THAT SITE EVALUATIONS HAVE BEEN SUBMITTED REPRESENTING THE SITE CONDITIONS IN THE AREA IN WHICH ON-SITE SEWAGE FACILITIES ARE PLANNED TO BE USED.  
REGISTERED SANITARIAN OR DESIGNATED REPRESENTATIVE  
COLLIN COUNTY DEVELOPMENT SERVICES  
CERTIFICATE OF APPROVAL  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL, OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY TEXAS, WITHIN ON HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.  
WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
MAYOR, CITY OF ROCKWALL  
CITY SECRETARY  
CITY ENGINEER  
COUNTY JUDGE, CHRIS HILL

NOTE: PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DATE  
APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL, OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
MAYOR, CITY OF ROCKWALL  
CITY SECRETARY  
CITY ENGINEER



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 11644 COUNTY ROAD 536

Subdivision K.U. RANCH AND REC

Lot 1 & 2 Block A

General Location

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

RESIDENTIAL

Acreage 6.829

Lots [Current] 1

Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner WESLEY & CARLEE KUENSTLER - BRANDON & PARE UNDERWOOD

Applicant WESLEY & CARLEE KUENSTLER - BRANDON & PARE UNDERWOOD

Contact Person CARLEE KUENSTLER

Contact Person

Address 613 CAYDEN COURT

Address

City, State & Zip FATE, TX 75087

City, State & Zip

Phone 409-974-0007

Phone

E-Mail CARLEEKUENSTLER@YAHOO.COM

E-Mail pare@heathcounseling.com

## NOTARY VERIFICATION [REQUIRED]

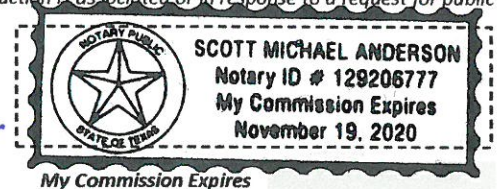
Before me, the undersigned authority, on this day personally appeared WESLEY & CARLEE KUENSTLER BRANDON & PARE UNDERWOOD [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the 18 day of SEPT, 2020

Owner's Signature

Notary Public in and for the State of Texas



0 75 150 300 450 600 Feet

P2020-042- LOTS 1 & 2, KU RANCH AND REC  
FINAL PLAT - LOCATION MAP = 

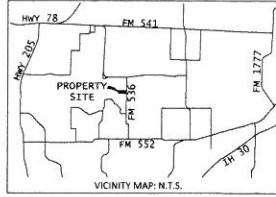
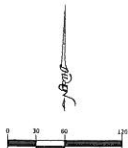


## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





STATE OF TEXAS  
COUNTY OF COLLIN:

**OWNERS CERTIFICATE**

WHEREAS, Wesley and Carlee Kuenstler and Brandon and PARE Underwood, are the owners of all land street and situated in the James P. Davis Survey, Abstract No. 248, Collin County, Texas, a portion being conveyed to Wesley and Carlee Kuenstler as recorded under Instrument No. 20200909001517980, (D.R.C.C.T.), and a portion being conveyed to Brandon and PARE Underwood as recorded under Instrument No. 20200909001516650, (D.R.C.C.T.), as shown on survey and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch yellow capped iron rod found for corner in the West edge of County Road 536, at the Southeast corner of a tract of land described in deed to Rob Whigham and Tabby Whigham, recorded under Instrument No. 20151010001327370 (D.R.C.C.T.), being the Northeast corner of said \*\*\*\*\* tract;

THENCE South 00 degrees 35 minutes 23 seconds West, a distance of 296.42 feet, along said County Road 536 to a 1/2 inch yellow-capped iron rod found for corner at the Northeast corner of a tract of land conveyed in deed to Claudia Gonzalez and Jorge Gonzalez, as recorded under Instrument No. 20151010001501340 (D.R.C.C.T.);

THENCE North 83 degrees 24 minutes 37 seconds West, a distance of 1,002.58 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being on the East line of a tract of land conveyed to James P. Neil and Michale A. Rel, as recorded under Instrument No. 2015101000151900 (D.R.C.C.T.);

THENCE North 00 degrees 12 minutes 31 seconds East, a distance of 296.43 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being the Southwest corner of said Whigham tract;

THENCE South 89 degrees 24 minutes 37 seconds East, a distance of 1,004.55 to the PLACE OF BEGINNING and containing 297,480 square feet or 6.829 acres of land.

- GENERAL NOTES:**
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAN BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREON ISSUED. NO SUCH SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
  - BLOCKING THE FLOW OF WATER OR CONSTRUCTION IMPROVEMENTS IN DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
  - THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVELLED BY OR ADJACENT TO THE DRAINAGE COURSE ALONG OR ACROSS SAID LOTS.
  - COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION IN SAID DRAINAGE WAYS.
  - COLLIN COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING FOR FLOODING CONDITIONS.
  - COLLIN COUNTY PERMITS ARE REQUIRED FOR BUILDING CONSTRUCTION, ON-SITE SEWAGE FACILITIES AND DRIVEWAY CULVERTS.
  - ALL PRIVATE DRIVEWAY TIES TO A COUNTY MAINTAINED ROADWAY MUST BE EVEN WITH THE EXISTING DRIVING SURFACE.
  - ALL SURFACE DRAINAGE EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, FOUNDATIONS AND PAINTING, AND OTHER OBSTRUCTION TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY.

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, on this day personally appeared CARLEE KUENSTLER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas \_\_\_\_\_  
My commission expires \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, on this day personally appeared BRANDON UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas \_\_\_\_\_  
My commission expires \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, on this day personally appeared PARE UNDERWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas \_\_\_\_\_  
My commission expires \_\_\_\_\_

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**  
STATE OF TEXAS  
COUNTY OF COLLIN

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as LOT 1 and LOT 2, BLOCK A, K.U. RANCH AND REC subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public; forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the K.U. RANCH AND REC subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which properties abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements. List an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done.

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or execution herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I (we), my (our) successor(s) and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of easements made herein.

WESLEY KUENSTLER \_\_\_\_\_  
CARLEE KUENSTLER \_\_\_\_\_  
BRANDON UNDERWOOD \_\_\_\_\_  
PARE UNDERWOOD \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, on this day personally appeared WESLEY KUENSTLER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

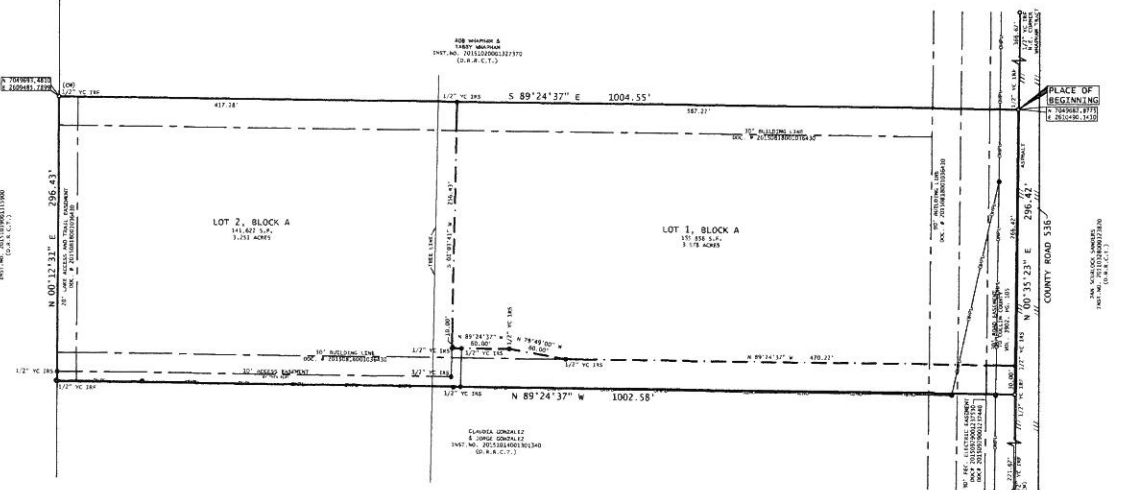
Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas \_\_\_\_\_  
My commission expires \_\_\_\_\_

**FINAL PLAT**  
**K.U. RANCH AND REC**  
**LOT 1 & LOT 2, BLOCK A**  
2 LOTS  
297,480 S.F. - 6.829 ACRES  
OUT OF THE  
JAMES P. DAVIS SURVEY ABSTRACT NO. 249  
CITY OF ROCKWALL, COLLIN COUNTY, TEXAS  
OWNERS - WESLEY KUENSTLER & CARLEE KUENSTLER  
613 CAYDEN COURT, FATE, TX, 75087 - 409-974-0007  
OWNERS - BRANDON UNDERWOOD & PARE UNDERWOOD  
572 LA GRANGE, FATE, TX 75087 - 214-678-8507

SURVEYOR: BARRY S. RHODES, REGISTERED PROFESSIONAL LAND SURVEYOR  
7509 PENNWIDGE CIRCLE, ROCKWELL, TX 75088 - (214) 326-1090  
FIRM NO. 10194366

DATE: 9/10/2020  
DRAWN BY: MSO - PROJECT NO. 202005195-02



**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
THAT I, BARRY S. RHODES, R.P.L.S. 3691, DO HEARBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

-FOR REVIEW PURPOSES ONLY-  
Barry S. Rhodes  
Registered Professional Land Surveyor No. 3691

STATE OF TEXAS  
COUNTY OF DALLAS:

Before me, the undersigned authority, on this day personally appeared Barry S. Rhodes, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Notary Public in and for the State of Texas \_\_\_\_\_  
My commission expires \_\_\_\_\_

**HEALTH DEPARTMENT CERTIFICATION:**  
I HEREBY CERTIFY THAT THE ON-SITE SEWAGE FACILITIES DESCRIBED ON THIS PLAT CONFORM TO THE APPLICABLE OSSF LAWS OF THE STATE OF TEXAS, THAT SITE EVALUATIONS HAVE BEEN SUBMITTED REPRESENTING THE SITE CONDITIONS IN THE AREA IN WHICH ON-SITE SEWAGE FACILITIES ARE PLANNED TO BE USED.

REGISTERED SANITARIAN OR DESIGNATED REPRESENTATIVE  
COLLIN COUNTY DEVELOPMENT SERVICES

**CERTIFICATE OF APPROVAL**  
APPROVED AS FINAL PLAT, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

APPROVED AS FINAL PLAT, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY THE COUNTY OF COLLIN, TEXAS

COUNTY JUDGE, CHRIS HILL \_\_\_\_\_

NOTE: PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY TEXAS, WITHIN ON HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

MAYOR, CITY OF ROCKWALL \_\_\_\_\_ CITY SECRETARY \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 29, 2020  
**APPLICANT:** Harold D. Fetty III; *H.D. Fetty Land Surveyor, LLC*  
**CASE NUMBER:** MIS2020-012; *Special Request for 840 & 848 Lakeside Drive*

---

### SUMMARY

Discuss and consider a request by Harold D. Fetty III on behalf of Robert Avalos and Latonia Baker for the approval of a Miscellaneous Case for a special request in accordance with the requirements of Planned Development District 75 (PD-75) [Ordinance No. 16-01] for a 0.179-acre tract of land identified as Lots 280 & 281, Block B, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 840 & 848 Lakeside Drive, and take any action necessary.

### BACKGROUND

The subject properties were originally platted as Lots 280 & 281 of the Lake Echo Subdivision on October 26, 1956. These properties were later replatted as Lots 280 & 281, Block B, Rockwall Lake Estates #1 Addition. According to the Rockwall Central Appraisal District (RCAD), a single-family home was constructed on each of these lots in 2005. Based on aerial imagery from June 27, 2005, the driveway of the property at 848 Lakeside Drive (*i.e. Lot 281*) appears to be located partially on the property at 840 Lakeside Drive (*i.e. Lot 280*). On February 17, 2009, the subject properties -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by Ordinance No. 09-07. No changes have been made to these properties since they were annexed. According to the applicant, one (1) of the two (2) properties (*i.e. 848 Lakeside Drive*) is in the process of being sold, and the encroachment of the driveway was discovered by the surveyor. This issue needs to be corrected by replat before the conveyance can be completed.

### PURPOSE

On September 18, 2020, the applicant -- *Harold D. Fetty III of H.D. Fetty Land Surveyor, LLC* -- submitted an appeal for a special request in accordance with the requirements of Planned Development 75 (PD-75) [Ordinance No. 16-01]. The purpose of this request is to clear up an existing encroachment issue in order to facilitate the sale of 848 Lakeside Drive (*i.e. Lot 281*).

### ADJACENT LAND USES AND ACCESS

The subject properties are addressed as 840 & 848 Lakeside Drive. The land uses adjacent to these properties are as follows:

North: Directly north of the subject properties is the intersection of Trout Road and Lakeside Drive. Both of these roadways are classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this intersection are several residential lots zoned Planned Development 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Two (2) of these lots are developed with mobile/manufactured homes. The remaining lots are vacant and situated within the 100-year floodplain. Beyond this is an 11.38-acre parcel of vacant land (*i.e. Lot 1, Block D, Lynden Park Estates, Phase 4*), owned by the City of Rockwall, zoned Planned Development 17 (PD-17) for single-family land uses.

South: Directly south of the subject properties are several lots zoned Planned Development 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These lots are developed with detached single-family homes. Beyond this is Lakeside

Drive, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several more lots zoned Planned Development 75 (PD-75) for Single-Family 7 (SF-7) District land uses. The lots are developed with detached single-family homes. Beyond this is Rockwall Lake.

East: Directly east of the subject properties are two (2) lots zoned Planned Development 75 (PD-75) for Single-Family 7 (SF-7) District land uses. One (1) of the two (2) lots is developed with a detached single-family home and the other lot has a mobile/manufactured home. Beyond this is the northern most point of Rockwall Lake. Beyond this is a 90.5-acre vacant tract of land (*i.e. Tract 3 of the G. Wells Survey, Abstract No. 219*) that is zoned Agriculture (AG) District.

West: Directly west of the subject properties is Trout Road, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are numerous lots zoned Planned Development 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These lots are developed with detached single-family homes. Beyond this is Perch Road, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST:**

Based on the concept plan contained within Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] the subject property is located within *Area 1* and is subject to the requirements stipulated in *Ordinance No. 16-01* and the Single-Family 7 (SF-7) District. These requirements are summarized as follows:

Density and Dimensional Requirements	Area 1
Minimum Number of Single-Family Units Per Lot	1
Minimum Lot Width/Frontage <sup>(1)</sup>	50-Feet
Minimum Lot Depth <sup>(1)</sup>	100-Feet
Minimum Lot Area <sup>(1)</sup>	5,000-SF
Minimum Front Yard Setback <sup>(1)</sup>	20-Feet
Minimum Side Yard Setback (Internal Lot) <sup>(1)</sup>	5-Feet
Minimum Side Yard Setback (Adjacent to a Street) <sup>(1)</sup>	20-Feet
Minimum Distance Between Buildings on the Same Lot	10-Feet
Minimum Length of Driveway Pavement <sup>(2)</sup>	20-Feet
Minimum Number of Off-Street Parking Spaces <sup>(3) &amp; (4)</sup>	2
Maximum Height	32-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Area/Dwelling Unit (SF)	1,100-SF
Maximum Lot Coverage	45 %

General Notes:

- <sup>1:</sup> These setbacks and frontage requirements may be varied in accordance with Section 3.C, *Consideration of a Special Request, of Ordinance No. 61-01.*
- <sup>2:</sup> The minimum length of the driveway pavement as measured from public right-of-way for the rear and side-yard.
- <sup>3:</sup> An enclosed garage shall not be considered in meeting the off-street parking requirements.
- <sup>4:</sup> Number denotes residential property only. For all other land uses, see Article 06, *Parking and Loading*, of the Unified Development Code (UDC).

In order to facilitate the sale of 848 Lakeside Drive, a ten (10) foot strip will need to be incorporated into this property from 840 Lakeside Drive. Currently, 848 Lakeside Drive is estimated to be ~3,751 SF and 840 Lakeside Drive is estimated to be ~3,948 SF. The applicant's request will increase the size of 848 Lakeside Drive to 4,576 SF, but reduce 840 Lakeside Drive to 3,238 SF. While this brings 848 Lakeside Drive closer to conforming to the minimum lot size requirement and brings it into conformance with the lot frontage requirements (*i.e. a minimum of 50-feet*), it increases the non-conformity of the lot size already existing at 840 Lakeside Drive. Typically, these requests are required to be approved by the Board of Adjustments (BOA) on the basis of a hardship; however, Planned Development District 75 (PD-75) allows the City Council to consider a



special request for all issues not relating to land use. According to Planned Development District 75 (PD-75), "(t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision (*i.e. Area 1 and Area 2 as depicted in Exhibit 'B' [the concept plan] of this ordinance*). Such requests may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department." In this case, the City Council would be considering a request to allow 840 Lakeside Drive to have a minimum lot size of 3,238 SF. All other requirements concerning this request are deemed to be legally non-conforming or conforming; however, staff has requested that the applicant provide a residential plot plan to document the changes to the building setbacks. In considering this request, staff should point out that the Lake Rockwall Estates Subdivision has existed since 1956, and other similar non-conformities have been documented in this area. This is the reason that these types of situations are permitted to be considered through a special request by the City Council; however, any special request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's appeal for a *special request*, then staff would propose the following conditions of approval:

- (1) The applicant shall submit a residential plot plan showing conformance to the building setbacks; and,
- (2) Any construction resulting from the approval of this case shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. MIS2020-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup> \$303.60
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 848 & 840 LAKESIDE DRIVE  
 Subdivision ROCKWALL LAKEESTATES 1 REPLAT Lot 280 + 281 Block B  
 General Location LAKESIDE & TRUIT

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning R Current Use RESIDENTIAL  
 Proposed Zoning R Proposed Use RESIDENTIAL  
 Acreage \_\_\_\_\_ Lots [Current] 2 Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	ROBERT AVALOS & LATONIA BAKER	<input checked="" type="checkbox"/> Applicant	HAROLD D. FETTY III
Contact Person	ROBERT	Contact Person	
Address	848 LAKESIDE DRIVE	Address	6770 FM 1565
City, State & Zip	ROCKWALL, TX 75087	City, State & Zip	ROYSE CITY, TX 75189
Phone	469-338-9245	Phone	972-635-2255
E-Mail		E-Mail	tracy.e.hdfetty.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

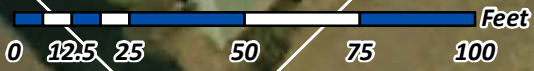
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



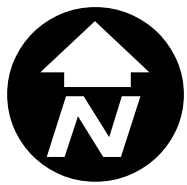
MIS2020-012- VARIANCE REQUEST FOR 848 & 840 LAKESIDE DRIVE  
MISCELLANEOUS - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**From:** [Tracy Fetty](#)  
**To:** [Miller, Ryan](#)  
**Subject:** 840-848 LAKESIDE  
**Date:** Monday, September 21, 2020 1:43:16 PM  
**Attachments:** [20050067-RP1.PDF](#)  
[20050067-RP2.PDF](#)  
[20200921131318PLT.pdf](#)  
[20200921131156APP.pdf](#)

---

See attached plat we discussed this morning.

They have occupied these lots as 50 feet wide each since the houses were built, however no one caught that a replat had not been filed and now one is being sold and a surveyor discovered it.

The two owners would like to replat them as quickly as we can so the sale can happen.

See attached original plat and application as well.

Tracy Fetty

H.D. Fetty Land Surveyor, LLC  
6770 FM 1565  
Royse City, Texas 75189

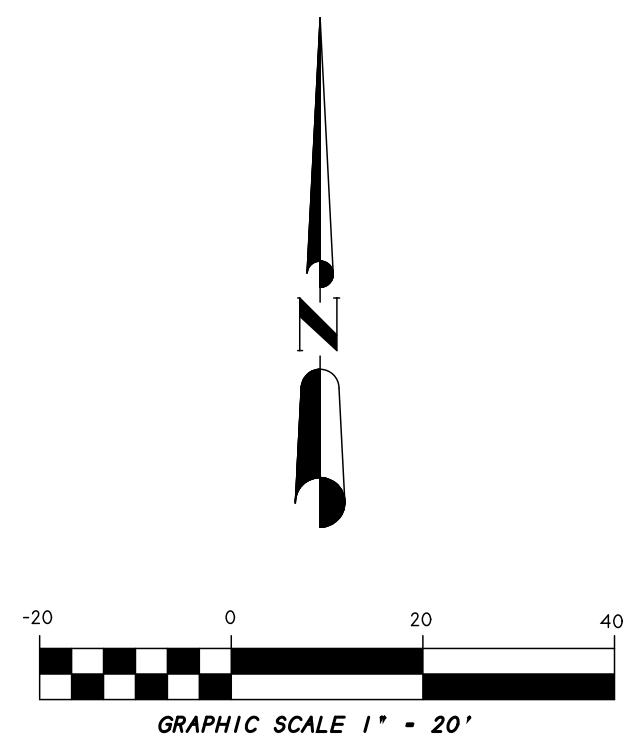
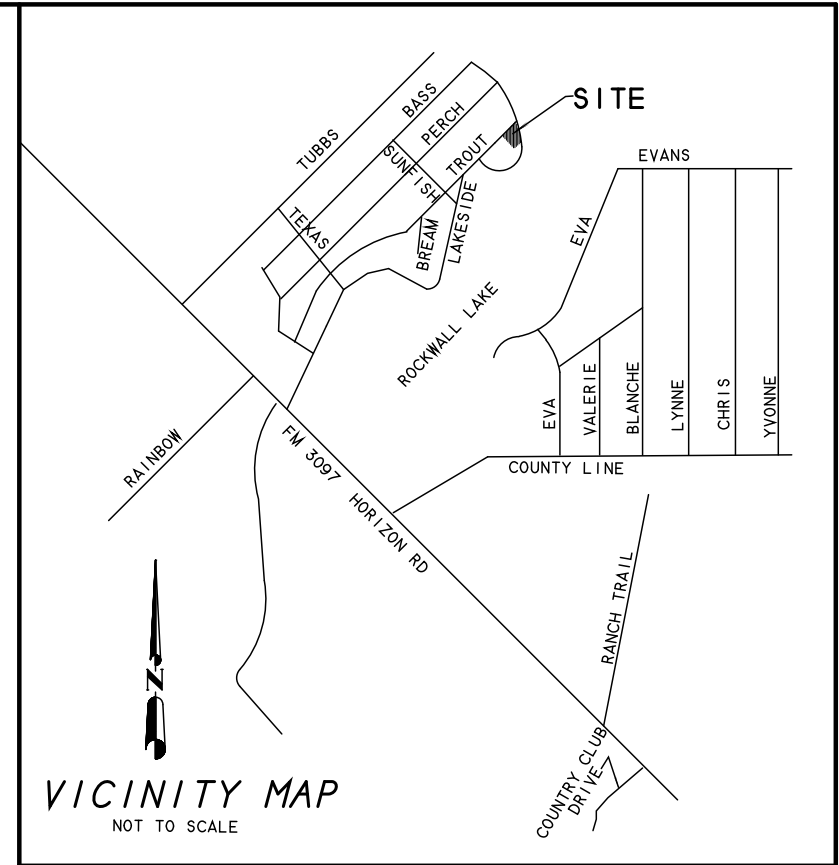
972-635-2255

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

CURVE TABLE						
NUMBER	RADIUS	ARC	CHORD	TANGENT	BEARING	CENTRAL ANGLE
C1	345.00	60.73	60.65	30.44	S 11°13'42"E	10°05'07"



FINAL PLAT  
**ROCKWALL LAKE ESTATES WEST**  
**LOTS 1 & 2, BLOCK L**

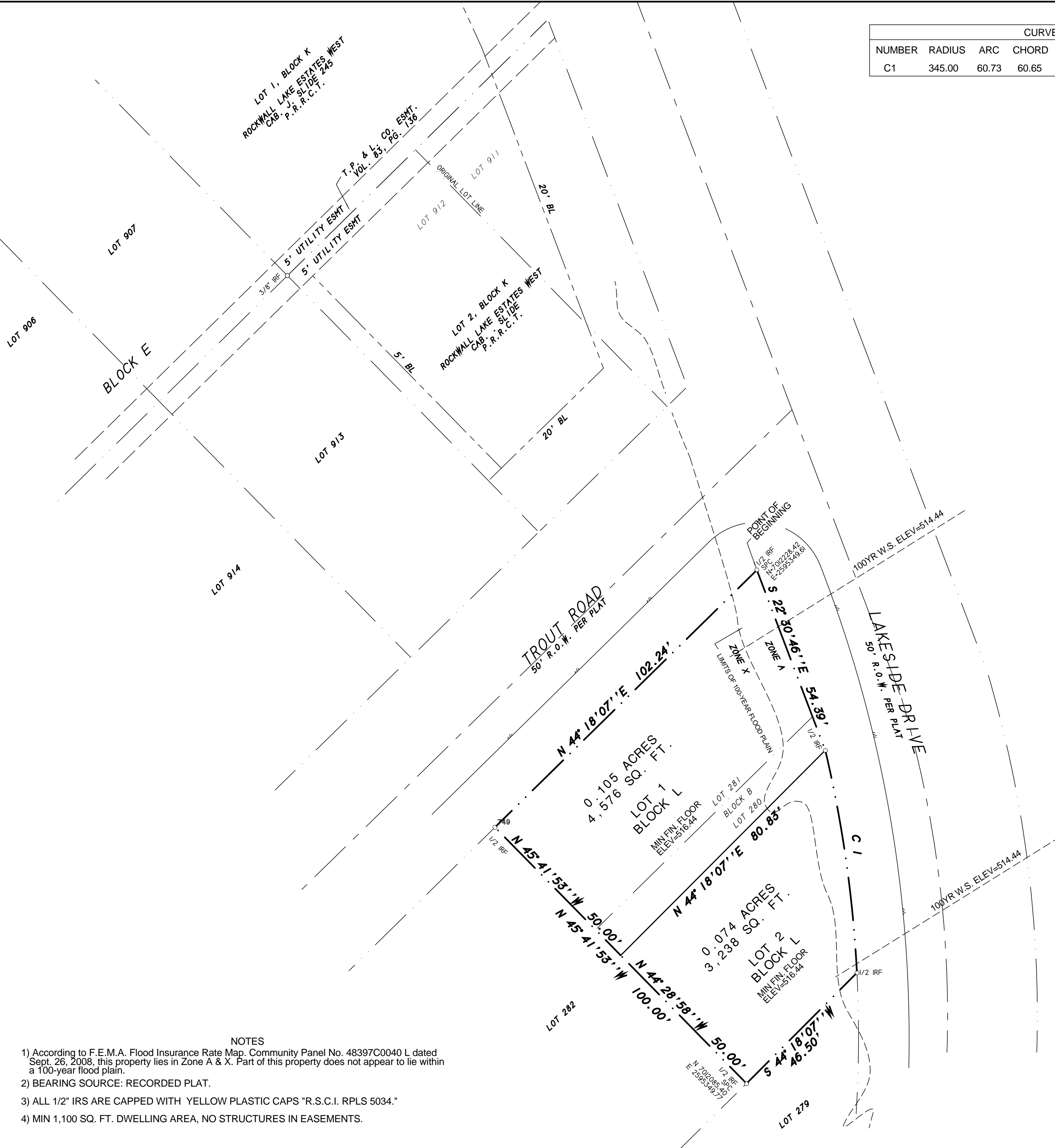
BEING A REPLAT OF  
 LOTS 280 & 281  
 BLOCK B  
 AN ADDITION TO THE  
 CITY OF ROCKWALL  
 BEING 7965 S.F. OR 0.18 ACRES  
 WELLS SURVEY, A-219  
 ROCKWALL COUNTY, TEXAS

OWNER:  
 ROBERTO AVALOS  
 848 LAKESIDE DRIVE  
 ROCKWALL, TEXAS 75032

LATONIA BAKER  
 840 LAKESIDE DRIVE  
 ROCKWALL, TEXAS 75032

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

**SHEET 1 OF 2**  
 SURVEY DATE AUGUST 30, 2020  
 SCALE 1" = 20' FILE # 20050067-RP  
 CLIENT AVALOS



- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone A & X. Part of this property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: RECORDED PLAT.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."
  - 4) MIN 1,100 SQ. FT. DWELLING AREA, NO STRUCTURES IN EASEMENTS.

OWNER'S CERTIFICATE  
(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, ROBERTO AVALOS and LATONIA BAKER, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING known as Lots 280 and Lot 281 in Block E, of ROCKWALL LAKE DEVELOPMENT NO. 1 formerly LAKE ECHO, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 29 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the south right-of-way of Trout Road (50' right-of-way) and the west right-of-way of Lakeside Drive (50' right-of-way ) and at the northeast corner of Lot 281;

THENCE S. 22 deg. 30 min. 46 sec. E. along the west right-of-way line of Lakeside Drive, a distance of 54.39 feet to a 1/2" iron rod found for corner;

THENCE along a curve to the right having a central angle of 10°05'07", a radius of 345.00 feet, a tangent of 30.44 feet, a chord of S. 11 deg. 13 min. 42 sec. E., 60.65 feet and along the southwest right-of-way of Lakeside Drive, an arc distance of 60.73 feet to a 1/2" iron rod found for corner;

THENCE S. 44 deg. 18 min. 07 sec. W. a distance of 46.50 feet to a 1/2" iron rod found for corner;

THENCE N. 45 deg. 41 min. 53 sec. W. a distance of 100.00 feet to a 1/2" iron rod found for corner in the south right-of-way line of Trout Road;

THENCE N. 44 deg. 18 min. 07 sec. W. along said right-of-way line of Trout Road, a distance of 102.24 feet to the POINT OF BEGINNING and containing 7,813 square feet or 0.18 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as ROCKWALL LAKE ESTATES WEST, LOTS 1 & 2, BLOCK L, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in ROCKWALL LAKE ESTATES WEST, LOTS 1 & 2, BLOCK L have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips, and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that may have as a result of the dedication of exaction's made herein.

ROBERTO AVALOS \_\_\_\_\_

LATONIA BAKER \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ROBERTO AVALOS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas My Commission Expires:

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared LATONIA BAKER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034



RECOMMENDED FOR FINAL APPROVAL

Chairman, Planning and Zoning Commission \_\_\_\_\_

\_\_\_\_\_ Date

APPROVED

I hereby certify that the above and foregoing plat of ROCKWALL LAKE ESTATES WEST, LOTS 1 & 2, BLOCK L, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall \_\_\_\_\_

City Secretary City of Rockwall \_\_\_\_\_

City Engineer \_\_\_\_\_

\_\_\_\_\_ Date

FINAL PLAT  
ROCKWALL LAKE ESTATES WEST  
LOTS 1 & 2, BLOCK L

BEING A REPLAT OF  
LOTS 280 & 281  
BLOCK B

AN ADDITION TO THE  
CITY OF ROCKWALL  
BEING 7965 S.F. OR 0.18ACRES  
WELLS SURVEY, A-219  
ROCKWALL COUNTY, TEXAS

OWNER:  
ROBERTO AVALOS  
848 LAKESIDE DRIVE  
ROCKWALL, TEXAS 75032

LATONIA BAKER  
840 LAKESIDE DRIVE  
ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 2 OF 2

SURVEY DATE AUGUST 30, 2020  
SCALE 1" = 20' FILE # 20050067-RP  
CLIENT AVALOS



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** September 29, 2020

**SUBJECT:** Z2020-037; *Specific Use Permit for a Restaurant, Less Than 2,000 SF, with a Drive-Through at 150 Pecan Valley Drive*

---

On September 21, 2020, -- *prior to the City Council meeting* -- the owner of the property, Cary Albert of Albert Enterprises, emailed staff to state that they were [1] unaware of some of the issues on the project, and [2] to propose an amended concept plan showing a reduction in building area from 1,450 SF down to 1,250 SF (*a reduction of 200 SF*). According to Section 02.03(D), *Submitting Additional Information*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(n)ew matters of evidence not presented to the Planning and Zoning Commission shall not be heard or considered by the City Council with relation to public hearing for zoning changes, Specific Use Permits (SUP), or text amendments. In the event new evidence develops between the date of the public hearing by the Planning and Zoning Commission and the hearing of the City Council ... the City Council shall refer the zoning change, Specific Use Permit (SUP), or text amendment back to the Planning and Zoning Commission for a further public hearing to consider the new evidence." In accordance with this section the City Council remanded the case back to the Planning and Zoning Commission by a vote of 7-0. Staff should note that by reducing the building down to 1,250 SF, the applicant has brought the concept plan in to conformance to the parking requirements; however, the concept plan still does not conform to the minimum [1] land use requirements, [2] driveway spacing requirements, or [3] the dumpster orientation requirements. In addition, no additional changes to the concept plan have been offered by the applicant or owner. Should the Planning and Zoning Commission have any questions staff will be available at the September 29, 2020 meeting.

**From:** [Cary Albert](#)  
**To:** [Miller, Ryan](#)  
**Cc:** [Chad DuBose](#)  
**Subject:** RE: Case No. 2020-037 Smoothie King SUP  
**Date:** Monday, September 21, 2020 12:27:17 PM  
**Attachments:** [image003.png](#)  
[image008.png](#)  
[image009.png](#)  
[SUP Site Plan Smoothie King2.pdf](#)

---

Ryan,

Thank you very much for the time today on the phone. You shed much light on some topics that neither Chad or I were aware of. As you know, we started this project with Jake Fears at Wier and Associates, as our Civil. After many years and many projects with this ownership, Jake left Wier recently and this project was handed over to Casey. Chad and I have been left in the dark on many of the issues with this project that were brought up from you today. That is very frustrating to us. Absolutely no fault of yours, but a communication breakdown from our Civil group to us, the ownership.

We absolutely need the NOI on this part of our project in order for this entire development to pencil. Several things have transpired recently that Chad and I were unaware of. Firstly, we were never told by growing the building to 1,450sf in our presentation to P&Z, that we were one park short and would need a variance for that. Civil never relayed that to us when designing. We never wanted that! 😞 Secondly, it's the first I have heard of this...today, from you, that our landscape would not be possible due to Utility easement location to our building and no place to place it as is against City of Rockwall ordinance. (We need to fix that problem!). We need shrink the building to address several of these items. This was given to Chad and I today, from Casey, meeting the parking code. WE shrunk by 200sf, but may very well need to shrink more to accommodate the landscape requirements.

All in all, we need to work on these additional issues that are plaguing this project, but need some time to complete it. I appreciate you telling me that in the past, Developers have "played games" with resubmissions, etc in hopes of residents not coming out to defend their positions. That has never been and would never be a tactic that we would incorporate or use. Our issues have solely been lack of performance, execution and communication from our Civil. This issue will never occur again on another project from us, I assure you. I would humbly request that that Council, though we would love a vote for approval tonight, allow us the opportunity to address these issues above and try to make this work for everyone involved. I know in my heart of hearts that this is an absolute best use for the location and community barring having to have a Dry Cleaners pick up location here. That serves no one positively, in my opinion. We want to work hard to gain the City and the Communities respect and approval on this one! Thank you for allowing us that opportunity!

Regards,  
Cary

**Cary Albert**  
President | Albert Enterprises







**o:** (214) 483-0400  
**m:**(214) 882-1414  
**f:** (214) 960-1993  
**e:** [calbert@albertenterprises.com](mailto:calbert@albertenterprises.com)

14114 Dallas Pkwy, Suite 670  
Dallas, TX 75254

[www.albertenterprises.com](http://www.albertenterprises.com)

PRINTED: 9/21/2020 10:49 AM CASEYO FILE: SJP SITE PLAN SMOOTHIE KING2.DWG  
 WIER-PAVING-STB LAST SAVED: 9/21/2020 10:49 AM SAVED BY: CASEYO FILE: SJP SITE PLAN SMOOTHIE KING2.DWG  
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

**LEGEND**

-  LANDSCAPE AREA (REF: LANDSCAPE PLAN)
-  CONCRETE SIDEWALK

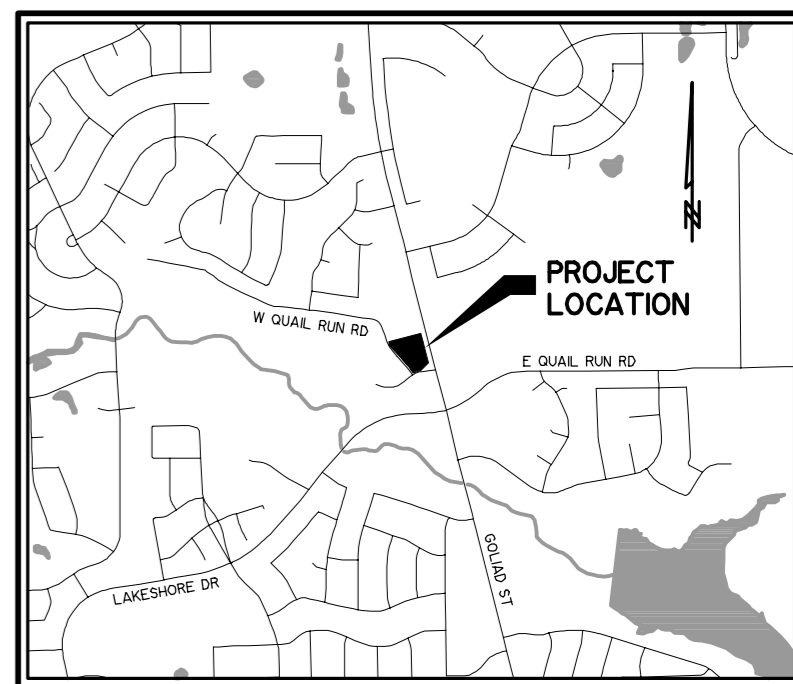
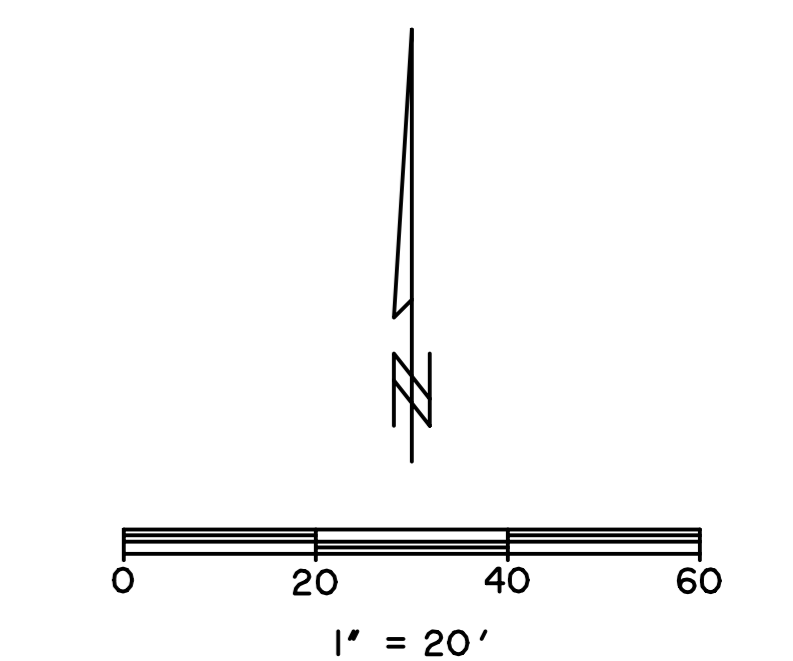
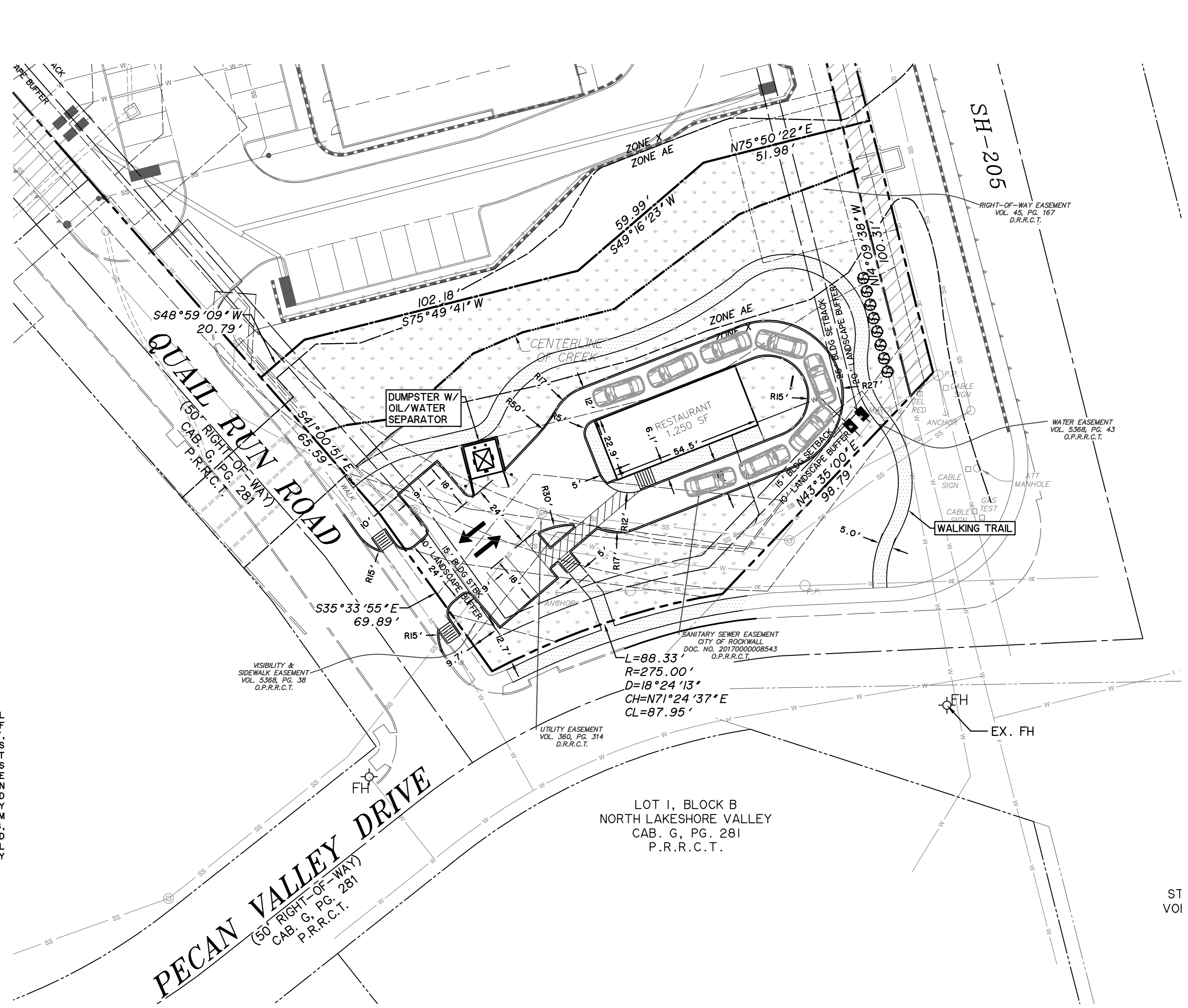
- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**FEMA NOTE**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'AE' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A', AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

**DEVELOPER**  
 JCDB GOLIAD HOLDINGS, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE 1313  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 CHAD@FOREMARK.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: CASEY ORR, P.E.  
 121 S. MAIN ST  
 HENDERSON, TX 75654  
 PHONE: (903) 722-9030  
 CASEYO@WIERASSOCIATES.COM



SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	LIMITED SERVICE RESTAURANT W/ DRIVE-THRU (REQUIRES SUP)
LOT AREA (ARTIFICIAL)	0.579± AC (25,233 SF)
BUILDING AREA	1,250 SF (MAX)
BUILDING HEIGHT	11'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
BUILDING/LOT COVERAGE	5.0%
LANDSCAPE AREA	15,920 SF
LANDSCAPE COVERAGE	63.1%
PARKING CALCULATION	1/250 SF = 1,250/250 = 5
REQUIRED PARKING	5
PROVIDED PARKING	5

LOT 1, BLOCK B  
 NORTH LAKESHORE VALLEY  
 CAB. G, PG. 281  
 P.R.R.C.T.

**SUP SITE PLAN  
 RESTAURANT  
 150 PECAN VALLEY DR  
 ROCKWALL, TEXAS**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, L.T.D., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

**September 21, 2020**

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

CONCEPTUAL PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
 Prepared By/Or Under Direct Supervision Of Casey B. Orr, PE  
 Texas Registration No. 121642  
 On Date Shown Below.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** September 29, 2020

**APPLICANT:** Casey Orr, PE; *Wier & Associates, Inc.*

**CASE NUMBER:** Z2020-037; *Specific Use Permit for a Restaurant, Less Than 2,000 SF, with a Drive-Through at 150 Pecan Valley Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

### BACKGROUND

The subject property -- *which is a portion of a larger 2.356-acre tract of land* -- was annexed into the City of Rockwall on February 3, 1961 by *Ordinance No. 61-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The property would remain zoned Agricultural (AG) District until January 3, 2006 when the City Council approved Planned Development District 65 (PD-65) [*Ordinance No. 06-02; Case No. Z2004-037*]. This Planned Development District designated the subject property for General Retail (GR) District land uses. Since the establishment of Planned Development District 65 (PD-65), the Planned Development District has been amended three (3) times (*i.e. Ordinance No.'s 08-02, 10-28, & 17-03*); however, the designation of the subject property has remained for General Retail (GR) District land uses.

On July 9, 2019, the 2.356-acre tract of land -- *of which the 0.579-acre subject property is a part of* -- was approved for a site plan [*Case No. SP2019-023*] for an ~11,000 SF strip retail building. This portion of the tract of land is currently under construction, and physically separated from the subject property by flood plain that traverses the tract of land from N. Goliad Street to Pecan Valley Drive/Quail Run Road. Submitted concurrently with the site plan request for the 2.356-acre tract of land, was a Specific Use Permit (SUP) application for a *Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In* on the subject property [*Case No. Z2019-014*]; however, this request was ultimately withdrawn by the applicant on August 6, 2019. In addition, a final plat [*Case No. P2020-034*] was submitted for the entire 2.356-acre tract of land (*i.e. including the subject property*) and is currently being run concurrently with this case.

On June 19, 2020, the applicant had previously submitted same request as to what is being proposed currently (*i.e. for a Specific Use Permit [SUP] for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In*) under *Case No. Z2020-026*. This request was presented to the Planning and Zoning Commission on July 14, 2020, and was unanimously recommended for denial by a vote of 6-0, with Commissioner Moeller absent. Based on this, the applicant requested that the City Council withdraw the case. This withdraw request was approved by the City Council on July 20, 2020 by a vote of 7-0. After this action, the applicant resubmitted an application for the same request (*i.e. for a Specific Use Permit [SUP] for a restaurant, less than 2,000 SF, with drive-through or drive-in*). The only new materials provided with the reapplication were renderings of the building, an indication that the restaurant would be a *Smoothie King*, and a concept plan showing the inclusion of a walking trail.

## PURPOSE

The applicant -- *Casey Orr, PE of Wier & Associates, Inc.* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* for the purpose of developing a restaurant (*i.e. Smoothie King*) on the subject property.

## ADJACENT LAND USES AND ACCESS

The subject property is addressed as 150 Pecan Valley Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~11,000 SF strip retail building on the same tract of land as the subject property. This building is currently under construction and is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is a daycare facility (*i.e. Children's Lighthouse Daycare*) situated on a 3.543-acre parcel of land (*i.e. Lot 1, Block A, Children's Lighthouse Addition*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses and Agricultural (AG) District. The Agricultural (AG) District portion of this property has a Specific Use Permit (SUP) for a daycare facility (*i.e. S-140; Ordinance No. 15-22*).

South: Directly south of the subject property is Pecan Valley Drive, which is designated as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. Walgreens Pharmacy*) situated on a 1.9894-acre parcel of land (*i.e. Lot 1, Block B, North Lakeshore Valley*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is N. Lakeshore Drive, which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. CVS Pharmacy*) situated on a 2.519-acre parcel of land (*i.e. Lot 1R, Block B, Quail Run Retail*), which is zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. Also, east of the subject property is a 62.484-acre tract of land (*i.e. Tract 3 of the S. King Survey, Abstract No. 131*) that is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 11.723-acre tract of vacant land (*i.e. Tract 5 of the S. King Survey, Abstract No. 131*) that is owned by the City of Rockwall and zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 1,415 SF limited service restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented toward S. Goliad Street, but will have only one (1) point of ingress/egress that will be on Quail Run Road. The drive-through lane will wrap around the building, and will not incorporate a *bailout* lane. The *food delivery/payment window* will be oriented north toward the floodplain and adjacent strip retail building, and the *restaurant ordering board* (*i.e. the point of order*) will be oriented facing directly onto N. Goliad Street approximately 37-feet from the right-of-way. In addition, the concept plan depicts eight (8) vehicles being able to be cued in the drive-through lane (*i.e. five [5] vehicles between the food delivery/payment window and the restaurant ordering board and three [3] vehicles behind the vehicle at the restaurant ordering board*) with headlight screening being included along N. Goliad Street. The concept plan also shows the provision of five (5) parking spaces and the location of trash dumpster enclosure.

## CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along N. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) or a residential street on the Master Thoroughfare Plan. In considering this non-conformity, it is important for staff to point out that the strip retail center currently being built north of the subject property already has a drive approach off of Quail Run Road, and that commercial traffic will be utilizing this portion of the roadway regardless of if this Specific Use Permit (SUP) is approved. It should also point out that additional landscaping -- *above and beyond what is depicted on the concept plan* -- will need to be provided to sufficiently screen the headlights of vehicles in the drive-through lane. Staff should also note that due to existing easements on the site, it may be difficult for the applicant to provide the required landscaping necessary to screen the headlights shining on to N. Goliad Street. If this proves to be the case, a three (3) foot masonry wall can be incorporated adjacent to the drive-through lane to achieve the same screening. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and an operation condition addressing this issue has been added to the attached draft ordinance.

In addition to not meeting the land uses standards, another issue with the proposed drive approach on Quail Run Road is its distance to the intersection of Pecan Valley Drive and Quail Run Road. According to the Engineering Department's *Standards of Design and Construction*, the minimum driveway spacing from an intersection of a R2 (*i.e. residential, two [2] lane, undivided roadway*) and a *Collector* is 100-feet. In this case, the driveway spacing is 37-feet from the intersection of Quail Run Road and Pecan Valley Road and the southernmost point of the proposed drive approach.

According to the City's parking requirements contained in Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *limited service restaurant* carries a parking requirement of one (1) parking space per 250 SF of building area. In this case, this would translate to a minimum of six (6) parking space (*i.e. 1,415 SF/250 SF = 5.66 or 6 parking spaces*). The proposed concept plan currently only depicts five (5) parking spaces. In addition, Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states "...enclosures shall be located to the side or rear of the primary buildings, and shall not front on to a public right-of-way." In this case, the proposed trash enclosure fronts onto Pecan Valley Drive and would need a variance to this requirement.

Finally, staff should point out that as part of this amended request the applicant -- *unsolicited by staff* -- has incorporated a trail system that was not on the original, resubmitted concept plan. Since this was provided by the applicant it will be a requirement of the Specific Use Permit (SUP) ordinance; however, a portion of this trail system shows to be running into the 100-year floodplain. In order to do this, the applicant will need to perform a Flood/Waters of the United States Study and provide an updated tree mitigation plan for the site. This has been added as a condition of approval in the *Recommendation* section of this case memo.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District and Planned Development District 65 (PD-65). The submitted building renderings will be subject to both the requirements of the N. SH-205 Overlay (N. SH-205 OV) District and review by the Architectural Review Board (ARB) at the time of site plan. Based on this, these elevations are not being proposed to be tied down as part of this case.

## STAFF ANALYSIS

Due to the site constraints of this particular property, it would be difficult for the applicant to meet the compensatory requirements -- *which are stipulated by the Unified Development Code (UDC)* -- needed to off-set the variances depicted on the applicant's concept plan. As a result, the following waivers/variances need to be considered as part of this Specific Use Permit (SUP) request:

- (1) A variance to the locational requirements for a trash enclosure.
- (2) A variance to the parking requirements to reduce the parking from the required six (6) parking spaces to five (5) parking spaces.
- (3) A waiver to the driveway spacing requirements to allow a drive approach to be 37-feet away from the intersection of a collector and a residential roadway.
- (4) A waiver to allow a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* to only have access on to a residential roadway.

As previously stated, the strip retail center to the north -- *which is located on the same tract of land as the subject property* -- also has a drive approach on to Quail Run Road; however, this development also has an approach on to SH-205, which the subject property is not capable of. This means that all traffic generated on the subject property will have to make use of Quail Run Road.

It may also be material for staff to note that when the applicants originally met with staff about the strip retail center, staff informed the applicants that due to the site constraints (*i.e. flood plain, easements, buildable area, frontage on three [3] roadways, etc.*) it would be difficult for a building to be constructed on this portion of the property. Staff also explained that it was unsafe to allow a drive approach off of N. Goliad Street, Pecan Valley Drive, and/or Quail Run Road. At that time, the applicants were proposing a plan that showed a bridge connecting the subject property to the remainder of the tract (*i.e. where the strip retail center is being constructed*). Since this time, the applicant has attempted three (3) submittals on this property, all of which have been for limited service restaurants. Two (2) of these applications were withdrawn, with one (1) being withdrawn after the work session with the Planning and Zoning Commission and one (1) being withdrawn after the Planning and Zoning Commission's recommendation of denial. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## NOTIFICATIONS

On August 15, 2020, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Shore on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 13 responses (*i.e. eight (8) emails and five (5) property owner notifications*) opposed to the applicant's request and one (1) property owner notification in favor of the applicants request.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Smoothie King*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.

- (b) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along Pecan Valley Drive and N. Goliad Street to provide headlight screening for vehicles traveling along N. Goliad Street from vehicles in the drive-through and cueing lanes of the proposed restaurant.
- (2) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (3) The approval of this Specific Use Permit (SUP) will waive the driveway spacing requirements for a drive approach on a residential street as stipulated in the Engineering Department's *Standards of Design and Construction Manual*.
- (4) The approval of this Specific Use Permit (SUP) will constitute a variance to the minimum parking requirements for a *limited service restaurant* as stipulated by Section 06.05, *Off-Street Loading Requirements*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) to allow five (5) parking spaces in lieu of the six (6) required parking spaces.
- (5) The approval of this Specific Use Permit (SUP) will constitute a variance to the dumpster enclosure orientation requirements stipulated by Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow the dumpster enclosure to be oriented toward a public right-of-way.
- (6) A Floodplain/Waters of the United States Study and updated tree mitigation plan will need to be submitted prior to establishing the trail in the floodplain.
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 4-2, with Commissioners Deckard and Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [zoning change or Specific Use Permit (SUP)] is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-037

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 150 Pecan Valley Dr

Subdivision A0131, S. King Survey, Tract 1; Pecan Valley Retail Lot 1 Block A

General Location NWC Goliad St & Pecan Valley Dr

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w. N. SH-205 Overlay

Current Use Undeveloped/Vacant

Proposed Zoning PD-65 w. N. SH-205 Overlay

Proposed Use Restaurant w/ Drive-Thru

Acreage 2.246

Lots [Current] 1

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner JCDB Goliad Holdings, LLC

Applicant Wier & Associates, Inc.

Contact Person Chad DuBose

Contact Person Casey Orr, P.E.

Address 8350 N. Central Expressway  
Suite 1313

Address 121 S. Main St

City, State & Zip Dallas, TX 75206

City, State & Zip Henderson, TX 75654

Phone 214-701-8455

Phone 903-722-9030

E-Mail chad@foremark.com

E-Mail caseyo@wierassociates.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Cary Albert [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 233.69, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

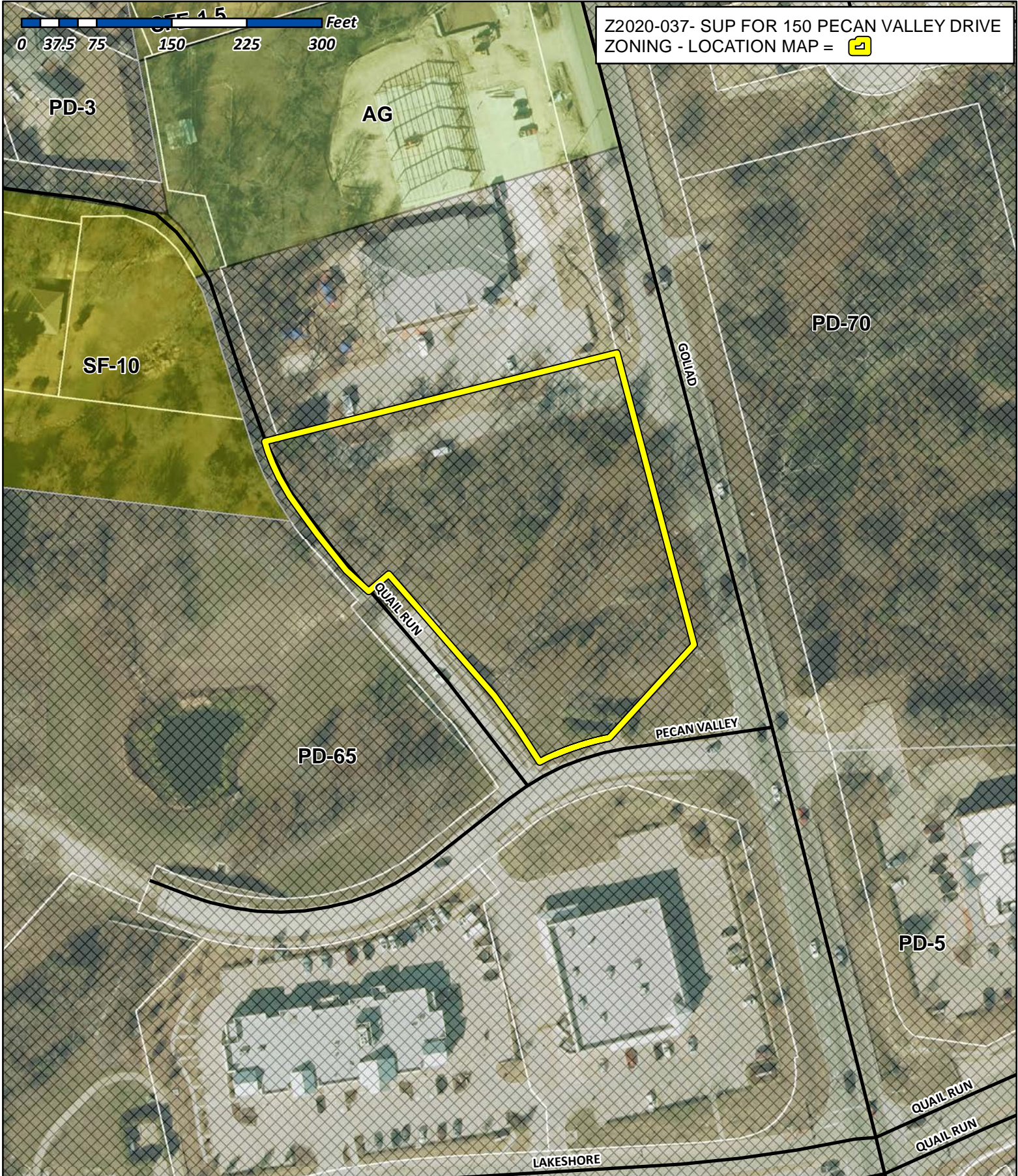
Given under my hand and seal of office on this the 14th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



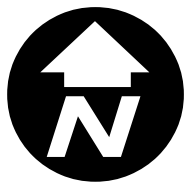




# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

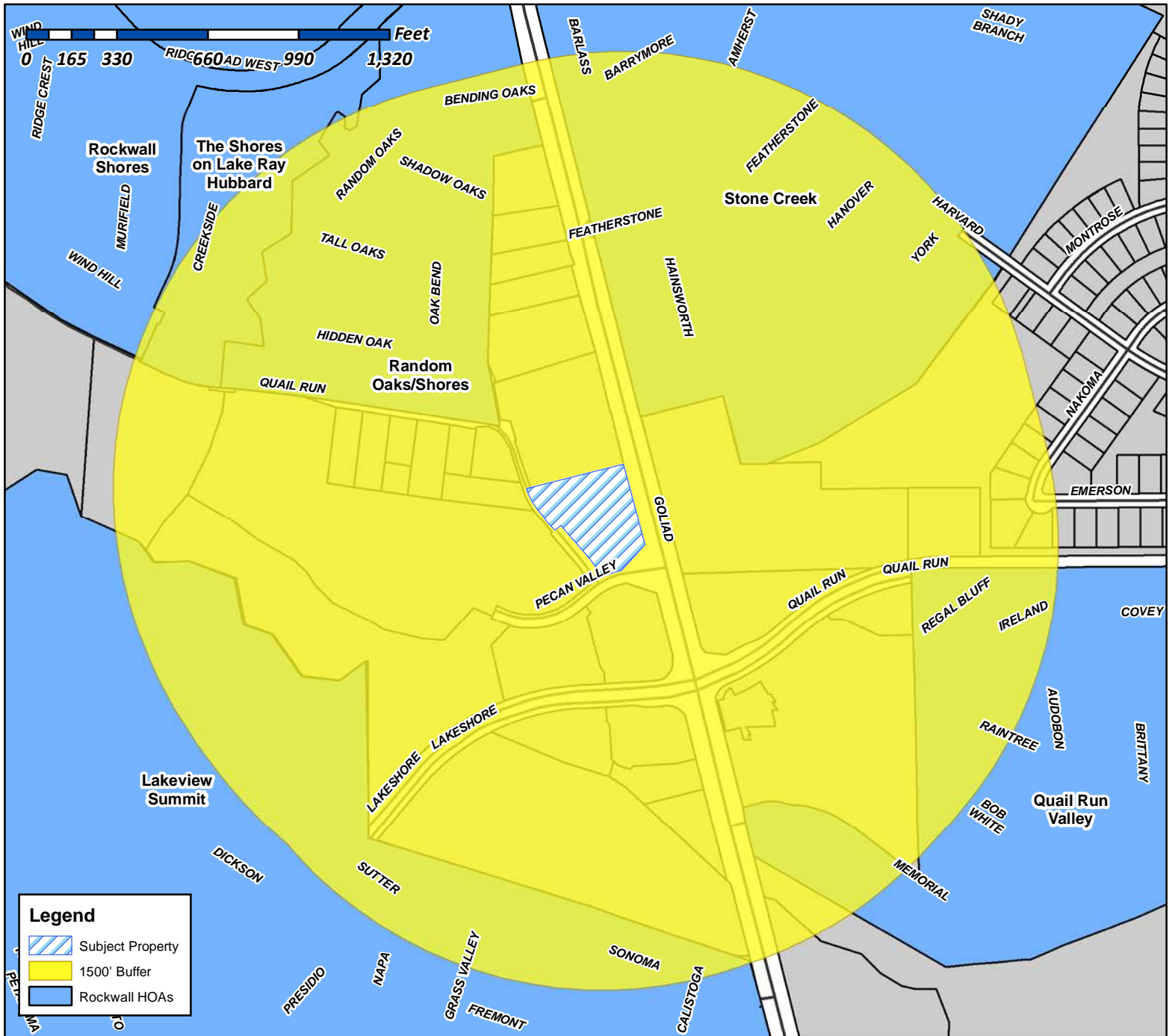




# City of Rockwall

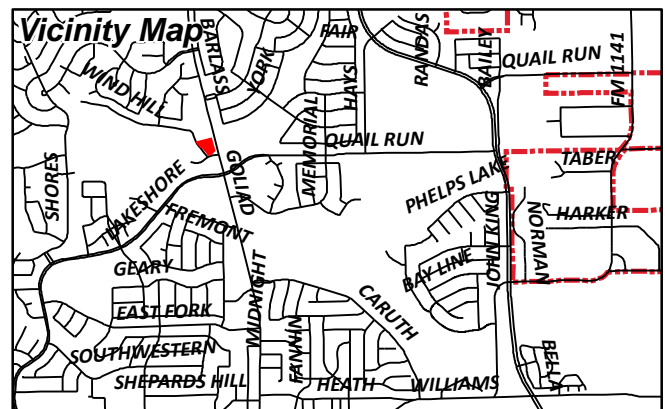
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2020-037  
**Case Name:** SUP for 150 Pecan Valley Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development District 65 (PD-65)  
**Case Address:** 150 Pecan Valley Drive

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Tuesday, August 18, 2020 4:59:49 PM  
**Attachments:** [HOA Map Z2020-037.pdf](#)  
[Public Notice \(08.18.2020\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



# City of Rockwall

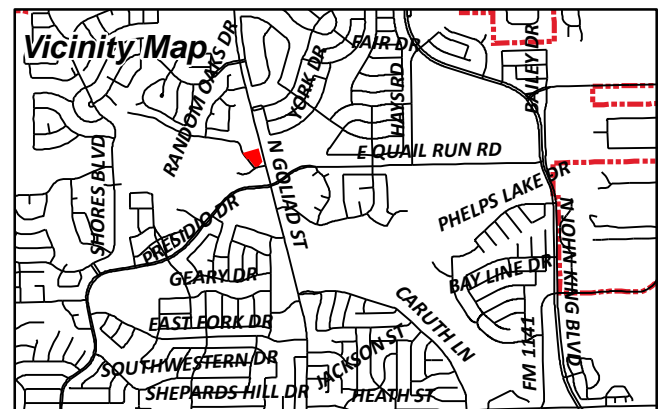
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2020-037  
**Case Name:** SUP for 150 Pecan Valley Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development District 65 (PD-65)  
**Case Address:** 150 Pecan Valley Drive

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745



ROCKWALL STONE CREEK ESTATES  
HOMEOWNERS ASSOCIATION INC  
C/O NEIGHBORHOOD MANAGEMENT INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

ROCKWALL STONE CREEK ESTATES  
HOMEOWNERS ASSOCIATION INC  
C/O NEIGHBORHOOD MANAGEMENT INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

M REA PROPERTIES 2 LLC  
1234 TRALEE LN  
GARLAND, TX 75044

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C SUITE 200  
AUSTIN, TX 78660

CHAPMAN BOBBY E II AND AMY L CHAMPMAN  
1821 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MOORE MICHAEL RAY JR & STEPHANIE  
1823 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MORGAN RAYMOND L JR AND STEPHANIE L  
1825 HAINSWORTH DR  
ROCKWALL, TX 75087

ESCOBEDO OMAR & MARIA C  
1827 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D  
1830 OAK BEND DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2004 N GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2007 N GOLIAD  
ROCKWALL, TX 75087

ARKOMA DEVELOPMENT LLC  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A  
218 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2265 NORTH LAKESHORE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
3009 N GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
3009 N GOLIAD  
ROCKWALL, TX 75087

CLARK TROY & JANICE  
3025 N GOLIAD ST  
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC  
C/O ROCKWALL REGIONAL HOSPITAL LLC; ATTN  
LEGAL DEPT.  
3150 HORIZON RD  
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP  
3819 MAPLE AVENUE  
DALLAS, TX 75219

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

JAVKER REALTY CORP  
42 BOND ST  
NEW YORK, NY 10012

ARRIAGA HENRY  
505 HIDDEN OAK LN  
ROCKWALL, TX 75087

JASMAN JAMES BLAKE  
511 HIDDEN OAK LN  
ROCKWALL, TX 75087

MURRAY NANCY J  
519 HIDDEN OAK LN  
ROCKWALL, TX 75087

REBAC OF ROCKWALL LLC  
6000 UNIVERSITY AVE STE 350  
WEST DES MOINES, IA 50266

GOLIAD REAL ESTATE LLC  
7700 EASTERN AVENUE SUITE 705  
DALLAS, TX 75209

REY LUIS SR AND JUDY L  
806 YORK DR  
ROCKWALL, TX 75087

ODEYEMI ADETUNJI  
808 YORK DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
825 GOLIAD  
ROCKWALL, TX 75087

MOORE WORTH INVESTMENTS LLC  
8445 FREEPORT PKWY SUITE 175  
IRVING, TX 75063

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

*Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area for comments]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gamez, Angelica

---

**From:** Al Estrada <alrestrada@gmail.com>  
**Sent:** Wednesday, August 19, 2020 6:02 PM  
**To:** Planning  
**Subject:** Z20-20 037

Ladies and Gentlemen,

After careful consideration, it is my recommendation for this plan not to move forward with this proposal in this location.

The current traffic jams already produced by the current corner occupants on Goliad and Lakeview, in addition to the increase in traffic accidents will only become worse.

Respectfully submitted,

Al Estrada  
748 Monterey Drive  
ROCKWALL  
TX 75087  
713 829 0701

Lakeview Summit

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



## Gamez, Angelica

---

**From:** Thomas Campion <thomas.campion@outlook.com>  
**Sent:** Wednesday, August 19, 2020 11:49 AM  
**To:** Planning  
**Subject:** Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

To whom it may concern,

Do we have to knock down all the trees just to get another random fast food joint? It seems like plenty of space exists next to and behind McDonalds. If trees have to be cleared I would prefer a healthier establishment take their place such as a sprouts for example.

Thomas R. Campion  
Resident Stone Creek Estates  
108 Chatfield Drive  
Rockwall, TX 75087

**From:** Homeowner Association <Email\_Alert@calibersoftware.email>  
**Sent:** Wednesday, August 19, 2020 11:19 AM  
**To:** thomas.campion@outlook.com  
**Subject:** Neighborhood Notification Program Notice

Dear Residents-

Please see below for a notice from the City of Rockwall regarding a zoning case near Stone Creek Estates HOA.

"Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, August 21, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 15, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:  
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King

Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

Planning & Zoning  
City of Rockwall  
972.771.7745 Office  
<http://www.rockwall.com/planning/>

***Brittany Maxwell***  
**Community Association Manager**  
**Neighborhood Management, Inc.**  
1024 S. Greenville Ave, Suite 230 | Allen, TX 75002  
Direct 972-359-1548 X 230  
**Website**      **Click & Share Your Experience**



**AAMC®- Accredited Association Management Company®**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**From:** [Debe Hyde](#)  
**To:** [Planning](#)  
**Subject:** Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive  
**Date:** Saturday, August 22, 2020 9:17:54 PM

---

Good day to you!

My name is Trent Hyde and I live at 218 West Quail Run Road, Rockwall.

With regard to Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive - I am **OPPOSED to the request for the reasons listed below:**

I have lived in Rockwall for over 20 years and in that time have watched Planning & Zoning just approve to fill up every little space of the once quiet area of Quail Run / Lakeshore Drive. This is destroying the integrity and the small town feel of Rockwall to add yet another restaurant to Rockwall.

Have you ever tried to turn left from Pecan Valley Drive onto Highway 205 at any time of the day? It's close to impossible and extremely dangerous. I ask you to try it, especially during high traffic hours.

Please, we are pleading, do not approve any establishment to be built on this corner. You will just be adding one more problem to the chaos. Thank you for your consideration!

Trent Hyde  
214-924-9061

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**From:** [Ed Mahoney](#)  
**To:** [Planning](#)  
**Subject:** Z2020-037 Smoothie King  
**Date:** Thursday, August 20, 2020 10:35:03 AM

---

Isn't the intersection bad enough already? We do NOT need another fast food restaurant, even after 205 is widened.

Please deny this request.

Kaaren Mahoney  
2601 Nova Park Ct  
Rockwall  
(The Shores)

Sent from my iPad

---

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

**From:** [J.Chastain](#)  
**To:** [Planning](#)  
**Subject:** Z2020-037  
**Date:** Sunday, August 23, 2020 7:11:27 AM

---

If like to express my concern with putting another drive through at the corner of lakeshore and 205. Morning traffic consistently backs up at this intersection all the way to the shores entrance. Bringing more people to this intersection will cause a lot of problems. Especially those who come North and have to pass through the line of cars as they try to turn left into this drive through. Not only is it an eye sore that they took down a beautiful Grove of trees but all of this cheap big chain fast food really downgrades rockwalls old charm. The original zoning was there for a reason. Rockwall was a well built city that preserved itself in it's correct areas. Please don't let that be degraded by some money hungry developers looking to make a quick dollar on any 20 square feet they can get there hands on.

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Gamez, Angelica

---

**From:** Ed Mahoney <saildrambuie@sbcglobal.net>  
**Sent:** Thursday, August 20, 2020 10:35 AM  
**To:** Planning  
**Subject:** Z2020-037 Smoothie King

Isn't the intersection bad enough already? We do NOT need another fast food restaurant, even after 205 is widened.

Please deny this request.

Kaaren Mahoney  
2601 Nova Park Ct  
Rockwall  
(The Shores)

Sent from my iPad

---

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Please do not remove the little left of what was once a beautiful area. This intersection is already over loaded with traffic - Donot add more. Leave what's left for the children and family who use it to walk. Let those wanting to make another million go some where else - Leave the area*

Name: *Lanty W. Dean*  
Address: *216 W. Duval Park Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

*Lanty W. Dean*

## Gamez, Angelica

---

**From:** Marshall Brown <marshbrown@gmail.com>  
**Sent:** Wednesday, August 19, 2020 3:30 PM  
**To:** Planning  
**Subject:** Case Z2020-037

Greetings,

I'm writing this email in protest of Planning Case Z2020-037. I disagree with a drive through establishment in this area. Not only did a nice grove of trees get torn down for development, but a Smoothie King is not what is needed. If we want to keep that Rockwall small town feel, we should be promoting more restaurants where people can hang out. Bring some of the downtown feel to the Lakeshore/205 area instead.

There's a good walking path nearby. Maybe we could model the area to cater to more pedestrian traffic to alleviate the traffic congestion that's already there?

Cordially,

Marshall Brown  
673 Hanover Dr, Rockwall, TX 75087

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Every beautiful tree will have to be removed. It will be dangerous for us and the children in the neighborhood because of the traffic. We will never be able to get onto Goliad St.*  
Name: *Mary F. Dean*  
Address: *216 W. Quail Run Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

*Mary F. Dean*

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

THE SIZE AND SHAPE OF THE PROPERTY MAKES PLACING ANY SIZE RESTAURANT FACILITY A DANGEROUS PROPOSITION. 1. 1200 IS large enough TO ALLOW INSIDE SEATING - SITE DOES NOT ALLOW ENOUGH PARKING; 2. INGRESS/EGRESS TO SITE WOULD BE WITHIN 30 FEET OF CORNER OF W QUAIL RUN RD & PECAN VALLEY WHICH IS SIGNIFICANTLY LESS THAN THE 100' REQUIREMENT MAKING A DANGEROUS TRAFFIC SITUATION THAT COULD CAUSE ACCIDENTS AND HARM TO PEDESTRIANS. 3. IT WOULD IMPAIR ACCESS TO CURRENT PROPERTY OWNERS.

Name: MICHAEL HUNTER

Address: 260 W. QUAIL RUN RD, ROCKWALL TEXAS 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: <sup>Klartu</sup> Moore Investments, LLC  
Address: 4995 Freeport Drwy Suite 175, Irving TX 75062

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

This would impose a hazardous Traffic situation for pedestrians and Residents on Quail Run, Pecan Valley, as well as <sup>impede</sup> Traffic on 205

Name: Vickie Hunter  
Address: 220 W. Quail Run Rd., Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [Wendy Lee-Graham](#)  
**To:** [Planning](#)  
**Subject:** Re: case Z2020-037  
**Date:** Wednesday, August 26, 2020 5:00:48 PM

---

Hello,

I am emailing today to request you deny the planning application for a Smoothie King at this location. The last thing we need is another drive-thru establishment (or nail salon/dentist/childcare...) in this area.

Kind regards,  
Wendy Lee-Graham  
1645 Plummer Drive  
Rockwall, TX 75087

---

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



**WIER & ASSOCIATES, INC.**  
ENGINEERS  
SURVEYORS  
LAND PLANNERS

August 14, 2020

City of Rockwall  
Planning & Zoning Dept.  
385 S. Goliad St  
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT  
NW CORNER OF GOLIAD & PECAN VALLEY  
W&A# 19022**

PRINCIPALS  
JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
PHILIP L. GRAHAM, P.E.  
JAKE H. FEARS, P.E., LEED AP BD+C  
RANDALL S. EARDLEY, P.E.

ASSOCIATES  
TOBY W. RODGERS  
CASEY D. YORK  
PRIYA N. ACHARYA, P.E.  
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

JCDB Goliad Holdings, LLC intends to develop a portion of a 2.174-acre parcel of land, zoned as PD-65 within the N. SH-205 Overlay District, and situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas. Said property is generally located at the northwest corner of Goliad St and Pecan Valley Dr and is addressed as 150 Pecan Valley Dr.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 1,400±-sf restaurant with drive-through on the southern portion of the tract. This development requires a Specific Use Permit due to being a restaurant, less than 2,000-sf, with drive-through or drive-in facilities. The developable area south of the existing creek is bound by several site constraints, which include easements, right-of-way dedication, and floodplain. A site plan exhibit, prototypical floor plan and renderings, and typical traffic counts are included with this submittal for reference.

We request that the review of the Specific Use Permit application for the property noted above be recommended for approval by staff. Please contact the developer, Chad DuBose with JCDB Goliad Holdings, LLC, by phone at 214-701-8455 or via email at chad@foremark.com or the developer’s engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.  
Project Manager

2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006-7440  
(817) 467-7700  
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.  
HENDERSON, TEXAS 75654-3559  
(903) 722-9030  
TOLL FREE FAX (844) 325-0445



**WIER & ASSOCIATES, INC.**  
ENGINEERS  
SURVEYORS  
LAND PLANNERS

September 1, 2020

City of Rockwall  
Planning & Development Services  
385 S. Goliad Street Rockwall, TX 75087  
Attn: Angelica Gamez

PRINCIPALS  
JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
PHILIP L. GRAHAM, P.E.  
JAKE H. FEARS, P.E., LEED AP BD+C  
RANDALL S. EARDLEY, P.E.

ASSOCIATES  
TOBY W. RODGERS  
CASEY D. YORK  
PRIYA ACHARYA, P.E.

RE: WA # 19022 – 150 PECAN VALLEY DR, ROCKWALL, TX 75087 (Z2020-037)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

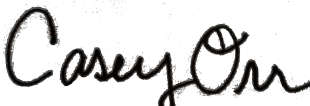
**Land Use Conditional Standards:** applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

**Driveway Spacing:** applicant is requesting a waiver from the required driveway spacing. The site is bound by several constraints, including floodplain to the north, utility easements to the south and east, and 3 public roadways. The proposed driveway location is the most feasible.

**Dumpster Location:** applicant is requesting a waiver to allow the trash enclosure to front Pecan Valley. The enclosure will be screened with landscaping, a masonry wall, and a gate.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

  
Casey Orr, P.E.

2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006-7440  
(817) 467-7700  
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.  
HENDERSON, TEXAS 75654-3559  
(903) 722-9030  
TOLL FREE FAX (844) 325-0445

PRINTED: 9/1/2020 5TB FILE: WIER-PAVING-STB LAST SAVED: 9/1/2020 10:44 AM SAVED BY: CASEYO FILE: SUP SITE PLAN SMOOTHIE KING.DWG

LEGEND	
	LANDSCAPE AREA (REF: LANDSCAPE PLAN)
	CONCRETE SIDEWALK

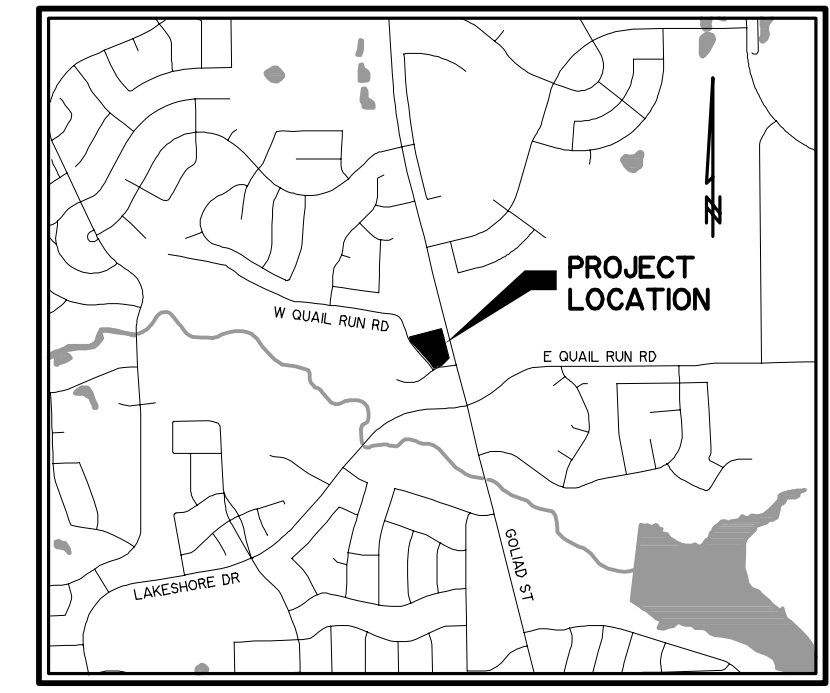
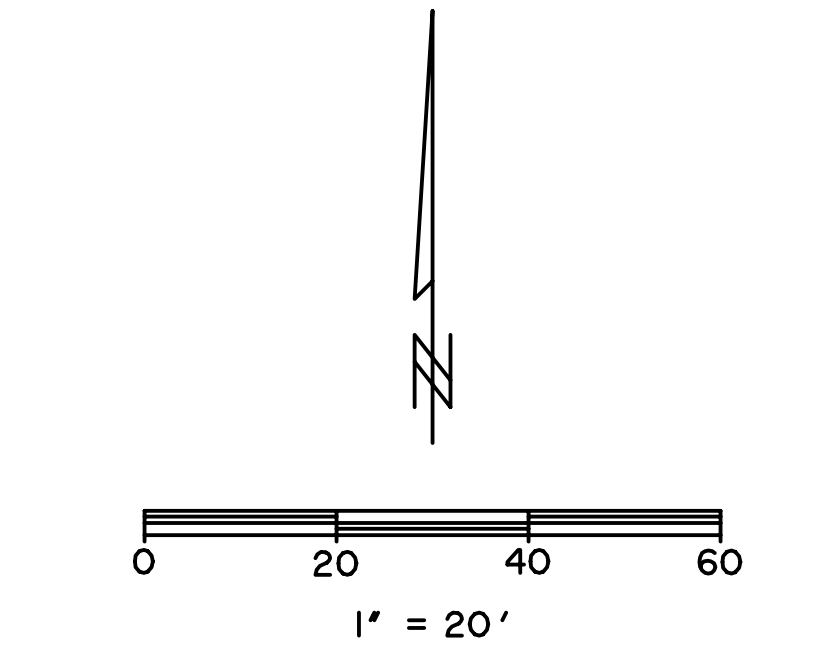
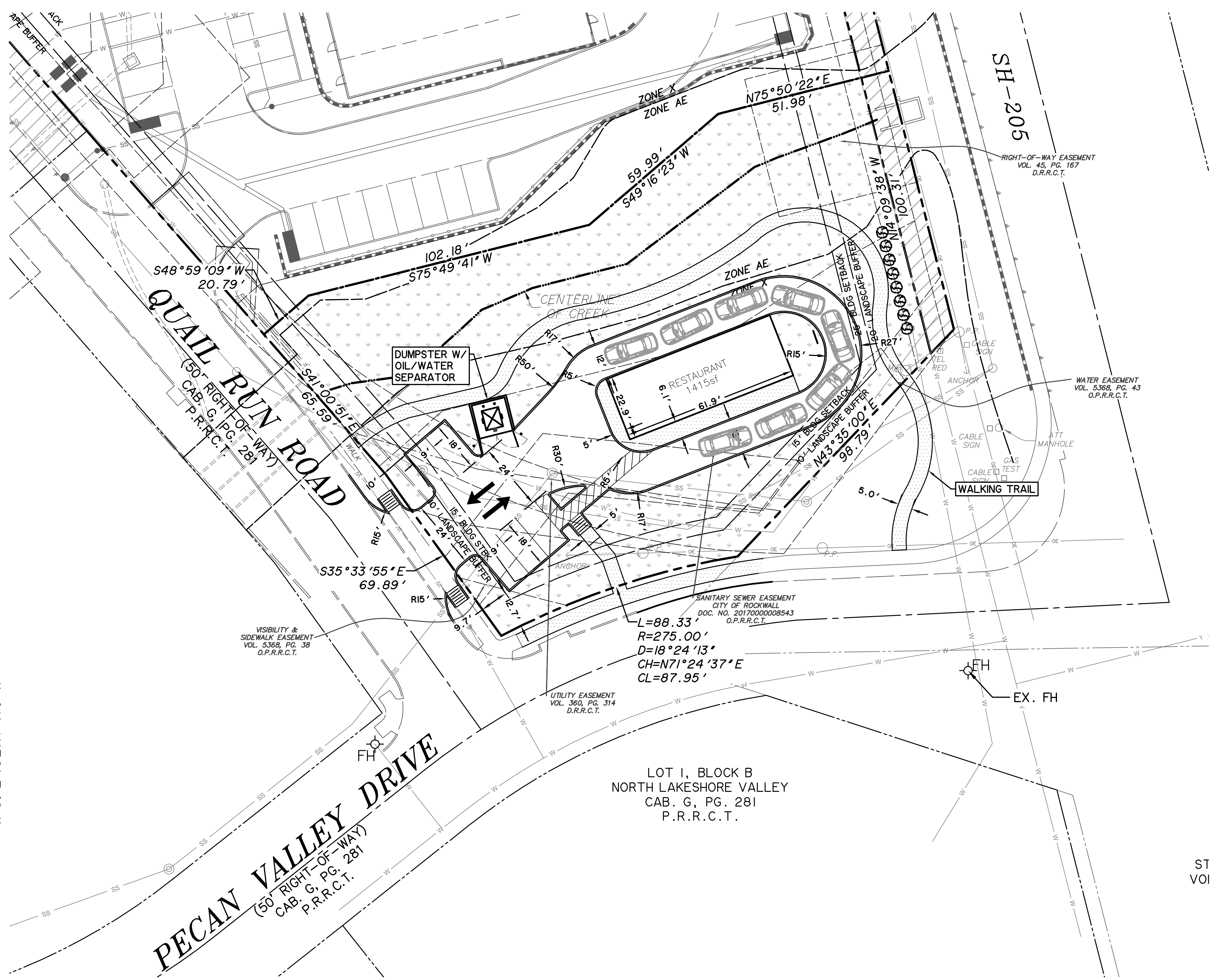
- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**FEMA NOTE**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'AE' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A' AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

**DEVELOPER**  
 JCDB GOLIAD HOLDINGS, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE 1313  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 CHAD@FOREMARK.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: CASEY ORR, P.E.  
 121 S. MAIN ST  
 HENDERSON, TX 75654  
 PHONE: (903) 722-9030  
 CASEYO@WIERASSOCIATES.COM



**VICINITY MAP**  
 1" = 2,000'

SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	LIMITED SERVICE RESTAURANT
LOT AREA (ARTIFICIAL)	0.579± AC (25,233 SF)
BUILDING AREA	1,415 SF (REQUIRES SUP APPROVAL)
BUILDING HEIGHT	11'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
BUILDING/LOT COVERAGE	5.6%
LANDSCAPE AREA	16,679 SF
LANDSCAPE COVERAGE	66.1%
NUMBER OF SEATS	1/250 SF = 1415/250 = 6
REQUIRED PARKING	6
PROVIDED PARKING	5

LOT 1, BLOCK B  
 NORTH LAKESHORE VALLEY  
 CAB. G, PG. 281  
 P.R.R.C.T.

ST  
 VOI

CONCEPTUAL PLANS  
 FOR PROJECT REVIEW.  
 NOT FOR  
 CONSTRUCTION,  
 BIDDING OR PERMIT  
 PURPOSES.  
 Prepared By/Or Under  
 Direct Supervision Of  
 Casey B. Orr, PE  
 Texas Registration  
 No. 121642  
 On Date Shown Below.

**SUP SITE PLAN  
 RESTAURANT  
 150 PECAN VALLEY DR  
 ROCKWALL, TEXAS**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, L.T.D., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

**September 1, 2020**

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

CASE No.: Z2020-037

DATE: 9/1/2020  
 W.A. No. 19022





STUDIO | DESIGN



STUDIO DESIGN



STUDIO | DESIGN

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 1 OF THE S. KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Casey Orr, PE of Wier & Associates, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 105 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed restaurant.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

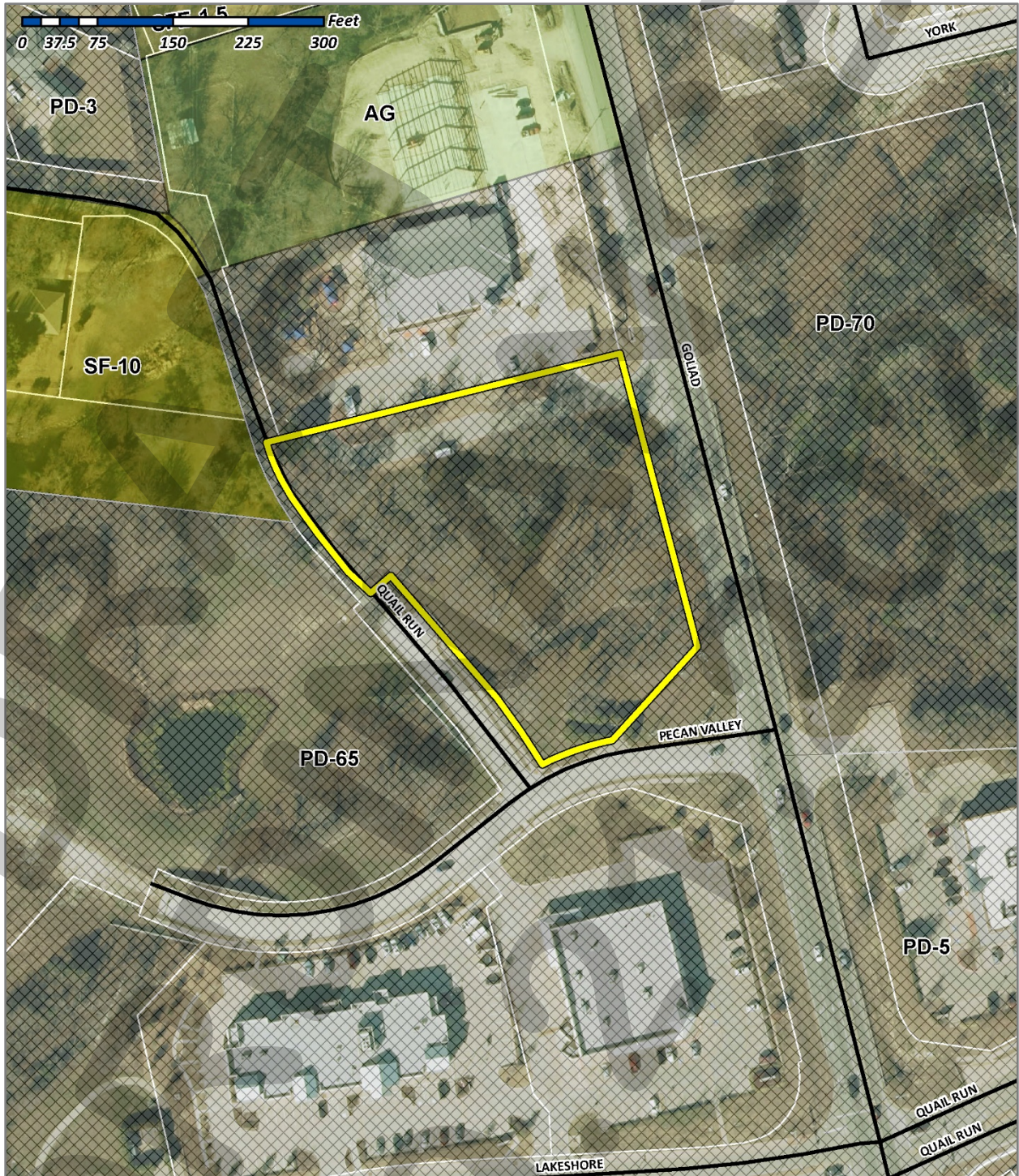
1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
*Location Map and Legal Description*

Address: 105 Pecan Valley Drive

Legal Description: Tract 1 of the S. King Survey, Abstract No. 131



**Exhibit 'A'**  
*Location Map and Legal Description*

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

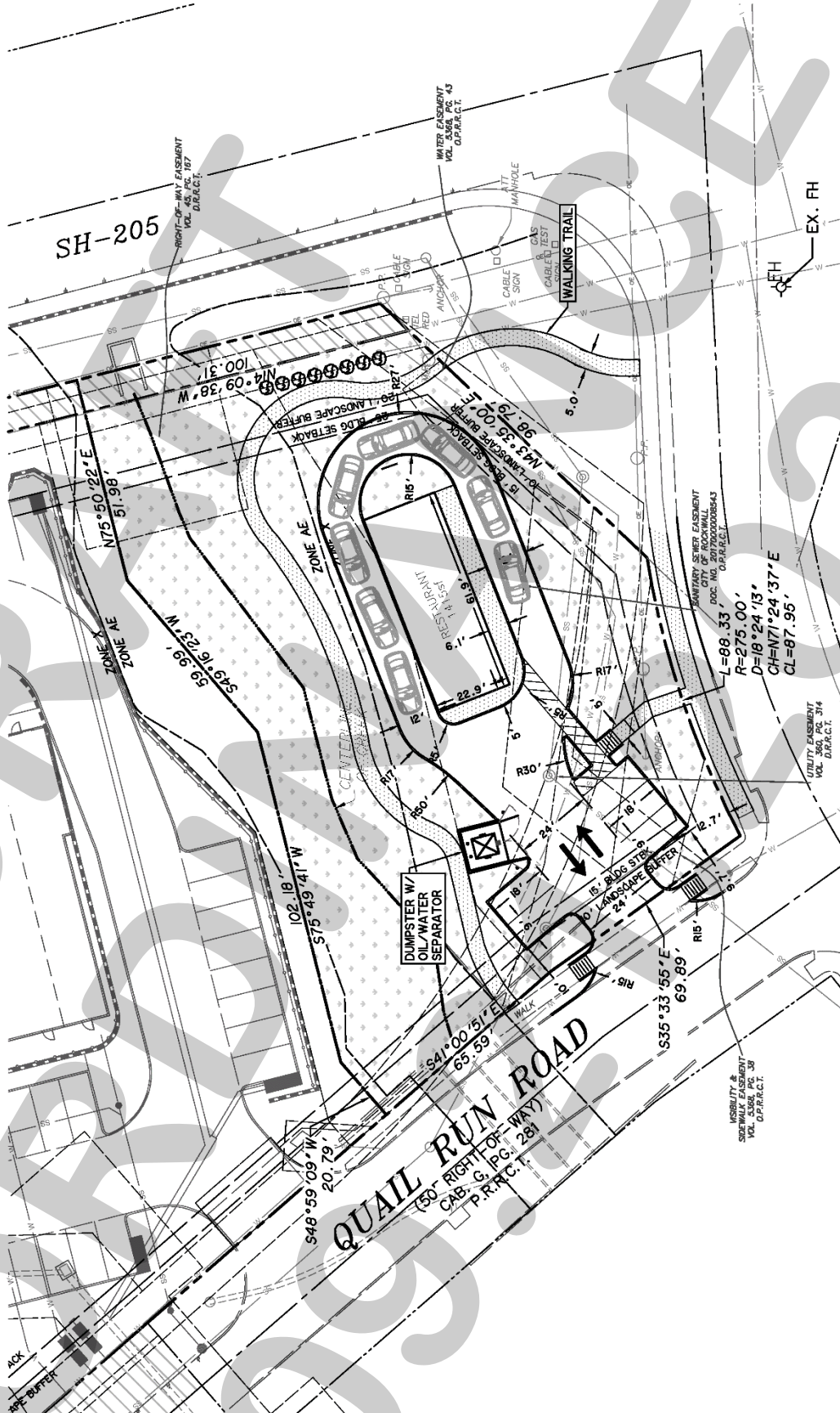
THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.



Exhibit 'B':  
Concept Plan





**CITY OF ROCKWALL**  
**PLANNING AND ZONING COMMISSION MEMORANDUM**  
PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** September 29, 2020  
**SUBJECT:** Z2020-039; *Amendment to the Accessory Structure Standards in Article 05, District Development Standards, of the Unified Development Code (UDC)*

---

On September 8, 2020, staff held a work session with the City Council to discuss the accessory structure standards contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC). The purpose of this work session was to review the current standards, and see if any changes or clarifications were needed to improve the current ordinance. After reviewing the information provided by staff, the City Council directed staff to make the following changes to the standards, process, and procedures for accessory structures:

- (1) Ordinance Changes. Change the current accessory structure standards to incorporate the following changes [1] provide a definition of standard size motor vehicle (*i.e. a vehicle that is a minimum of nine [9] feet by 18-feet*), [2] provide clarification to the requirements for detached garages that specifically states that a motor vehicle needs to be able to access a detached garage via a standard width, concrete residential driveway that is a minimum of 20-feet in length, and [3] provide additional minor clarifications. *Attached to this memorandum is a copy of the proposed changes.*
- (2) Building Permit Application. Changes to the format and presentation of the *Building Permit Application* were made. This included removing several sections from the old application that were deemed to be unnecessary or confusing, and changing the Permit Description field to Project Description. In addition, the fee schedule was consolidated from two (2) pages to one (1) page and incorporated on the backside of the *Building Permit Application*. *This change has already been implemented and attached to this memorandum is a copy of the updated application form.*
- (3) Penalty Fees for Construction without a Permit. The City of Rockwall requires all contractors in the City to register and pay a \$100.00 registration fee to apply for permits and do work within the City (*with the exception of plumbers and electricians who are required to register but are exempted from the registration fee per State Law*). As a deterrent the City Council directed staff to implement a penalty for contractors who do work without obtaining a building permit or that do work under false pretenses (*i.e. work that was not on an approved permit*), that stipulates that the City can expire their contractor's registration and make them reapply. This would cost the contractor both time and money when they try to pull a subsequent permit from the City. *This change was implemented with the changes to the consolidated fee schedule and is currently in use.*
- (4) Educational Tools. Staff is in the process of creating a one (1) page handout that includes the ordinance (*which was consolidated into a one [1] page chart with Ordinance No. 18-47*), and shows a graphical depiction of the dimensional requirements for accessory structures. *This will be provided for the Planning and Zoning Commission's review at the meeting on October 13, 2020.*

Since the City Council's direction, staff has made a few additional changes (*i.e. yellow depicts changes presented to the City Council and green depicts new changes*) relating to setbacks. Attached to this memorandum is a copy of the information provided to the City Council, the proposed changes to the accessory structure standards, a copy of the proposed one (1) page handout referenced above (*incomplete*), and the draft ordinance. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code, staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: September 29, 2020

Planning and Zoning Commission Public Hearing: October 13, 2020  
City Council Public Hearing/1<sup>st</sup> Reading: October 19, 2020  
City Council 2<sup>nd</sup> Reading: November 2, 2020

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 29, 2020.



**CITY OF ROCKWALL**  
**CITY COUNCIL MEMORANDUM**

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**CC:** Rick Crowley, *City Manager*  
Mary Smith, *Assistant City Manager*  
Joey Boyd, *Assistant City Manager*  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** September 8, 2020  
**SUBJECT:** *Work Session on Accessory Structure Requirements*

---

At the last City Council meeting, the City Council directed staff to bring back a work session to discuss the accessory structure standards contained in the Unified Development Code (UDC). As the City Council may recall, the current accessory structure standards were adopted as part of the legislative update on September 3, 2019, and were intended to give the City Council oversight of accessory structures *not* conforming to the requirements to ensure that the proposed accessory structure would be [1] compatible with the existing and adjacent housing, and [2] that the request would not set a precedence that could change the essential character of a neighborhood. Based on the City Council's direction for a work session, staff has prepared the following information:

*History of Accessory Structure Requirements: June 21, 2004 – Present Day*

Prior to *Ordinance No. 18-47 [Case No. Z2018-042]* -- which the City Council passed on November 19, 2018 -- the accessory structure standards were in two (2) different places in the code (i.e. in *Article 04, Permissible Uses*, and in *Article 05, District Development Standards*). These standards were originally adopted in 2004 and amended in 2006-2007, but had not changed from 2007 until *Ordinance No. 18-47* in 2018. A summary of the standards in place prior to *Ordinance No. 18-47* is depicted in *Exhibit 'A'* of this memorandum.

*Ordinance No. 18-47 [Case No. Z2018-042]* was the result of the City Council asking staff to reduce requests relating to variances, waivers, and exceptions. For accessory structure standards, this ordinance consolidated all of the standards into a single chart, and removed the duplicated and conflicting references in the code. This ordinance also changed the approval process for non-conforming accessory structures (i.e. *accessory structures not meeting the minimum requirements*) from a Specific Use Permit (SUP) approval to a two (2) stage approval process. For structures not conforming to the material standards an exception would need to be requested from the Planning and Zoning Commission, and for those structures that exceeded the size requirements a variance would need to be requested from the Board of Adjustments (BOA). This change effectively made it so that the City Council would no longer see accessory structure cases unless there was an appeal to the Planning and Zoning Commission's decision on a material exception. The standards for accessory buildings as changed by *Ordinance No. 18-47* are depicted in *Exhibit 'B'* of this memorandum.

On September 3, 2019, the City Council adopted *Ordinance No. 19-32 [Case No. Z2019-016]*. This ordinance was the result of changes made to the Texas Local Government Code as part of the 86<sup>th</sup> Legislative Session. For accessory buildings this meant reintroducing the Specific Use Permit (SUP) process to grant oversight of the architecture of accessory structures to the City Council. This was mostly in response to HB2439 (i.e. *the building materials bill*) and the City Council's desire to protect existing subdivisions -- *not under the protection of a Homeowner's Association* -- from inconsistent development that could have a negative impact on property values. The standards for accessory buildings as changed by *Ordinance No. 19-32* are depicted in *Exhibit 'C'* of this of this memorandum.

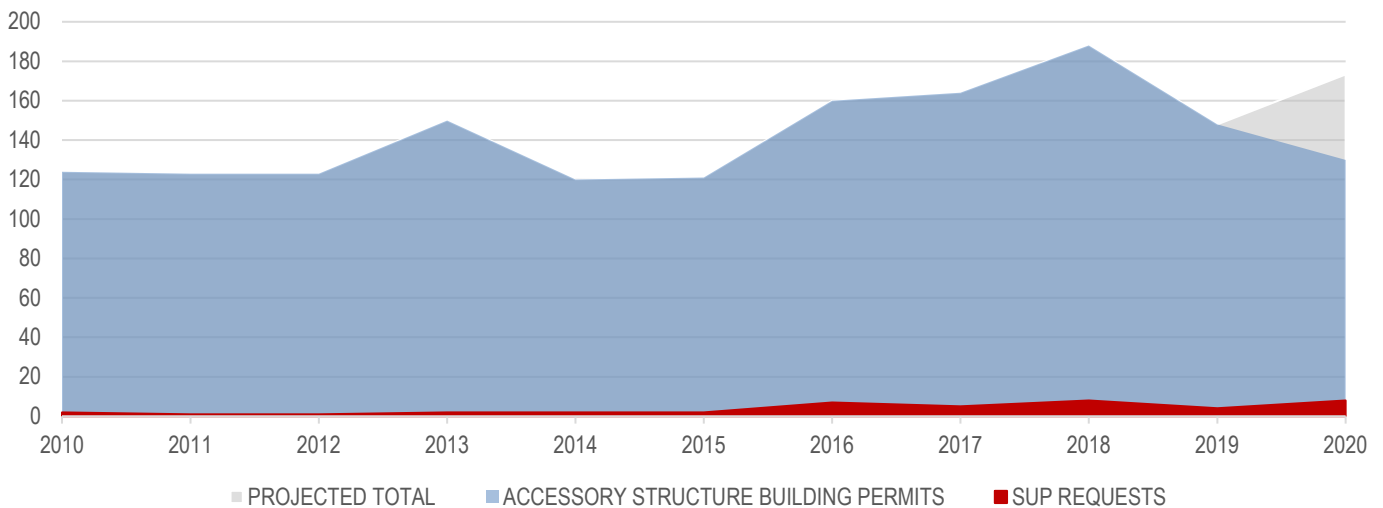
*Continued on Next Page ....*

Accessory Structure Cases by the Numbers: January 1, 2010 to August 14, 2020

In the last ten (10) years, the City Council has presided over 194 Specific Use Permit (SUP) requests, 43 of which have dealt with accessory structures. This means that approximately 22.16% of all SUP cases dealt with accessory buildings, detached garages, pergolas, covered porches, carports, and secondary living units. These 43 cases represent 2.77% of all building permits issued for *Residential Accessory Structures* (i.e. 1,551) and 0.14% of all building permits issued (i.e. 31,019) in the last ten (10) years (also see Exhibit 'E'). On average, the City issues ~141 *Residential Accessory Structure* building permits per year, with an average of ~4.3 of these permits requiring a SUP. On the right-hand side of this page is a breakdown of the total SUP cases versus the number of accessory structure cases requiring a SUP by year over the last ten (10) years (also see Exhibit 'D').

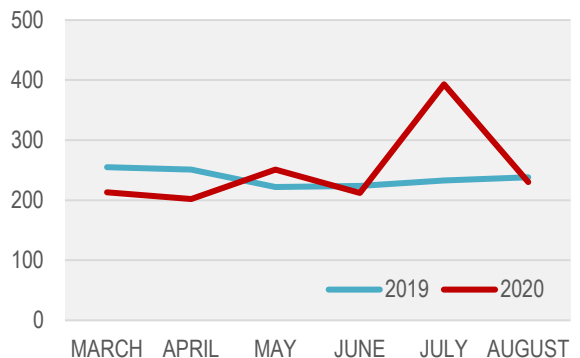
Year	Total SUP's	Total Acc. Structure SUP Cases	% of SUP Acc. Structure Cases
2010	3	2	66.67%
2011	5	1	20.00%
2012	10	1	10.00%
2013	20	2	10.00%
2014	19	2	10.53%
2015	15	2	13.33%
2016	18	8	44.44%
2017	29	5	17.24%
2018	32	8	25.00%
2019	14	4	28.57%
2020	29	8	27.59%
	194	43	22.16%

ACCESSORY BUILDING PERMITS VS. ACCESSORY BUILDING SUP REQUESTS, 2010-2020



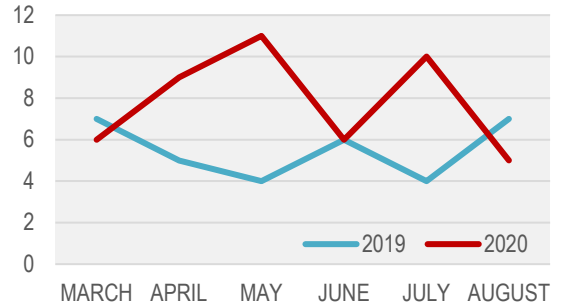
Breaking down the SUP cases, the majority of the cases deal specifically with accessory buildings -- 37 out of the 43-- , with the two (2) largest issues requiring a SUP being [1] the exterior building materials (i.e. 29.73%) and [2] the square footage (i.e. 89.19%). The next biggest issue was the overall height (i.e. 21.62%) of the accessory structure. Staff should note that accessory buildings in this case include storage sheds, detached garages, and secondary living units. Of the 37 SUP cases requested for accessory buildings, four (4) cases were withdrawn before they got to City Council (i.e. 10.81%), five (5) cases (i.e. 16.22%) were denied by the City Council, and 28 cases (i.e. 72.97%) were approved by the City Council. In addition, five (5) of the 37 SUP cases dealt with violations relating to building permits (i.e. three [3] structures were built without permits, one [1] began demolition without a permit, and one [1] received a permit but did not follow the approved design). Of these cases, one (1) case was withdrawn before it got to the City Council, one (1) case was denied by the City Council, and three (3) cases were approved by the City Council. Staff should point out that four (4) of these cases were submitted in back-to-back submittal periods (i.e. in April 17, 2020 & May 14, 2020), and the City Council ultimately saw three (3) of the four (4) cases submitted. A breakdown of all 37 accessory building cases submitted in the last ten (10) years is depicted in Exhibit 'F' of this memorandum.

RESIDENTIAL BUILDING PERMITS ISSUED: MARCH - AUGUST 2019 VS. MARCH - AUGUST 2020



The chart on the right-hand side of the previous page shows issued residential building permits from March through August 2019 versus March through August 2020 (*Note: these numbers are for all residential building permits only*). The aberration seen in July of 2020 is tied to building permits that were submitted in June of 2020 and issued in July of 2020. Staff is of the opinion that the aberration seen in July's permitting numbers can be attributed to the current COVID-19 situation, which has more homeowners at home during the typical work week. Staff has noticed a trend in recent months of more projects being initiated by homeowners than contractors. The increased permitting trend is even more apparent in the chart of *Accessory Building Permits* issued between March through August 2019 versus March through August 2020, which is depicted on the right-hand side of this page.

ACCESSORY BUILDING PERMITS ISSUED: MARCH - AUGUST 2019 VS. MARCH - AUGUST 2020



This chart shows a significant increase in the number of accessory building permits being issued during this time period in 2020 compared to the same time period in 2019.

Questions Raised by the City Council at the City Council Meeting on August 17, 2020

Q: Why do we have the current size requirements for accessory buildings and detached garages?

A: Based on the information provided in the *History* section above, the size requirements adopted with the original Unified Development Code (UDC), the changes adopted with *Ordinance No. 18-47*, and the changes adopted with *Ordinance No. 19-32* are as follows:

June 21, 2004 to November 19, 2018	Accessory Buildings	Detached Garage	Portable Accessory Building
Single-Family Estate 4.0 (SFE-4.0) District	2,000 SF	900 SF	120 SF
Single-Family Estate 2.0 (SFE-2.0) District	1,500 SF	900 SF	120 SF
Single-Family Estate 1.5 (SFE-1.5) District	1,250 SF	900 SF	120 SF
All Other Single-Family Districts	225 SF	900 SF	120 SF
Two Family (2F) District	100 SF	900 SF	120 SF

November 20, 2018 – September 3, 2019	Accessory Buildings	Detached Garage	Portable Accessory Building
Single-Family Estate 4.0 (SFE-4.0) District	2,000 SF	900 SF	120 SF
Single-Family Estate 2.0 (SFE-2.0) District	1,500 SF	900 SF	120 SF
Single-Family Estate 1.5 (SFE-1.5) District	1,250 SF	900 SF	120 SF
All Other Single-Family Districts	225 SF	900 SF	120 SF
Two Family (2F) District	100 SF	900 SF	120 SF

September 4, 2019 – Present	Accessory Buildings	Detached Garage	Portable Accessory Building
Single-Family Estate 4.0 (SFE-4.0) District	1,250 SF	625 SF	120 SF
Single-Family Estate 2.0 (SFE-2.0) District	1,000 SF	625 SF	120 SF
Single-Family Estate 1.5 (SFE-1.5) District	1,000 SF	625 SF	120 SF
All Other Single-Family Districts	144 SF	625 SF	120 SF
Two Family (2F) District	100 SF	625 SF	120 SF

The size requirements prior to September 4, 2019 had remained the same since June 21, 2004 when all of the City's development ordinances were codified into the Unified Development Code (UDC). The reason the sizes were reduced in 2019 was tied to the adoption of HB2439. The following is an excerpt from the City Council memo with this amendment:

“...Based on the changes of HB2439, staff changed the zoning code back to requiring SUP's for these types of structures [*accessory structures*]. In addition, staff reduced the size requirements for all accessory buildings/structures that can be permitted without a SUP. Staff should reiterate that this strategy is not tied to building materials, but is tied to ensuring that [1] any development within an existing subdivision is aesthetically similar to existing development within the subdivision, and [2] to ensure that a public hearing process is retained in approving structures that do not conform to the permitted standards. Staff anticipates based on the previous case volumes ... that this will add an additional five (5) to ten (10) SUP cases per year.” (*this page from the case memo has been included in full in Exhibit 'G' of this memorandum for the City Council's review*)

Q: How does the City's current size requirements compare to other cities?

A: At the City Council's direction staff has reviewed other cities' accessory structure requirements for accessory buildings and detached garages. The following is a summary of the findings:

City	Maximum SF for Accessory Buildings	Maximum SF for Detached Garages	Is the City Still Regulating Building Materials?
Carrollton	Differing Lot Coverage Requirements and Material Requirements for 120SF/240SF/600+ SF <sup>4 &amp; 6</sup>		Yes
Colleyville <sup>1</sup>	1,200 SF Maximum but Must be Less than 50% of Primary Structure and 4% of Lot		No
Frisco <sup>2</sup>	Lot Coverage is Used to Control Accessory Structures		Yes
Garland <sup>2</sup>	Limited to 30% of the SF or the Primary Structure		No
Grand Prairie <sup>2</sup>	450 SF <sup>7</sup>	750 SF	Yes
Mesquite <sup>2</sup>	500 SF <sup>8</sup>	500 SF <sup>8</sup>	Yes <sup>10</sup>
Richardson	Reduced Lot Coverage Capped at a % of Primary Structure SF		Yes
Rowlett <sup>1</sup>	500 SF	500 SF	Yes
South Lake <sup>3</sup>	% of Lot Area but Differs by Zoning District <sup>5</sup>		Yes
Wylie <sup>3</sup>	5% of Lot Area or 60% of Lot Coverage whichever is Less		Yes <sup>11</sup>

NOTES:

- <sup>1</sup>: Specific Use Permit (SUP) for non-conforming structures.
- <sup>2</sup>: Board of Adjustments (BOA) for non-conforming structures.
- <sup>3</sup>: City Council approval for non-conforming structures.
- <sup>4</sup>: Allows unlimited size but must meeting the same architecture and building materials as the primary structure.
- <sup>5</sup>: Allows percentage of lot area for all accessory structures (e.g. 3% of lot area for SF-2 District).
- <sup>6</sup>: Limited to one (1) accessory building and one (1) detached garage.
- <sup>7</sup>: Not to exceed 50% of the primary structure.
- <sup>8</sup>: Only allows a ten (10) percent increase in building SF by the BOA.
- <sup>9</sup>: Limited to three (3) accessory structures.
- <sup>10</sup>: In the process of changing the code.
- <sup>11</sup>: Ignoring local code and complying with State Law.

Based on staff's research there appears to be four (4) methods of regulating accessory structures: [1] by square footage, [2] by lot coverage, [3] by percentage of square footage of the primary structure, or [4] a combination of these methods; however, after review staff should point out that all four (4) methods yield very similar results. For example:

Example 1: 1,600 SF House on a 7,000 SF Lot

Lot Coverage of 5%: 350 SF  
30% of the Primary Structure: 480 SF

Example 2: 2,500 SF House on a 10,000 SF Lot

Lot Coverage of 5%: 500 SF  
30% of the Primary Structure: 750 SF

Example 3: 3,000 SF House on a 16,000 SF Lot

Lot Coverage of 5%: 800 SF  
30% of the Primary Structure: 900 SF

Most of the above ordinances from other cities would limit the sum total of all accessory structure square footages (e.g. detached garages, carports, accessory buildings, pergolas, etc.) to the lesser of the lot coverage or percentage of the primary structure's square footage, which would be 350 SF on a 7,000 SF lot, 500 SF on a 10,000 SF lot, and 800 SF on a 16,000 SF lot. In Rockwall's case, a person on any of these lot sizes would be permitted to build a detached garage of 625 SF and an accessory building at 144 SF for a total of 769 SF, or two (2) accessory buildings at 144 SF for a total of 288 SF.

Staff should also address the use of lot coverage as a means to regulate accessory structures. The reason staff has not proposed using lot coverage as a means of regulating accessory structures in the past is: [1] some of these formulas can be punitive to houses that have a larger building footprint, and [2] staff is of the opinion that a simply stated square footage requirement is easier for the general public to understand than a percentage of lot coverage. When *Ordinance No. 18-47* was drafted, one (1) of staff's objectives was to make the code easier to understand for the general public. This is why staff incorporated the chart format for accessory structure requirements as opposed to the multiple written

references that were previously in the code. This is also why charts were incorporated for not just accessory structures, but for all density and dimensional requirements for each zoning district.

Another thing to point out is that many of these cities' ordinances still contain material requirements and use material requirements as a way to control the size of accessory structures, which the City Attorney has determined are not enforceable in residential districts based on HB2439. As far as relief mechanisms for structures not meeting the requirements, the majority of these ordinances appear to use a Zoning Board of Adjustments and Appeals (ZBA) – *which is similar to the City's Board of Adjustments (BOA)* -- as a way to request something that is not permitted; however, two (2) other cities use a Specific Use Permit (SUP) process and two (2) cities use a variance process which is granted by the City Council. Staff should point out that *Ordinance No. 18-47* made use of the City's Board of Adjustments (BOA) to grant size variances; however, with the passage of HB2439 the process was changed back to a Specific Use Permit (SUP) process with *Ordinance No. 19-32*. One of the major reasons for this change is the City Attorney ruled that the City Council can regulate building materials through architecture as part of a Specific Use Permit (SUP) in the interest of protecting the essential character of a neighborhood.

Q: Can a staff member contact each applicant for a building permit and speak with them about their request?

A: Currently, the City has two (2) permit technicians that answer internal and external customer questions about permits and assist with the intake, processing, and issuance of all permits and Certificates of Occupancy (CO). As was stated in the meeting, City staff has recently implemented an online permitting system that helps streamline the permitting process; however, each permit that is submitted still needs to be reviewed by the proper departments and the plans examiner, and all comments need to be assembled and sent out to the applicant or a permit/CO needs to be prepared and issued to the applicant. As seen in *Exhibit 'E'* of this memorandum the City has done anywhere from 2,059 to 4,541 building permits in a year, with 2,907 permits being the average number of permits issued per year over the last nine (9) years (*i.e. 2020 was excluded because it does not represent a full year of permitting*). Assuming there are ~252 working days in a year, less the 11 city holidays, this means that a staff member would need to make between 9-19 phone calls per day each day; however, permitting is sporadic and does not happen on a linear basis. This means that a staff member may have a period where the City receives 200 permits in a week, and -- *according to the Texas Local Government Code and City policy* -- those permits would all need to be responded to or issued within ten (10) business days. This would leave limited time for making the required phone calls necessary to speak to each applicant about each project. This is why the City has a blank on the current building permit application that requests information about the proposed building permit; however, -- *as was also discussed in the meeting* -- this section is not always filled out. Staff should note, that many homeowners engage with staff (*both in person and by phone*) prior to submitting a permit, and only a very low percentage of permits are submitted where an applicant has not had a conversation with a city representative.

### City Council Considerations

The following recommendations are changes to either the Unified Development Code (UDC), the fee schedule for building permits or the building permit process that may help to better clarify the requirements for permitting and regulating accessory structures. The City Council, at their discretion, may direct staff to proceed with adopting any of these amendments or changes in policy, or provide any other direction necessary.

- (1) Ordinance Changes. (See *Exhibit 'H'* of this memorandum) *Exhibit 'H'* lays out an amendment to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) that would make the following changes: [1] allow a third option of having a single accessory structure up to 256 SF (*i.e. 256 SF equals a 16-foot by 16-foot building footprint*), [2] provide a definition of standard size motor vehicle (*i.e. a vehicle that is a minimum of nine [9] feet by 18-feet*), [3] provide clarification to the requirements for detached garages that specifically states that a motor vehicle needs to be able to access a detached garage by a standard width, concrete residential driveway that is a minimum of 20-feet in length, and [4] provide additional minor clarifications.
- (2) Building Permit Application. Staff has talked with the permitting technicians and the plans examiner to see if there are ways to simplify the current building permit application. Included as an attachment to this memorandum is the current building permit application form and an updated building permit application form. The new form removes several sections of the old application that were deemed to be unnecessary or confusing, and changes Permit Description to Project Description.



(3) Penalty Fees for Construction without a Permit. The following are potential deterrents that can be used to discourage homeowners and contractors from building without obtaining a building permit:

(a) Double Permit Fees. To discourage building without a building permit, some cities have employed a double permitting fee for projects that involve construction without a permit. This could easily be employed for *Residential Building Permits* that involve construction without a building permit. The following information shows what these costs would look like for residential accessory buildings constructed without a building permit:

Residential Accessory Building Permit Fee Amount

\$0.80/SF up to 250 SF + \$0.45/SF over 225 SF with a \$50.00 minimum

Examples:

Accessory Building Size	Building Permit Fee	Doubled Building Permit Fee
144 SF	\$115.20	\$230.40
256 SF	\$202.25	\$404.50
1,200 SF	\$618.75	\$1,237.50
2,000 SF	\$978.75	\$1,957.50

(b) Contractor Registration. The City of Rockwall requires all contractors in the City to register and pay a \$100.00 registration fee to apply for permits and do work within the City (*with the exception of plumbers and electricians who are required to register but are exempted from the registration fee per State Law*). As a deterrent for contractors who do work without obtaining a building permit or that do work under false pretenses (*i.e. work that was not on an approved permit*), the City can expire their contractor's registration and make them reapply. This would cost the contractor both time and money when they try to pull a subsequent permit from the City.

NOTE: Examples of the changes to the fee schedule to establish these two (2) policies are on the back of the new building permit application in the attached packet.

(4) Educational Tools. With *Ordinance No. 18-47*, the accessory structure requirements were consolidated into a one (1) page chart that could also serve as a handout. Staff has also prepared an exhibit that can be included on the backside of this hand out that graphically depicts the density and dimensional requirements for accessory structures. In addition, staff will continue to contact homeowners and contractors when necessary to clarify ambiguities in a submitted permit.

Article 04, Permissible Uses, of the Unified Development Code (UDC)

Subsection 01.01, *Use of Land and Buildings*

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Residential and Lodging	DT	R-O	N-S	GR	C	HC	RT	LI	HI
	P	P	P	P	P	P	P	P	P	Accessory building +		P	P	P	P	P	P	P	P

Subsection 02.01.02, *Residential Lodging Use Conditions*

*Accessory Building (Accessory to Residential Use)*

1. The accessory building shall be accessory to a residential use and located on the same lot.
2. In all residential districts, one detached garage shall be allowed provided that it does not exceed 900 square feet in area or 15 feet in height, provided that it is located on the same lot as the residential use and that the exterior cladding contains the same materials, excluding glass, as found on the main structure and is generally in the same proportion.
3. In SF-E: a. No more than two accessory buildings shall be allowed which are up to 625 square feet (each) in area and 15 feet or less in height; or b. In SF-E/1.5, a single building which is up to 1,250 square feet in area and 15 feet or less in height, provided the exterior cladding contains the same materials, excluding glass, as is found on the main structure and generally in the same proportion. In SF-E/2.0 the single accessory building may be up to 1,500 square feet, and in SF-E/4.0, up to 2,000 square feet in area.
4. In SF-7, SF-8.4, SF-10, SF-16, and SF-1, no more than two accessory buildings shall be allowed which are up to 225 square feet (each) in area and 15 feet or less in height, provided the exterior cladding contains only materials found on the main structure. (Greenhouses are exempt from the materials requirement.)
5. In 2F, no more than two accessory buildings shall be allowed which is up to 100 square feet (each) in area and ten feet or less in height, provided the exterior cladding contains only materials found on the main structure. (Greenhouses are exempt from the materials requirement.)
6. Accessory buildings not meeting these standards shall require approval of a SUP.

Article 05, District Development Standards, of the Unified Development Code (UDC)

Subsection 03.01.(A), *Construction Materials.*

2. Buildings less than 120 square feet and under ten feet in height may be constructed with non-masonry materials, or may be all metal with a baked-on pre-painted surface.

NOTE: This standard was appealable to the Planning and Zoning Commission and City Council.

Subsection 03.01.(B), *Residential Garages.*

See Article VI.4, *Residential Parking*, for residential parking and garage standards.

Subsection 03.01.(C), *Residential Portable and Accessory Building Setbacks.*

1. Portable buildings zero to 120 square feet and up to ten feet in height:
  - a. Rear setback: three feet.
  - b. Side setback: three feet.
  - c. Separation from other structures: three feet.
2. Accessory buildings 121 to 225 square feet and up to 15 feet in height:
  - a. Rear setback: three feet.
  - b. Side setback: required zoning district setback.
  - c. Separation from other structures: six feet.
3. Detached garages 226 to 900 square feet and up to 15 feet in height:
  - a. Rear setback:

With alley:

*Exhibit A: Accessory Structure Standards Prior to November 19, 2018*

1. 20 feet with garage doors facing alley;
2. Three feet without garage doors facing alley;

Without alley: ten feet.

- b. Side setback: required zoning district setback.
  - c. Separation from other structures: ten feet.
4. Accessory buildings not meeting these standards shall require approval of a SUP.

Article 05, District Development Standards, of the Unified Development Code (UDC)

Subsection 7.04, Accessory Structure Development Standards

Accessory Structure Development Standards		Accessory Structures & Accessory Buildings <sup>1, 8, &amp; 9</sup>					Portable Accessory Building 0 SF – 120 SF <sup>8</sup>	Detached Garage <sup>8</sup>	Carports <sup>7 &amp; 8</sup>
		Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	All Other Single Family Zoning Districts (i.e. SF-7, SF-8.4, SF-10, SF-16 & SF-1)	Two Family (2F) District			
Zoning Districts or Accessory Structure Type →									
Development Standards ↓									
Number of Accessory Structures or Number of Specific Accessory Structure		2 <sup>2</sup>	2 <sup>2</sup>	2 <sup>2</sup>	2	1	1	1	1
Maximum SF of Accessory Structure <sup>2</sup>		1,250 <sup>2</sup>	1,500 <sup>2</sup>	2,000 <sup>2</sup>	225 <sup>6</sup>	100	120	900	500
Minimum Setbacks	Rear (Feet)	10	10	10	3	3	3	10	10
	Rear w/ Alleyway (Feet)	20 <sup>4</sup>	20 <sup>4</sup>	20 <sup>4</sup>	3	3	3	20 <sup>4</sup>	20
	Side (Feet)	See Zoning District	See Zoning District	See Zoning District	See Zoning District	3	3	See Zoning District	See Zoning District
Between Buildings (Feet)		10	10	10	6	3	3	10	10
Building Height (Feet)		15	15	15	15	10	10	15	15
Minimum Masonry Content (%) <sup>3</sup>		80 <sup>5</sup>	80 <sup>5</sup>	80 <sup>5</sup>	80 <sup>5</sup>	80 <sup>5</sup>	0	80 <sup>5</sup>	80 <sup>5</sup>

ADDITIONAL REQUIREMENTS:

- 1: Accessory buildings and accessory structures shall be accessory to a residential use and located on the same lot. Unless stipulated above, only two (2) accessory structures are permitted per single-family lot; excluding carports that are integrated into the main accessory structure.
- 2: If more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 625 SF. If there is an existing accessory building greater than 625 SF no additional accessory buildings or structures are permitted.
- 3: Greenhouses are exempt from the minimum masonry requirements.
- 4: If the accessory building does not have garage doors facing the alleyway the setback is the same as the base zoning district.
- 5: The exterior of the accessory building or structure shall be clad in the same materials in roughly the same proportions as the primary structure; however, accessory buildings or structures that are less than 120 SF and under ten (10) feet in height may be constructed with non-masonry materials, or may be all metal with a baked-on pre-painted surface.
- 6: Each property shall be permitted one (1) detached garage up to 900 SF and one (1) accessory building up to 225 SF.
- 7: In residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley. Porte-cocheres are not considered carports, and are allowed, if they are attached and integral with the design of the house.
- 8: Accessory buildings and accessory structures not meeting the masonry requirements shall require the approval of an exception from the Planning and Zoning Commission.
- 9: Barns used for agricultural and/or farm animal purposes, on sites ten (10) acres or more that are zoned Agricultural (AG) District, are excluded from this masonry requirement.

Article 05, District Development Standards, of the Unified Development Code (UDC)

Subsection 7.04, Accessory Structure Development Standards

Accessory Structure Development Standards		Accessory Structures & Accessory Buildings <sup>1 &amp; 3</sup>					Portable Accessory Building 0 SF – 120 SF <sup>8</sup>	Detached Garage <sup>8 &amp; 9</sup>	Carports <sup>7 &amp; 8</sup>
		Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	All Other Single Family Zoning Districts (i.e. SF-7, SF-8.4, SF-10, SF-16 & SF-1)	Two Family (2F) District			
Zoning Districts or Accessory Structure Type →									
Development Standards ↓									
Number of Accessory Structures or Number of Specific Accessory Structure		2 <sup>2</sup>	2 <sup>2</sup>	2 <sup>2</sup>	2	1	1	1	1
Maximum SF of Accessory Structure <sup>5</sup>		1,000 <sup>2</sup>	1,000 <sup>2</sup>	1,250 <sup>2</sup>	144 <sup>6</sup>	100	120	625	500
Minimum Setbacks	Rear (Feet)	10	10	10	3	3	3	10	10
	Rear w/ Alleyway (Feet)	20 <sup>4</sup>	20 <sup>4</sup>	20 <sup>4</sup>	3	3	3	20 <sup>4</sup>	20
	Side (Feet)	See Zoning District	See Zoning District	See Zoning District	See Zoning District	3	3	See Zoning District	See Zoning District
Between Buildings (Feet)		10	10	10	6	3	3	10	10
Building Height (Feet) <sup>8</sup>		15	15	15	15	10	10	15	15

ADDITIONAL REQUIREMENTS:

- <sup>1:</sup> Accessory buildings and accessory structures shall be accessory to a residential use and located on the same lot. Unless stipulated above, only two (2) accessory structures are permitted per single-family lot; excluding carports that are integrated into the main accessory structure.
- <sup>2:</sup> If more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF. If there is an existing accessory building greater than 625 SF no additional accessory buildings or structures are permitted.
- <sup>3:</sup> Accessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure.
- <sup>4:</sup> If the accessory building does not have garage doors facing the alleyway the setback is the same as the base zoning district.
- <sup>5:</sup> Accessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP).
- <sup>6:</sup> Each property shall be permitted one (1) detached garage up to 625 SF and one (1) accessory building up to 144 SF.
- <sup>7:</sup> In residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley. Porte-cocheres are not considered carports, and are allowed, if they are attached and integral with the design of the house.
- <sup>8:</sup> Two (2) story accessory buildings or structures shall be prohibited.
- <sup>9:</sup> Shall include a minimum of one (1) garage bay door large enough to pull a standard size motor vehicle through.

Exhibit 'D': Accessory Structure SUP Cases 2010-2020

Active  
Acc. SUP's: 46

Year	Total SUP's	Total Acc. Cases	% of Acc. Cases	Accessory Buildings		Carports		Covered Patio	
				No. of Cases [1]	Cases #s	No. of Cases	Cases #s	No. of Cases	Cases #s
2010	3	2	66.67%	2	Z2010-002, Z2010-005	0		0	
2011	5	1	20.00%	1	Z2011-001	0		0	
2012	10	1	10.00%	1	Z2012-009	0		0	
2013	20	2	10.00%	2	Z2013-021, Z2013-033	0		0	
2014	19	2	10.53%	1	Z2014-015	1	Z2014-020	0	
2015	15	2	13.33%	2	Z2015-009, Z2015-033	0		0	
2016	18	8	44.44%	5	Z2016-002, Z2016-008, Z2016-023, Z2016-030, Z2016-038	3	Z2016-002, Z2016-006, Z2016-020	0	
2017	29	5	17.24%	5	Z2017-013, Z2017-047, Z2017-053, Z2017-064, Z2017-066	0		0	
2018 [2]	32	8	25.00%	6	Z2018-005, Z2018-020, Z2018-035, Z2018-044, Z2018-048, Z2018-053	1	Z2018-004	1	Z2018-050
2019 [3]	14	4	28.57%	4	Z2019-004, Z2019-010, Z2019-022, Z2019-025	0		0	
2020 [4]	29	8	27.59%	8	Z2020-006, Z2020-010, Z2020-011, Z2020-016, Z2020-017, Z2020-020, Z2020-022, Z2020-030	0		0	
	<u>194</u>	<u>43</u>	<u>22.16%</u>	<u>37</u>		<u>5</u>		<u>1</u>	

**NOTES:**

[1] Includes all detached accessory buildings (i.e. storage buildings, living units, detached garages).

[2] On November 19, 2018 the City Council adopted *Ordinance No. 18-47 [Case No. Z2018-042]*, which consolidated the accessory building standards -- which were in multiple sections of the code -- into a single chart. This also made all variances to the size, height or setbacks go to the Board of Adjustments (BOA), and material exceptions go to Planning and Zoning Commission (i.e. this made the City Council only an appeals board for decision of the Planning and Zoning Commission on materials).

[3] Accessory Structure standards were changed back to requiring a SUP by Z2019-016 on September 3, 2019 to address the legislative update.

[4] As of the August 14, 2020 application deadline (i.e. includes all in process cases). There are 3 more application deadlines in the current year.

Exhibit 'E': Residential Building Permits 2010-2020

Year	Total Building Permits Submitted	Accessory Structure Permits	% of Accessory Structure Permits	Accessory Structure Permits Conforming to Ordinances	Accessory Building Permits Not Conforming to Ordinance (i.e. Requiring a SUP) [1]	% of Accessory Building Permits Requiring a SUP	% of Building Permits Requiring a SUP for Accessory Buildings
2010	2,059	126	6.12%	124	2	1.61%	0.10%
2011	2,152	124	5.76%	123	1	0.81%	0.05%
2012	3,093	124	4.01%	123	1	0.81%	0.03%
2013	2,528	152	6.01%	150	2	1.33%	0.08%
2014	2,652	122	4.60%	120	2	1.67%	0.08%
2015	2,609	123	4.71%	121	2	1.65%	0.08%
2016	3,214	167	5.20%	160	7	4.38%	0.22%
2017	3,259	169	5.19%	164	5	3.05%	0.15%
2018 [2]	4,541	196	4.32%	188	8	4.26%	0.18%
2019 [3]	2,966	152	5.12%	148	4	2.70%	0.13%
2020 [4]	1,946	138	7.09%	130	8	6.15%	0.41%
	31,019	1,593	5.14%	1,551	43	2.77%	0.14%

**NOTES:**

[1] Includes all detached accessory buildings (i.e. storage buildings, living units, detached garages).

[2] On November 19, 2018 the City Council adopted *Ordinance No. 18-47 [Case No. Z2018-042]*, which consolidated the accessory building standards -- which were in multiple sections of the code -- into a single chart. This also made all variances to the size, height or setbacks go to the Board of Adjustments (BOA), and material exceptions go to Planning and Zoning Commission (i.e. this made the City Council only an appeals board for decision of the Planning and Zoning Commission on materials).

[3] Accessory Structure standards were changed back to requiring a SUP by Z2019-016 on September 3, 2019 to address the legislative update.

[4] As of the August 14, 2020 application deadline (i.e. includes all in process cases). There are 3 more application deadlines in the current year.

Exhibit 'F': Accessory Building Specific Use Permits (SUP) 2010-2020

= Permitting Issues

Case	Project Type	Action	Requested Size	Approved Size	Requested Height	Approved Height	Reason for SUP
Z2010-002	Accessory Building	Approved	2,000	2,000	15	15	Exterior Materials
Z2010-005	Gazebo	Withdrawn	240	-	15	-	Size Requirements
Z2011-001	Cabana	Approved	930	930	15	15	Size Requirements
Z2012-009	Accessory Building	Approved	140	140	15	15	Exterior Materials
Z2013-021	Accessory Building	Approved	480	480	15	15	Exterior Materials
Z2013-033	Accessory Building	Approved	660	660	15	15	Exterior Materials
Z2014-015	Accessory Building	Approved	240	240	15	15	Size Requirements
Z2015-009	Detached Garage	Approved	1,235	1,235	25	25	Size Requirements, Height Requirements
Z2015-033	Accessory Building	Approved	288	288	15	15	Size Requirements, Exterior Materials
Z2016-002	/Secondary Living Unit	Approved	2,441	2,441	27	27	Size Requirements, Height Requirements
Z2016-008	Detached Garage	Approved	864	864	15	15	Size Requirements
Z2016-023	Accessory Building	Approved	1,364	1,364	15	15	Size Requirements
Z2016-030	Accessory Building	Approved	1,200	1,200	20	20	Size Requirements, Height Requirements
Z2016-038	Accessory Building	Approved	1,250	1,250	15	15	Size Requirements, Exterior Materials
Z2017-013	Accessory Building	Approved	1,800	1,800	15	15	Size Requirements, Exterior Materials
Z2017-047	Accessory Building	Denied	700	-	20	-	Size Requirements, Height Requirements
Z2017-053	Accessory Building	Approved	1,092	2,000	15	15	Size Requirements, Exterior Materials
Z2017-064	Detached Garage	Approved	900	900	20	20	Size Requirements, Height Requirements
Z2017-066	Accessory Building	Approved	700	900	15	15	Size Requirements, Exterior Materials
Z2018-005	Detached Garage	Approved	2,400	2,400	15	15	Size Requirements
Z2018-020	Detached Garage	Denied	1,500	-	15	-	Size Requirements, Exterior Materials
Z2018-035	Detached Garage	Approved	1,200	1,500	17	17	Size Requirements, Height Requirements
Z2018-044	Detached Garage	Denied	3,000	-	15	-	Size Requirements
Z2018-048	Accessory Building	Approved	910	910	15	15	Size Requirements
Z2018-053	Detached Garage	Denied	2,500	-	16	-	Size Requirements, Exterior Materials, Height Requirements
Z2019-004	Secondary Living Unit	Withdrawn	568	-	15	-	Size Requirements
Z2019-010	Secondary Living Unit	Approved	4,950	4,050	15	15	Size Requirements
Z2019-022	Detached Garage	Denied	1,200	-	15	-	Size Requirements
Z2019-025	Detached Garage	Withdrawn	980	-	15	-	Size Requirements
Z2020-006	Detached Garage	Denied	1,600	-	18	-	Size Requirements
Z2020-010	Accessory Building	Approved	420	340	18	18	Size Requirements, Height Requirements
Z2020-011	Accessory Building	Approved	192	192	15	15	Size Requirements
Z2020-016	Secondary Living Unit	Approved	4,755	1,134	15	15	Size Requirements
Z2020-017	Accessory Building	Withdrawn	400	-	15	-	Size Requirements
Z2020-020	Secondary Living Unit	Approved	588	588	15	15	Size Requirements
Z2020-022	Detached Garage	Approved	1,200	1,200	15	15	Size Requirements
Z2020-030	Accessory Building	Approved	359	359	15	15	Size Requirements

Case Count 37

SUP Requests

Size Requirements	33	89.19%
Exterior Materials	11	29.73%
Height Requirements	8	21.62%

Action

Approved	27	72.97%
Denied	6	16.22%
Withdrawn	4	10.81%



- (2) Established Subdivisions. A new land use -- *Residential Infill in or Adjacent to an Established Subdivision* -- was created in Article IV, *Permissible Uses*, of the UDC to require all residential infill development be required to apply for a Specific Use Permit (SUP). This will only affect subdivisions that [1] consist of five (5) or more lots, [2] are 90% developed, and [3] that have been in existence for a period greater than ten (10) years. The strategy behind this change in the code is to protect subdivisions that are [1] not protected under a Planned Development District or [2] that are not covered by deed restrictions (*typically the City's older subdivisions*) from potential infill development that is not aesthetically similar to existing development within the subdivision. Staff should note that the City Attorney has ruled that Specific Use Permits (SUP's) are exempt from the material requirement exemptions of HB2439. For the City Council's reference staff has included a map showing all residential subdivisions in the City that have: [1] deed restrictions with material requirements, [2] deed restrictions with no material requirements, and [3] subdivisions that staff was unable to find deed restrictions or that have no deed restrictions. Staff should point out that these neighborhoods would not be covered by any building material requirements in cases where an addition is being proposed for an existing structure or where the exterior of an existing structure is being re-cladded in a new exterior material. Staff anticipates that this strategy will add an estimated 15-25 additional Specific Use Permit (SUP) cases each year based on previous permitting numbers (*i.e. in 2018 the City issued 23 infill permits and in 2019 the City issued 14 infill permits to date that meet the new requirements*).
- (3) Residential Accessory Buildings. In 2018, the UDC was amended to no longer require Specific Use Permits (SUPs) for accessory buildings/structures. In replacement of this requirement the Planning and Zoning Commission was charged with approving material exceptions for accessory buildings/structures, and the Board of Adjustments (BOA) was charged with approving variances to the density and dimensional requirements (*i.e. size and height*) for accessory buildings/structures. Based on the changes of HB2439, staff changed the zoning code back to requiring SUPs for these types of structures. In addition, staff reduced the size requirements for all accessory buildings/structures that can be permitted without a SUP. Staff should reiterate that this strategy is not tied to building materials, but is tied to ensuring that [1] any development within an existing subdivision is aesthetically similar to existing development within the subdivision, and [2] to ensure that a public hearing process is retained in approving structures that do not conform to the permitted standards. Staff anticipates based on previous case volumes (*i.e. the code previously required SUP's for accessory buildings prior to changes in 2018*) that this will add an additional five (5) to ten (10) SUP cases per year. This was based on the number of SUP's that were processed in 2016 (*ten [10] cases*) and 2017 (*four [4] cases*) for accessory buildings
- (4) Development Review Procedures. Staff moved all references relating to the City's development processes to Article XI, *Development Applications and Review Process*, of the UDC (*formerly Zoning Related Applications*). In addressing the requirements of HB3167 staff reviewed all of the City's development processes for compliance to the approved legislative bill. Upon review staff noticed that the zoning code had multiple sections duplicated through out the document (*with some inconsistencies from section to section*), and that the majority of the processes were divided between Article II, *Authority and Administrative Procedures*, and Article XI, *Zoning Related Applications*, of the UDC. In addition, Article XI, *Zoning Related Applications*, -- *despite the name of the article* -- did not contain information relating to zoning cases. Based on this staff consolidated the City's processes relating to development applications in Article XI, *Zoning Related Applications*, removed duplicated sections, and renamed the Article XI, *Development Applications and Review Process*. Article II, *Authority and Administrative Procedures*, was also renamed to Article II, *Development Review Authority*, and only contains information relating to the authority of boards, commissions, the City Council, and administrative staff.
- (5) Residential Standards. Staff increased the *General Residential District Standards* contained in Article V, *District Development Standards*, of the UDC not pertaining to building material requirements. Specifically, staff increased the *Anti-Monotony* standards contained in this section

**Exhibit 'H': Proposed Changes to the Accessory Structure Requirements**

ADDITIONS = **HIGHLIGHTED**  
 SUBTRACTIONS = **HIGHLIGHT, STRIKE THROUGH**

ZONING DISTRICTS OR ACCESSORY STRUCTURE TYPE →  DEVELOPMENT STANDARDS ↓		ACCESSORY STRUCTURES & ACCESSORY BUILDINGS <b>1, 3, 5, &amp; 13</b>					PORTABLE ACCESSORY BUILDING 0 SF – 120 SF <b>8 &amp; 13</b>	DETACHED GARAGE <b>5, 8, &amp; 9</b>	COVERED PORCHES, PERGOLAS, AND CARPORTS <b>5, 7, &amp; 8</b>
		SINGLE FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	ALL OTHER SINGLE-FAMILY ZONING DISTRICTS (I.E. SF-7, SF-8.4, SF-10, SF-16 & SF-1)	TWO FAMILY (2F) DISTRICT			
NUMBER OF ACCESSORY STRUCTURES OR NUMBER OF SPECIFIC ACCESSORY STRUCTURE		2 <sup>2</sup>	2 <sup>2</sup>	2 <sup>2</sup>	2	1	1	1	1 <sup>12</sup>
MAXIMUM SF OF ACCESSORY STRUCTURE		1,000 <sup>2</sup>	1,000 <sup>2</sup>	1,250 <sup>2</sup>	144 <sup>6</sup>	100	120	625	500 <sup>11</sup>
MINIMUM SETBACKS	REAR (FEET)	10	10	10	3	3	3	10	10 <sup>10 &amp; 11</sup>
	REAR W/ ALLEYWAY (FEET)	20 <sup>4</sup>	20 <sup>4</sup>	20 <sup>4</sup>	3	3	3	20 <sup>4</sup>	20 <sup>10 &amp; 11</sup>
	SIDE (FEET)	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	3	3	SEE ZONING DISTRICT	SEE ZONING DISTRICT <b>10 &amp; 11</b>
BETWEEN BUILDINGS (FEET)		10	10	10	6	3	3	10	10
BUILDING HEIGHT (FEET) <sup>8</sup>		15	15	15	15	10	10	15	15

**ADDITIONAL REQUIREMENTS:**

- 1: ACCESSORY BUILDINGS AND ACCESSORY STRUCTURES SHALL BE ACCESSORY TO A RESIDENTIAL USE AND LOCATED ON THE SAME LOT. UNLESS STIPULATED ABOVE, ONLY TWO (2) ACCESSORY STRUCTURES ARE PERMITTED PER SINGLE-FAMILY LOT; EXCLUDING CARPORTS, **COVERED PORCHES/PERGOLAS** THAT ARE INTEGRATED INTO THE MAIN ACCESSORY STRUCTURE.
- 2: IF MORE THAN ONE (1) ACCESSORY BUILDING IS PROPOSED OR IF AN ACCESSORY BUILDING, 625 SF OR LESS, IS EXISTING THEN THE MAXIMUM ACCESSORY BUILDING THAT CAN BE CONSTRUCTED IS 400 SF. IF THERE IS AN EXISTING ACCESSORY BUILDING GREATER THAN 625 SF NO ADDITIONAL ACCESSORY BUILDINGS OR STRUCTURES ARE PERMITTED.
- 3: ACCESSORY BUILDINGS AND STRUCTURES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE PRIMARY STRUCTURE, AND BE SITUATED BEHIND THE FRONT FAÇADE OF THE PRIMARY STRUCTURE.
- 4: IF THE ACCESSORY BUILDING DOES NOT HAVE GARAGE DOORS FACING THE ALLEYWAY THE SETBACK IS THE SAME AS THE BASE ZONING DISTRICT.
- 5: ACCESSORY BUILDINGS AND STRUCTURES (**EXCLUDING PORTABLE BUILDINGS**) NOT MEETING THE SIZE OR HEIGHT REQUIREMENTS STIPULATED BY THIS SECTION SHALL REQUIRE A SPECIFIC USE PERMIT (SUP). **IN REVIEWING A SPECIFIC USE PERMIT (SUP), THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL SHALL CONSIDER: [1] IF THE STRUCTURE WAS CONSTRUCTED WITHOUT A PERMIT OR UNDER FALSE PRETENSES, [2] THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE COMPARED TO THE SIZE OF OTHER ACCESSORY STRUCTURES IN THE AREA/NEIGHBORHOOD/SUBDIVISION, AND [3] THE ARCHITECTURE AND BUILDING MATERIALS PROPOSED FOR THE STRUCTURE COMPARED TO THOSE OF THE PRIMARY STRUCTURE.**
- 6: EACH PROPERTY SHALL BE PERMITTED ONE (1) DETACHED GARAGE UP TO 625 SF AND ONE (1) ACCESSORY BUILDING UP TO 144 SF **OR TWO (2) ACCESSORY BUILDINGS UP TO 144 SF EACH OR ONE (1) ACCESSORY BUILDING UP TO 256 SF. IF A PROPERTY HAS AN EXISTING ACCESSORY BUILDING 256 SF OR GREATER NO ADDITIONAL ACCESSORY BUILDINGS OR DETACHED GARAGES SHALL BE PERMITTED.**
- 7: IN RESIDENTIAL DISTRICTS, CARPORTS MUST BE OPEN ON AT LEAST TWO (2) SIDES, ARCHITECTURALLY INTEGRATED INTO THE PRIMARY STRUCTURE, AND BE LOCATED 20-FEET BEHIND THE CORNER OF THE FRONT FAÇADE AND MEET THE GARAGE SETBACK ADJACENT TO AN ALLEY. PORTE-COCHERES ARE NOT CONSIDERED CARPORTS, AND ARE ALLOWED, IF THEY ARE ATTACHED AND INTEGRAL WITH THE DESIGN OF THE HOUSE.
- 8: TWO (2) STORY ACCESSORY BUILDINGS OR STRUCTURES SHALL BE PROHIBITED.
- 9: SHALL INCLUDE A MINIMUM OF ONE (1) GARAGE BAY DOOR LARGE ENOUGH TO PULL **AND PARK** A STANDARD SIZE MOTOR VEHICLE **(I.E. A VEHICLE THAT IS A MINIMUM OF NINE (9) FEET BY 18-FEET) THROUGH** INSIDE THE STRUCTURE. **IN ADDITION, A DETACHED GARAGE MUST BE ACCESSIBLE FROM THE REAR OR SIDE YARD BY A STANDARD SIZE WIDTH, CONCRETE DRIVEWAY THAT HAS MINIMUM LENGTH OF 20-FEET OF DRIVEWAY PAVEMENT.**
- 10: COVERED PORCHES AND PERGOLAS THAT ARE DETACHED OR NOT CONTIGOUS WITH THE PRIMARY STRUCTURE SHALL BE PERMITTED TO BE LOCATED WITHIN THREE (3) FEET OF THE REAR **(OR REAR WITH ALLEYWAY)** AND SIDE YARD PROPERTY LINE.
- 11: COVERED PORCHES AND PERGOLAS THAT ARE ATTACHED OR CONTIGOUS WITH THE PRIMARY STRUCTURE SHALL BE EXEMPTED FROM THE SIZE RESTRICTIONS BUT SHALL BE REQUIRED TO MEET THE SAME SETBACKS AS THE PRIMARY STRUCTURE.
- 12: PERGOLAS ARE NOT SUBJECT TO THE **NUMBER OF ACCESSORY STRUCTURE REQUIREMENTS**, BUT **DO** COUNT AGAINST THE RESIDENTIAL LOT COVERAGE REQUIREMENTS FOR THE ZONING DISTRICT.
- 13: **PORTABLE ACCESSORY BUILDINGS ARE DEFINED AS AN ACCESSORY BUILDING THAT DO NOT HAVE A PERMENEANT FOUNDATION. ALL ACCESSORY BUILDINGS THAT ARE NOT PORTABLE ACCESSORY BUILDINGS REQUIRE A CONCRETE FOUNDATION.**



**CITY OF ROCKWALL**  
**BUILDING PERMITS**  
 BUILDING INSPECTION DEPT.  
 385 S. Goliad St.,  
 Rockwall, TX 75087

Phone #: (972)771-7709

Permit # \_\_\_\_\_

**To schedule an inspection go to: [www.rockwall.com/buildinginspections/inspectionreq.asp](http://www.rockwall.com/buildinginspections/inspectionreq.asp)**

CONSTRUCTION ADDRESS				TYPE OF PERMIT				
SUBDIVISION			ZONING	LOT	BLOCK			
BUILDING OWNER	MAIL ADDRESS		CITY, STATE, ZIP		PHONE #			
PERSON TO BE CONTACTED REGARDING PERMIT			E-MAIL ADDRESS		PHONE #			
<u>EMAIL ADDRESS FOR INSPECTION REPORT</u>								
GENERAL CONTRACTOR	MAIL ADDRESS		CITY, STATE, ZIP		PHONE #			
ELECTRICAL CONTRACTOR	MAIL ADDRESS		CITY, STATE, ZIP		PHONE #			
PLUMBING CONTRACTOR	MAIL ADDRESS		CITY, STATE, ZIP		PHONE #			
MECHANICAL CONTRACTOR	MAIL ADDRESS		CITY, STATE, ZIP		PHONE #			
<b>BUILDING INFORMATION</b>								
1 <sup>st</sup> floor SF	2 <sup>nd</sup> floor SF	Garage	Covered Porch	Covered Patio	Total SF	Height	Lot Size	Plan #:
Permit Description:								
<small>NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.</small>								
<small>SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.</small>								
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY That ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE:  _____ AGENT OR APPLICANT  _____ (DATE)  _____ CITY APPROVAL  _____ (DATE)				<b>ESTIMATED VALUE:</b>				
				Building Permit	\$ _____			
		Water Meter Deposit	\$ _____					
		Meter Installation	\$ _____					
		Sewer Service	\$ _____					
		Water Impact Fees	\$ _____					
		Sewer Impact Fees	\$ _____					
		Siren Fee	\$ _____					
		Contractor Registration	\$ _____					
		Certificate of Occupancy	\$ _____					
		Total Fees	\$ _____					

# City of Rockwall

## Schedule of Building Permit and Misc. Fees

Building Permits

Fee Amount

**1. Residential**

- a. Accessory Building .80 per sq. ft. up to 225 sq. ft. + .45 per sq. ft. over 225 sq. ft./ \$50.00 min.
- b. Single Family - New .48 per sq. ft. up to 5000 sq. ft. / .40 per sq. ft. if home is > 5000 sq. ft.
- c. Single Family – Alteration / Addition .48 per sq. ft. (scope of work) / \$125.00 min.
- d. Electrical – Panel replacement / re-wire / service- meter base replacement \$ 125.00
- e. Electrical – other / repair \$ 75.00
- f. Plumbing – Slab leaks / tunneling / sewer main replacement \$ 125.00
- g. Plumbing – Water Heater / other / repair \$ 75.00
- h. Mechanical – New system installation \$ 125.00
- i. Mechanical – other / repair \$ 75.00
- j. Patio covers / decks / carports \$ 75.00

**2. Commercial**

- a. Commercial – New Table 1A
- b. Commercial – Remodel Table 1A
- c. Certificate of Occupancy \$ 75.00
- d. Temporary Certificate of Occupancy \$ 300.00
- e. Mechanical, Electrical, Plumbing Table 1A

**3. Board of Adjustments City Council Sign Variances, Sign Plans / Construction Advisory and Appeals Board**

\$ 200.00

**4. Solar Panel Systems**

.65 per sq. ft.

**5. Concrete**

.20 per sq. ft. / \$50 min.

**6. Demolition of Structures**

\$ 50.00

**7. Fence**

\$ 50.00

Screening Wall

\$ 75.00

**8. Inspection Fees**

- a. After Hours Inspection \$ 50.00 per hr. (min. 2 hrs.)
- b. Re-inspection \$ 50.00

**9. Irrigation**

\$75.00

**10. Moving of Structures**

Refer To Chapter 10, Article XIV of the Code of Ordinances

**11. Permit Bag Replacement**

\$ 20.00

**12. Pools/Hot Tub/Spa**

- a. Pool – above ground \$ 75.00
- b. Pool – in ground \$150.00
- c. Hot Tub/Spa \$100.00

**13. Roofing**

\$ 75.00

**14. Sign**

\$75.00

**15. Temporary Construction/Sales Trailer**

\$100.00

**16. Miscellaneous Permits**

\$ 50.00 (includes windows, retaining wall, storm shelter, etc.)

## Commercial Building Permit Fees

Table 1A

Total Valuation	Fee
\$1.00 to \$500.00	\$50.00
\$501.00 to \$2,000.00	\$50.00 for the first \$500.00 plus \$3.05 for each additional \$100.00, or fraction thereof, to and including \$2000.00
\$2,001.00 to \$25,000.00	\$80.75 for the first \$2000.00 plus \$14.00 for each additional \$1000.00, or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$402.75 for the first \$25,000.00 plus \$10.10 for each additional \$1000.00, or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$655.25 for the first \$50,000.00 plus \$7.00 for each additional \$1000.00, or fraction thereof, to and including \$100,000.00
\$100,001.00 to \$500,000.00	\$1005.25 for the first \$100,000.00 plus \$5.60 for each additional \$1000.00, or fraction thereof, to and including \$500,000.00
\$500,001.00 to \$1,000,000.00	\$3245.25 for the first \$500,000.00 plus \$4.75 for each additional \$1000.00, or fraction thereof, to and including \$1,000,000.00
\$1,000,001.00 and up	\$5620.25 for the first \$1,000,000.00 plus \$3.65 for each additional \$1000.00, or fraction thereof
For use of outside consultants for plan review or inspections	Actual costs

### *Contractor Registrations Expire when State License Expires*

Back Flow	\$100.00
Fence	\$100.00
General Contractor	\$100.00
Irrigation	\$100.00
Mechanical Contractor	\$100.00
Demo Contractor	\$100.00
Sign Contractor	\$100.00



# BUILDING PERMIT APPLICATION

City of Rockwall  
Building Inspections Department  
385 S. Goliad Street  
Rockwall, Texas 75087

APPLICANT OR AGENT SIGNATURE REQUIRED

**CERTIFICATION:** I HEREBY ACCEPT ALL CONDITIONS ON THIS APPLICATION FORM AND CERTIFY THAT ALL STATEMENTS RECORDED HEREIN BY ME ARE TRUE.

AGENT OR APPLICANT

DATE

**NOTICE TO APPLICANTS.** This permit is issued on the basis of information furnished in this application and on any submitted plans, and is subject to the provisions in addition, requirements of the City of Rockwall code of ordinances and any other applicable ordinance. This permit is issued only for the purpose of allowing construction of a building or structure conforming to the codes and ordinances of the city, regardless of information and/or plans submitted.

**SCOPE OF PERMIT.** For new buildings and for additions to existing buildings, this permit authorizes structural, plumbing, electrical, mechanical, and work to be performed in the construction of the building or structure at this address, if done at the same time of initial construction. No separate subcontractor permits are needed for those trades. However, the permit holder is required to use only subcontractors' licenses, registered, or bonded by the City of Rockwall where such requirement is applicable.

**INSPECTION.** To schedule an inspection, go to [www.rockwall.com/buildinginspections/inspectionreq.asp](http://www.rockwall.com/buildinginspections/inspectionreq.asp).

## PROPERTY INFORMATION [PLEASE PRINT]

Construction Address		Zoning	
Subdivision		Lot	Block
General Location			

## PROPERTY OWNER INFORMATION PRIMARY CONTACT [ ]

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## GENERAL CONTRACTOR INFORMATION PRIMARY CONTACT [ ]

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## ELECTRICAL CONTRACTOR INFORMATION

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## PLUMBING CONTRACTOR INFORMATION

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## MECHANICAL CONTRACTOR INFORMATION

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## BUILDING PERMIT INFORMATION

1 <sup>ST</sup> Floor	SF	2 <sup>ND</sup> Floor	SF	Garage	SF	Covered Porch	SF	Covered Patio	SF
Total SF	SF	Height	FT	Lot Size	SF	Plan #			

Estimated Value \$ Commercial Value ONLY; Residential is NOT required to provide estimated value.

Project Description

Is the subject property located with the flood hazard area? Yes [ ] No [ ] Required lowest floor elevation is:



# BUILDING PERMIT FEE SCHEDULE

City of Rockwall  
Building Inspections Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## RESIDENTIAL BUILDING PERMITS (SEE ADDITIONAL NOTES [1] & [2] BELOW)

[1] ACCESSORY BUILDING	\$0.80/SF UP TO 225 SF + \$0.45/SF OVER 225 SF (MINIMUM FEE: \$50.00)
[2] SINGLE-FAMILY [NEW CONSTRUCTION]	\$0.48/SF UP TO 5,000 SF + \$0.40/SF OVER 5,000 SF
[3] SINGLE-FAMILY [REMODEL/ADDITION]	\$0.48/SF (MINIMUM FEE: \$125.00)
[4] ELECTRICAL [PANEL REPLACEMENT, REWIRE, SERVICE METER BASE REPLACEMENT]	\$125.00
[5] ELECTRICAL [OTHER, REPAIR]	\$75.00
[6] PLUMBING [SLAB LEAKS, TUNNELING, SEWER MAIN REPLACEMENT]	\$125.00
[7] PLUMBING [WATER HEATER, OTHER, REPAIR]	\$75.00
[8] MECHANICAL [NEW SYSTEM INSTALLATION]	\$125.00
[9] MECHANICAL [OTHER, REPAIR]	\$75.00
[10] PATIO COVERS/DECKS/CARPORTS	\$75.00

## COMMERCIAL BUILDING PERMITS

[1] CERTIFICATE OF OCCUPANCY (CO)	\$75.00
[2] TEMPORARY CERTIFICATE OF OCCUPANCY (TCO)	\$300.00
[3] COMMERCIAL [NEW CONSTRUCTION, REMODEL, OR ADDITION]	SEE TABLE 1A BELOW
[4] MECHANICAL, ELECTRICAL, PLUMBING	SEE TABLE 1A BELOW

TABLE 1A: COMMERCIAL BUILDING PERMIT FEES

TOTAL PROJECT VALUATION	FEE
\$1.00 - \$500.00	\$50.00
\$500.01 - \$2,000.00	\$50.00 FOR THE FIRST \$500.00 + \$3.05 FOR EACH ADDITIONAL \$100.00 UP TO \$2,000.00 <sup>2</sup>
\$2,000.01 - \$25,000.00	\$80.75 FOR THE FIRST \$2,000.00 + \$14.00 FOR EACH ADDITIONAL \$1,000.00 UP TO \$25,000.00 <sup>2</sup>
\$25,000.01 - \$50,000.00	\$402.75 FOR THE FIRST \$25,000.00 + \$10.10 FOR EACH ADDITIONAL \$1,000.00 UP TO \$50,000.00 <sup>2</sup>
\$50,000.01 - \$100,000.00	\$655.25 FOR THE FIRST \$50,000.00 + \$7.00 FOR EACH ADDITIONAL \$1,000.00 UP TO \$100,000.00 <sup>2</sup>
\$100,000.01 - \$500,000.00	\$1,005.25 FOR THE FIRST \$100,000.00 + \$5.60 FOR EACH ADDITIONAL \$1,000.00 UP TO \$500,000.00 <sup>2</sup>
\$500,000.01 - \$1,000,000.00	\$3,245.25 FOR THE FIRST \$500,000.00 + \$4.75 FOR EACH ADDITIONAL \$1,000.00 UP TO \$1,000,000.00 <sup>2</sup>
\$1,000,000.01 - \$1,000,000.01+	\$5,620.25 FOR THE FIRST \$1,000,000.00 + \$3.65 FOR EACH ADDITIONAL \$1,000.00 UP TO THE VALUATION COST <sup>2</sup>

NOTES: [1] COSTS FOR THE USE OF AN OUTSIDE CONSULTANT FOR PLAN REVIEW OR INSPECTION SHALL BE PAID BY THE APPLICANT; [2] OR FRACTION THERE OF

## OTHER BUILDING PERMITS

[1] BOARD OF ADJUSTMENTS APPLICATION	\$200.00
[2] CONSTRUCTION ADVISORY BOARD APPLICATION	\$200.00
[3] CITY COUNCIL SIGN VARIANCE	\$200.00
[4] SIGN PLAN	\$200.00
[5] SOLAR PANEL SYSTEMS	\$0.65/SF
[6] CONCRETE	\$0.20/SF (MINIMUM FEE: \$50.00)
[7] DEMOLITION OF STRUCTURES	\$50.00
[8] FENCE	\$50.00
[9] SCREENING WALL	\$75.00
[10] INSPECTION FEES	
[A] AFTER HOURS INSPECTION	\$50.00/HOUR (2 HOUR MINIMUM)
[B] RE-INSPECTION	\$50.00/HOUR
[11] IRRIGATION	\$75.00
[12] MOVING OF STRUCTURES	REFER TO ARTICLE XIV, CHAPTER 10 OF THE MUNICIPAL CODE OF ORDINANCES
[13] PERMIT BAG REPLACEMENT	\$20.00
[14] POOLS, HOT TUBS, & SPAS	
[A] ABOVE GROUND POOLS	\$75.00
[B] IN-GROUND POOLS	\$150.00
[C] HOT TUBS & SPAS	\$100.00
[15] ROOFING	\$75.00
[16] SIGN	\$75.00
[17] TEMPORARY CONSTRUCTION OR SALES TRAILER	\$100.00
[18] MISCELLANEOUS PERMITS [INCLUDES WINDOWS, RETAINING WALLS, STORM SHELTERS, ETC]	\$50.00

## CONTRACTOR REGISTRATIONS (SEE ADDITIONAL NOTE [2] BELOW)

[1] EXPIRE WHEN STATE LICENSE EXPIRE: BACKFLOW, IRRIGATION & MECHANICAL CONTRACTOR	\$100.00
[2] EXPIRE ANNUALLY: FENCE, GENERAL CONTRACTOR, DEMO CONTRACTOR, & SIGN CONTRACTOR	\$100.00

## ADDITIONAL NOTES

[1] BUILDING WITHOUT A VALID BUILDING PERMIT OR UNDER FALSE PRETENSES WILL CAUSE THE BUILDING PERMIT FEE TO DOUBLE
[2] CONTRACTORS IN VIOLATION FOR BUILDING WITHOUT A BUILDING PERMIT OR UNDER FALSE PRETENSES WILL HAVE THEIR CONTRACTOR REGISTRATIONS REVOKED, AND WILL BE REQUIRED TO RESUBMIT FOR A NEW CONTRACTOR REGISTRATION.



## SUBSECTION 07.04: ACCESSORY STRUCTURE DEVELOPMENT STANDARDS

ZONING DISTRICTS OR ACCESSORY STRUCTURE TYPE → DEVELOPMENT STANDARDS ↓		ACCESSORY STRUCTURES & ACCESSORY BUILDINGS <sup>1, 3, 5, &amp; 13</sup>					PORTABLE ACCESSORY BUILDING 0 SF – 120 SF <sup>8 &amp; 13</sup>	DETACHED GARAGE <sup>5, 8, &amp; 9</sup>	COVERED PORCHES, PERGOLAS, AND CARPORTS <sup>5, 7, &amp; 8</sup>
		SINGLE FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	ALL OTHER SINGLE-FAMILY ZONING DISTRICTS (I.E. SF-7, SF-8.4, SF-10, SF-16 & SF-1)	TWO FAMILY (2F) DISTRICT			
NUMBER OF ACCESSORY STRUCTURES OR NUMBER OF SPECIFIC ACCESSORY STRUCTURE		2 <sup>2</sup>	2 <sup>2</sup>	2 <sup>2</sup>	2	1	1	1	1 <sup>12</sup>
MAXIMUM SF OF ACCESSORY STRUCTURE		1,000 <sup>2</sup>	1,000 <sup>2</sup>	1,250 <sup>2</sup>	144 <sup>6</sup>	100	120	625	500 <sup>11</sup>
MINIMUM SETBACKS	REAR (FEET)	10	10	10	3	3	3	10	10 <sup>10 &amp; 11</sup>
	REAR W/ ALLEYWAY (FEET)	20 <sup>4</sup>	20 <sup>4</sup>	20 <sup>4</sup>	3	3	3	20 <sup>4</sup>	20 <sup>10 &amp; 11</sup>
	SIDE (FEET)	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	3	3	SEE ZONING DISTRICT	SEE ZONING DISTRICT <sup>10 &amp; 11</sup>
BETWEEN BUILDINGS (FEET)		10	10	10	6	3	3	10	<sup>10</sup> <b>SUPPORTS TO COVERED PORCHES AND PERGOLAS</b>
BUILDING HEIGHT (FEET) <sup>8</sup>		15	15	15	15	10	10	15	15

## ADDITIONAL REQUIREMENTS:

- ACCESSORY BUILDINGS AND ACCESSORY STRUCTURES SHALL BE ACCESSORY TO A RESIDENTIAL USE AND LOCATED ON THE SAME LOT. UNLESS STIPULATED ABOVE, ONLY TWO (2) ACCESSORY STRUCTURES ARE PERMITTED PER SINGLE-FAMILY LOT; EXCLUDING CARPORTS, **COVERED PORCHES/PERGOLAS** THAT ARE INTEGRATED INTO THE MAIN ACCESSORY STRUCTURE.
- IF MORE THAN ONE (1) ACCESSORY BUILDING IS PROPOSED OR IF AN ACCESSORY BUILDING, 625 SF OR LESS, IS EXISTING THEN THE MAXIMUM ACCESSORY BUILDING THAT CAN BE CONSTRUCTED IS 400 SF. IF THERE IS AN EXISTING ACCESSORY BUILDING GREATER THAN 625 SF NO ADDITIONAL ACCESSORY BUILDINGS OR STRUCTURES ARE PERMITTED.
- ACCESSORY BUILDINGS AND STRUCTURES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE PRIMARY STRUCTURE, AND BE SITUATED BEHIND THE FRONT FAÇADE OF THE PRIMARY STRUCTURE.
- IF THE ACCESSORY BUILDING DOES NOT HAVE GARAGE DOORS FACING THE ALLEYWAY THE SETBACK IS THE SAME AS THE BASE ZONING DISTRICT.
- ACCESSORY BUILDINGS AND STRUCTURES **[EXCLUDING PORTABLE BUILDINGS]** NOT MEETING THE SIZE **OR HEIGHT** REQUIREMENTS STIPULATED BY THIS SECTION SHALL REQUIRE A SPECIFIC USE PERMIT (SUP). IN REVIEWING A SPECIFIC USE PERMIT (SUP), THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL SHALL CONSIDER: **[1] IF THE STRUCTURE WAS CONSTRUCTED WITHOUT A PERMIT OR UNDER FALSE PRETENSES, [2] THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE COMPARED TO THE SIZE OF OTHER ACCESSORY STRUCTURES IN THE AREA/NEIGHBORHOOD/SUBDIVISION, AND [3] THE ARCHITECTURE AND BUILDING MATERIALS PROPOSED FOR THE STRUCTURE COMPARED TO THOSE OF THE PRIMARY STRUCTURE.**
- EACH PROPERTY SHALL BE PERMITTED ONE (1) DETACHED GARAGE UP TO 625 SF AND ONE (1) ACCESSORY BUILDING UP TO 144 SF **OR TWO (2) ACCESSORY BUILDINGS UP TO 144 SF EACH.** IF A PROPERTY HAS AN EXISTING ACCESSORY BUILDING GREATER THAN 144 SF, NO ADDITIONAL ACCESSORY BUILDINGS OR DETACHED GARAGES SHALL BE PERMITTED.
- IN RESIDENTIAL DISTRICTS, CARPORTS MUST BE OPEN ON AT LEAST TWO (2) SIDES, ARCHITECTURALLY INTEGRATED INTO THE PRIMARY STRUCTURE, AND BE LOCATED 20-FEET BEHIND THE CORNER OF THE FRONT FAÇADE AND MEET THE GARAGE SETBACK ADJACENT TO AN ALLEY. PORTE-COCHERES ARE NOT CONSIDERED CARPORTS, AND ARE ALLOWED, IF THEY ARE ATTACHED AND INTEGRAL WITH THE DESIGN OF THE HOUSE.
- TWO (2) STORY ACCESSORY BUILDINGS OR STRUCTURES SHALL BE PROHIBITED.
- SHALL INCLUDE A MINIMUM OF ONE (1) GARAGE BAY DOOR LARGE ENOUGH TO PULL **AND PARK** A STANDARD SIZE MOTOR VEHICLE **(I.E. A VEHICLE THAT IS A MINIMUM OF NINE (9) FEET BY 18-FEET)** THROUGH INSIDE THE STRUCTURE. IN ADDITION, A DETACHED GARAGE MUST BE ACCESSIBLE FROM THE REAR OR SIDE YARD BY A STANDARD SIZE WIDTH, CONCRETE DRIVEWAY THAT HAS MINIMUM LENGTH OF 20-FEET OF DRIVEWAY PAVEMENT.
- COVERED PORCHES AND PERGOLAS THAT ARE DETACHED OR NOT CONTIGOUS WITH THE PRIMARY STRUCTURE SHALL BE PERMITTED TO BE LOCATED WITHIN **THREE (3) FEET** OF THE REAR **(OR REAR WITH ALLEYWAY)** AND SIDE YARD PROPERTY LINE.
- COVERED PORCHES AND PERGOLAS THAT ARE ATTACHED OR CONTIGOUS WITH THE PRIMARY STRUCTURE SHALL BE EXEMPTED FROM THE SIZE RESTRICTIONS BUT SHALL BE REQUIRED TO MEET THE SAME SETBACKS AS THE PRIMARY STRUCTURE.
- PERGOLAS ARE NOT SUBJECT TO THE *NUMBER OF ACCESSORY STRUCTURE REQUIREMENTS*, BUT *DO* COUNT AGAINST THE RESIDENTIAL LOT COVERAGE REQUIREMENTS FOR THE ZONING DISTRICT.
- PORTABLE ACCESSORY BUILDINGS ARE DEFINED AS AN ACCESSORY BUILDING THAT DO NOT HAVE A PERMENEANT FOUNDATION. ALL ACCESSORY BUILDINGS THAT ARE NOT PORTABLE ACCESSORY BUILDINGS REQUIRE A CONCRETE FOUNDATION.



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 07.04, ACCESSORY STRUCTURE DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Section 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Section 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

**SECTION 2.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 3.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF NOVEMBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: October 19, 2020

2<sup>nd</sup> Reading: November 2, 2020

**Exhibit 'A'**

Section 07.04, Accessory Structure Development Standards, of  
Article 05, Development Standards, of the  
Unified Development Code (UDC)

Additions: **Highlighted**  
Deletions: **Highlighted, Strikeout**

ZONING DISTRICTS OR ACCESSORY STRUCTURE TYPE ▯		ACCESSORY STRUCTURES & ACCESSORY BUILDINGS <sup>1, 3, 5, &amp; 13</sup>							
		SINGLE FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	ALL OTHER SINGLE-FAMILY ZONING DISTRICTS (I.E. SF-7, SF-8.4, SF-10, SF-16 & SF-1)	TWO FAMILY (2F) DISTRICT	PORTABLE ACCESSORY BUILDING 0 SF – 120 SF <sup>8 &amp; 13</sup>	DETACHED GARAGE <sup>5, 8, &amp; 9</sup>	COVERED PORCHES, PERGOLAS, AND CARPORTS <sup>5, 7, &amp; 8</sup>
DEVELOPMENT STANDARDS ▯									
NUMBER OF ACCESSORY STRUCTURES OR NUMBER OF SPECIFIC ACCESSORY STRUCTURE		2 <sup>2</sup>	2 <sup>2</sup>	2 <sup>2</sup>	2	1	1	1	1 <sup>12</sup>
MAXIMUM SF OF ACCESSORY STRUCTURE		1,000 <sup>2</sup>	1,000 <sup>2</sup>	1,250 <sup>2</sup>	144 <sup>6</sup>	100	120	625	500 <sup>11</sup>
MINIMUM SETBACKS	REAR (FEET)	10	10	10	<del>3</del> <sup>5</sup>	<del>3</del> <sup>5</sup>	<del>3</del> <sup>5</sup>	10	10 <sup>10 &amp; 11</sup>
	REAR W/ ALLEYWAY (FEET)	20 <sup>4</sup>	20 <sup>4</sup>	20 <sup>4</sup>	<del>3</del> <sup>5</sup>	<del>3</del> <sup>5</sup>	<del>3</del> <sup>5</sup>	20 <sup>4</sup>	20 <sup>10 &amp; 11</sup>
	SIDE (FEET)	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	SEE ZONING DISTRICT	<del>3</del> <sup>5</sup>	<del>3</del> <sup>5</sup>	SEE ZONING DISTRICT	SEE ZONING DISTRICT <sup>10 &amp; 11</sup>
BETWEEN BUILDINGS (FEET)		10	10	10	6	3	3	10	CARPORTS: 10; COVERED PORCHES AND PERGOLAS: 6
BUILDING HEIGHT (FEET) <sup>8</sup>		15	15	15	15	10	10	15	15

**ADDITIONAL REQUIREMENTS:**

- 1: ACCESSORY BUILDINGS AND ACCESSORY STRUCTURES SHALL BE ACCESSORY TO A RESIDENTIAL USE AND LOCATED ON THE SAME LOT. UNLESS STIPULATED ABOVE, ONLY TWO (2) ACCESSORY STRUCTURES ARE PERMITTED PER SINGLE-FAMILY LOT; EXCLUDING CARPORTS/**COVERED PORCHES/PERGOLAS** THAT ARE INTEGRATED INTO THE MAIN ACCESSORY STRUCTURE.
- 2: IF MORE THAN ONE (1) ACCESSORY BUILDING IS PROPOSED OR IF AN ACCESSORY BUILDING, 625 SF OR LESS, IS EXISTING THEN THE MAXIMUM ACCESSORY BUILDING THAT CAN BE CONSTRUCTED IS 400 SF. IF THERE IS AN EXISTING ACCESSORY BUILDING GREATER THAN 625 SF NO ADDITIONAL ACCESSORY BUILDINGS OR STRUCTURES ARE PERMITTED.
- 3: ACCESSORY BUILDINGS AND STRUCTURES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE PRIMARY STRUCTURE, AND BE SITUATED BEHIND THE FRONT FAÇADE OF THE PRIMARY STRUCTURE.
- 4: IF THE ACCESSORY BUILDING DOES NOT HAVE GARAGE DOORS FACING THE ALLEYWAY THE SETBACK IS THE SAME AS THE BASE ZONING DISTRICT.
- 5: ACCESSORY BUILDINGS AND STRUCTURES (**EXCLUDING PORTABLE BUILDINGS**) NOT MEETING THE SIZE **OR HEIGHT** REQUIREMENTS STIPULATED BY THIS SECTION SHALL REQUIRE A SPECIFIC USE PERMIT (SUP). IN REVIEWING A SPECIFIC USE PERMIT (SUP), THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL SHALL CONSIDER: [1] IF THE STRUCTURE WAS CONSTRUCTED WITHOUT A PERMIT OR UNDER FALSE PRETENSES, [2] THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE COMPARED TO THE SIZE OF OTHER ACCESSORY STRUCTURES IN THE AREA/NEIGHBORHOOD/SUBDIVISION, AND [3] THE ARCHITECTURE AND BUILDING MATERIALS PROPOSED FOR THE STRUCTURE COMPARED TO THOSE OF THE PRIMARY STRUCTURE.
- 6: EACH PROPERTY SHALL BE PERMITTED ONE (1) DETACHED GARAGE UP TO 625 SF AND ONE (1) ACCESSORY BUILDING UP TO 144 SF OR TWO (2) **ACCESSORY BUILDINGS UP TO 144 SF EACH. IF A PROPERTY HAS AN EXISTING ACCESSORY BUILDING GREATER THAN 144 SF, NO ADDITIONAL ACCESSORY BUILDINGS OR DETACHED GARAGES SHALL BE PERMITTED.**
- 7: IN RESIDENTIAL DISTRICTS, CARPORTS MUST BE OPEN ON AT LEAST TWO (2) SIDES, ARCHITECTURALLY INTEGRATED INTO THE PRIMARY STRUCTURE, AND BE LOCATED 20-FEET BEHIND THE CORNER OF THE FRONT FAÇADE AND MEET THE GARAGE SETBACK ADJACENT TO AN ALLEY. PORTE-COCHERES ARE NOT CONSIDERED CARPORTS, AND ARE ALLOWED, IF THEY ARE ATTACHED AND INTEGRAL WITH THE DESIGN OF THE HOUSE.
- 8: TWO (2) STORY ACCESSORY BUILDINGS OR STRUCTURES SHALL BE PROHIBITED.
- 9: SHALL INCLUDE A MINIMUM OF ONE (1) GARAGE BAY DOOR LARGE ENOUGH TO PULL **AND PARK** A STANDARD SIZE MOTOR VEHICLE (**I.E. A VEHICLE THAT IS A MINIMUM OF NINE (9) FEET BY 18- FEET**) THROUGH INSIDE THE STRUCTURE. IN ADDITION, A DETACHED GARAGE MUST BE ACCESSIBLE FROM **THE REAR OR SIDE YARD BY A STANDARD SIZE WIDTH, CONCRETE DRIVEWAY THAT HAS MINIMUM LENGTH OF 20- FEET OF DRIVEWAY PAVEMENT.**
- 10: COVERED PORCHES AND PERGOLAS THAT ARE DETACHED OR NOT CONTIGUOUS WITH THE PRIMARY STRUCTURE SHALL BE PERMITTED TO BE LOCATED WITHIN **THREE (3) FIVE (5) FEET** OF THE REAR (**OR REAR WITH ALLEYWAY**) AND SIDE YARD PROPERTY LINE.
- 11: COVERED PORCHES AND PERGOLAS THAT ARE ATTACHED OR CONTIGUOUS WITH THE PRIMARY STRUCTURE SHALL BE EXEMPTED FROM THE SIZE

**Exhibit 'A'**

*Section 07.04, Accessory Structure Development Standards, of  
Article 05, Development Standards, of the  
Unified Development Code (UDC)*

RESTRICTIONS BUT SHALL BE REQUIRED TO MEET THE SAME SETBACKS AS THE PRIMARY STRUCTURE.

<sup>12</sup>: PERGOLAS ARE NOT SUBJECT TO THE NUMBER OF ACCESSORY STRUCTURE REQUIREMENTS, BUT DO COUNT AGAINST THE RESIDENTIAL LOT COVERAGE REQUIREMENTS FOR THE ZONING DISTRICT.

<sup>13</sup>: PORTABLE ACCESSORY BUILDINGS ARE DEFINED AS AN ACCESSORY BUILDING THAT DO NOT HAVE A PERMENEANT FOUNDATION. ALL ACCESSORY BUILDINGS THAT ARE NOT PORTABLE ACCESSORY BUILDINGS REQUIRE A CONCRETE FOUNDATION.

DRAFT  
ORDINANCE  
09.29.2020



**CITY OF ROCKWALL**  
PLANNING AND ZONING COMMISSION MEMORANDUM  
PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** September 29, 2020  
**SUBJECT:** Z2020-040; *Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan*

---

On December 31, 2019, Arkoma Development, LLC deeded an 11.723-acre tract of land (*i.e. Tract 5 of the S. King Survey, Abstract No. 137*) to the City of Rockwall. This property is zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, and is located at the terminus of Pecan Valley Drive. North of and adjacent to this property are five (5) single-family homes that front on to Quail Run Road and were constructed between 1980 and 1988. Currently, all of these properties make use of on-site sanitary sewer facilities (OSSF's) or septic systems. Recently, the City of Rockwall extended and improved the sanitary sewer system located on the southside of the 11.723-acre tract land bringing sanitary sewer facilities within ~524.00-feet of the closest of the five (5) residential properties. At the bequest of one (1) of these property owners, staff brought a proposal to the City Council suggesting the creation and conveyance of two (2) additional lots -- *west of the existing single-family properties fronting onto W. Quail Run Road* -- to fund the necessary sewer improvements to convert these seven (7) properties (*i.e. the five [5] existing residential properties plus the two [2] newly established lots*) to sanitary sewer customers. The City Council directed staff to proceed with this endeavor on July 20, 2020.

Based on this direction, staff engaged a surveyor and engineering consultants to prepare a final plat of the two (2) properties and a cost estimate of the sanitary sewer improvements. After examining the final plat and determining that one (1) of the two (2) proposed properties (*i.e. the western most lot of the two [2] proposed lots*) would be encumbered by the adjacent floodplain, staff started to examine ways to move the lots so that they could be established free of any encumbrances. One of the possibilities explored by staff was to abandon the proposed *Minor Collector* connecting Pecan Valley Road and Random Oaks Drive, which is scheduled to run through the proposed 11.723-acre tract of land. The reasoning behind this proposal was tied to the City assuming the ownership of the 11.723-acre tract of land, and the fact that this property is no longer anticipated to be developed with commercial or residential land uses. Additionally, -- *without the added development* -- W. Quail Run Road right-of-way appears to be sufficiently sized to handle the residential traffic volumes created by the Random Oaks and Creekside Subdivisions (*i.e. the right-of-way is sufficient to support the traffic volumes that exists today*). Taking this into consideration, staff would like to propose abandoning this *Minor Collector* to the Planning and Zoning Commission and City Council. In order to facilitate this proposal, staff is required to bring forward an amendment to the OURHometown Vision 2040 Comprehensive Plan. According to Section 213.003 of the Texas Local Government Code, "(a) comprehensive Plan may be adopted or amended by ordinance following:

- (1) A hearing at which the public is given the opportunity to give testimony and present written evidence; and
- (2) Review by the municipality's planning commission or department, if one exists."

Additionally, Section 9.03 of the City's *Home Rule Charter* states that "(r)ecommended changes to the Master Plan shall be submitted to the City Manager after the Planning and Zoning Commission holds at least one [1] public hearing on the proposed change." Furthermore, Section 9.04 states that the "...City Manager shall submit the proposed changes to the Council, together with any recommendations. The Council, after a public hearing, shall adopt or reject such proposed revision or any part thereof as submitted within sixty (60) days following its submission by the City Manager. If the proposed revision or part thereof should be rejected by the Council, the Planning and Zoning Commission may make modifications and again forward it to the City Manager for submission to the Council." The projected meeting/public hearing dates for this case are as follows:

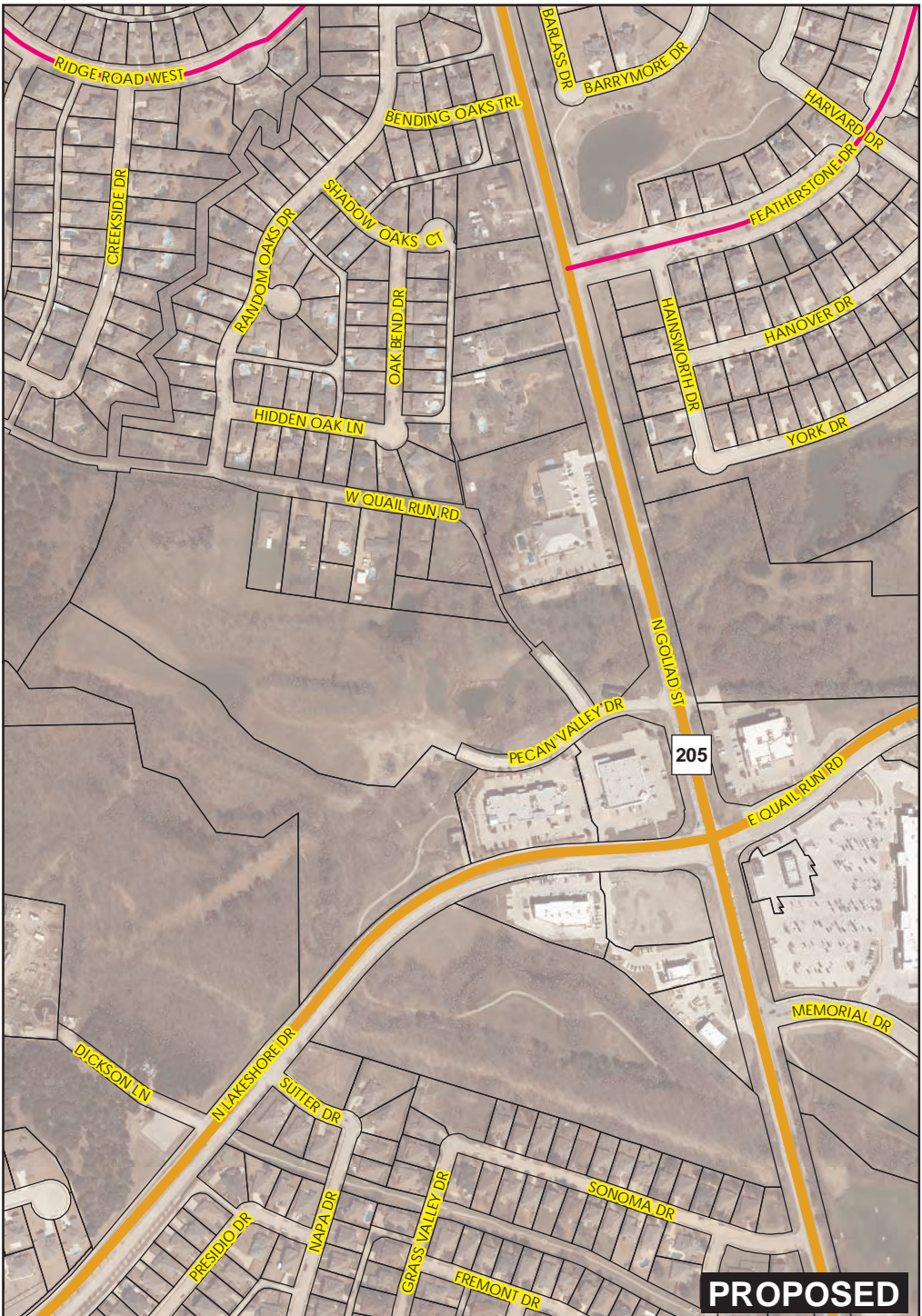
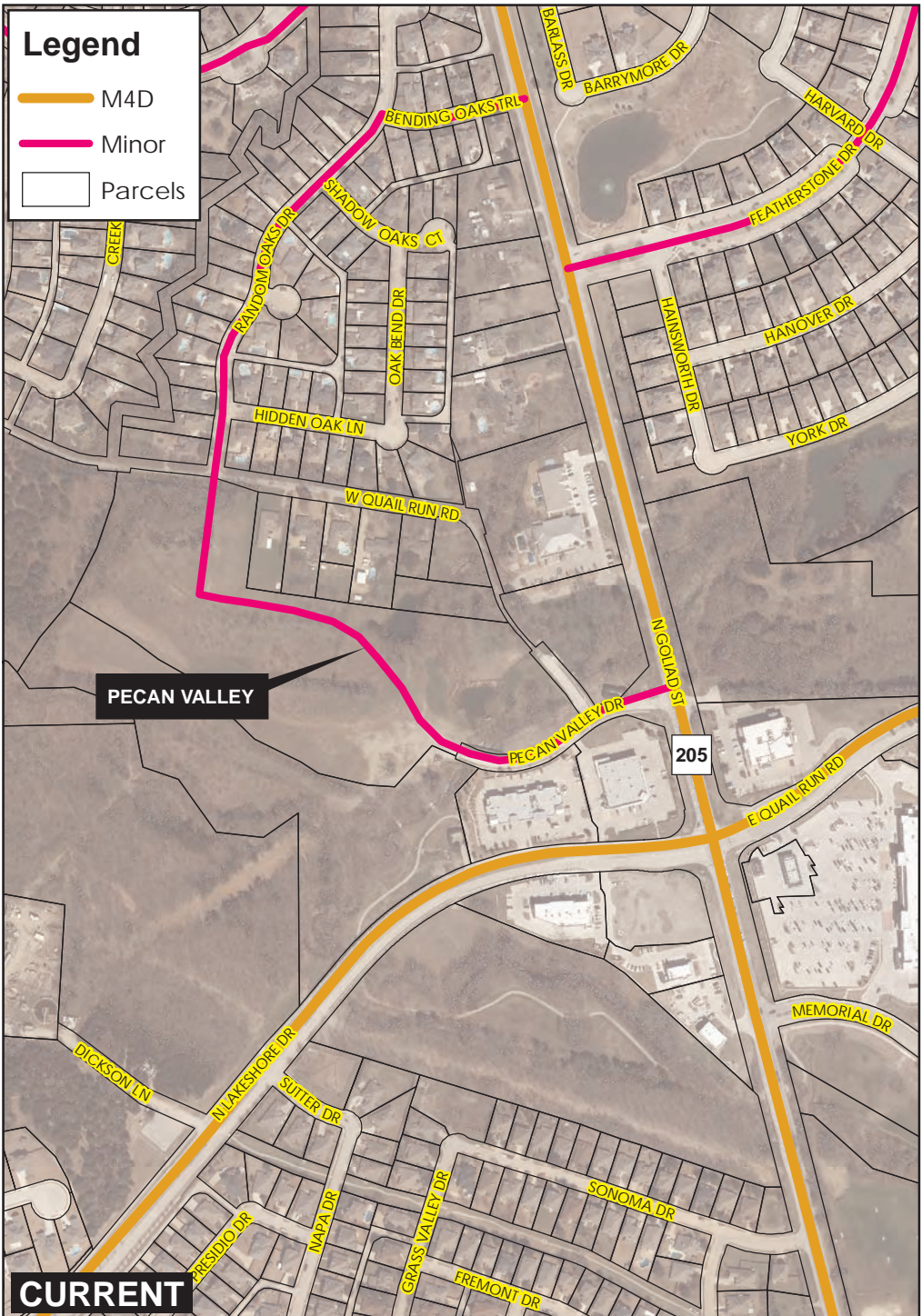
Planning and Zoning Commission Work Session: September 29, 2020

Planning and Zoning Commission Public Hearing: October 13, 2020  
City Council Public Hearing/1<sup>st</sup> Reading: October 19, 2020  
City Council 2<sup>nd</sup> Reading: November 2, 2020

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the City Council ultimately adopt this amendment to the OURHometown Vision 2040 Comprehensive Plan, staff will have the surveyor update the final plat to remove the right-of-way in order to bring the plat forward for action, and -- *if approved* -- proceed with putting these properties out for bid. If the Planning and Zoning Commission have any questions staff will be available at the meeting on September 29, 2020.

# Legend

- M4D
- Minor
- Parcels



**CURRENT**

**PROPOSED**



0 150 300 Feet  
Date: 9/22/2020

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

**PROPOSED MASTER THOROUGHFARE CHANGES**

# 10 NORTH LAKESHORE DISTRICT

## DISTRICT DESCRIPTION

The *North Lakeshore District* is an established district that is significantly developed with medium density, suburban housing. Many of the subdivisions in this district are considered established and it is not anticipated that this district's development patterns will drastically change moving forward.

## DISTRICT STRATEGIES

Currently, the *North Lakeshore District* is nearing its buildout capacity with only a few parcels of vacant land left in the northern areas of the district. Considering this, the following are the recommended strategies for this district moving forward:

- 1 Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for medium density, suburban housing products. Non-residential infill development should be designed utilizing an architectural style and scale that will complement the adjacent residential structures.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 3 Live/Work.** The live/work designations in this district are intended to provide a low intensity transition from residential properties to N. Goliad Street [SH-205]. These centers should be constructed to a similar residential scale as the adjacent residential properties.
- 4 Land Use Scenarios.** Depending on adjacent development this area could also transition to a *Live/Work* or *Commercial* designation.
- 5 Northern Lake Access.** The City should continue to explore opportunities for public access to the waterfront for the creation of public parks, passive greenway spaces, and trails. This is specifically important in the areas indicated by the red dashed line (---).

## POINTS OF REFERENCE

- A. Nebbie Williams Elementary School
- B. Rockwall Golf & Athletic Club
- C. Grace Hartman Elementary School
- D. Virginia Reinhardt Elementary School
- E. SH-66 Boat Ramp

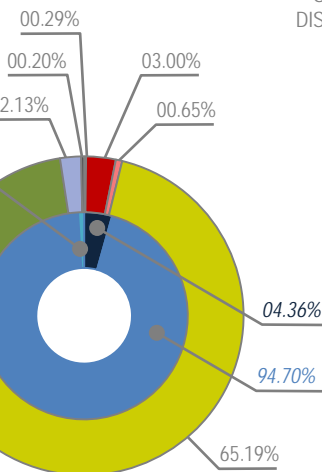
## LAND USE PALETTES

- Current Land Use
- Future Land Use

**BUILD OUT**  
 4,358  
 13,135

**% OF ROCKWALL**  
 20.26%  
 3.58%  
 20.50%

**CURRENT**  
 4,052  
 65  
 12,206



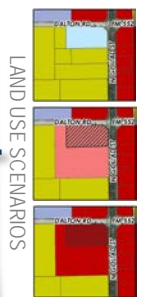
1 Current Suburban Residential



1 Current Suburban Residential



1 Current Suburban Residential



Land Use Category	Percentage
COMMERCIAL	4.36%
RESIDENTIAL	94.70%
MIXED USE	0.94%

Collector Type	Color
MINOR COLLECTOR	Pink
M4U	Light Blue
M4D	Orange

Land Use Category	Acres
CEMETERY (CEM)	3.76-ACRES
COMMERCIAL/RETAIL (CR)	56.94-ACRES
LIVE/WORK (LW)	12.29-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	1,237.76-ACRES
PARKS AND OPEN SPACE (OS)	541.83-ACRES
PUBLIC (P)	40.53-ACRES
QUASI-PUBLIC (QP)	5.58-ACRES

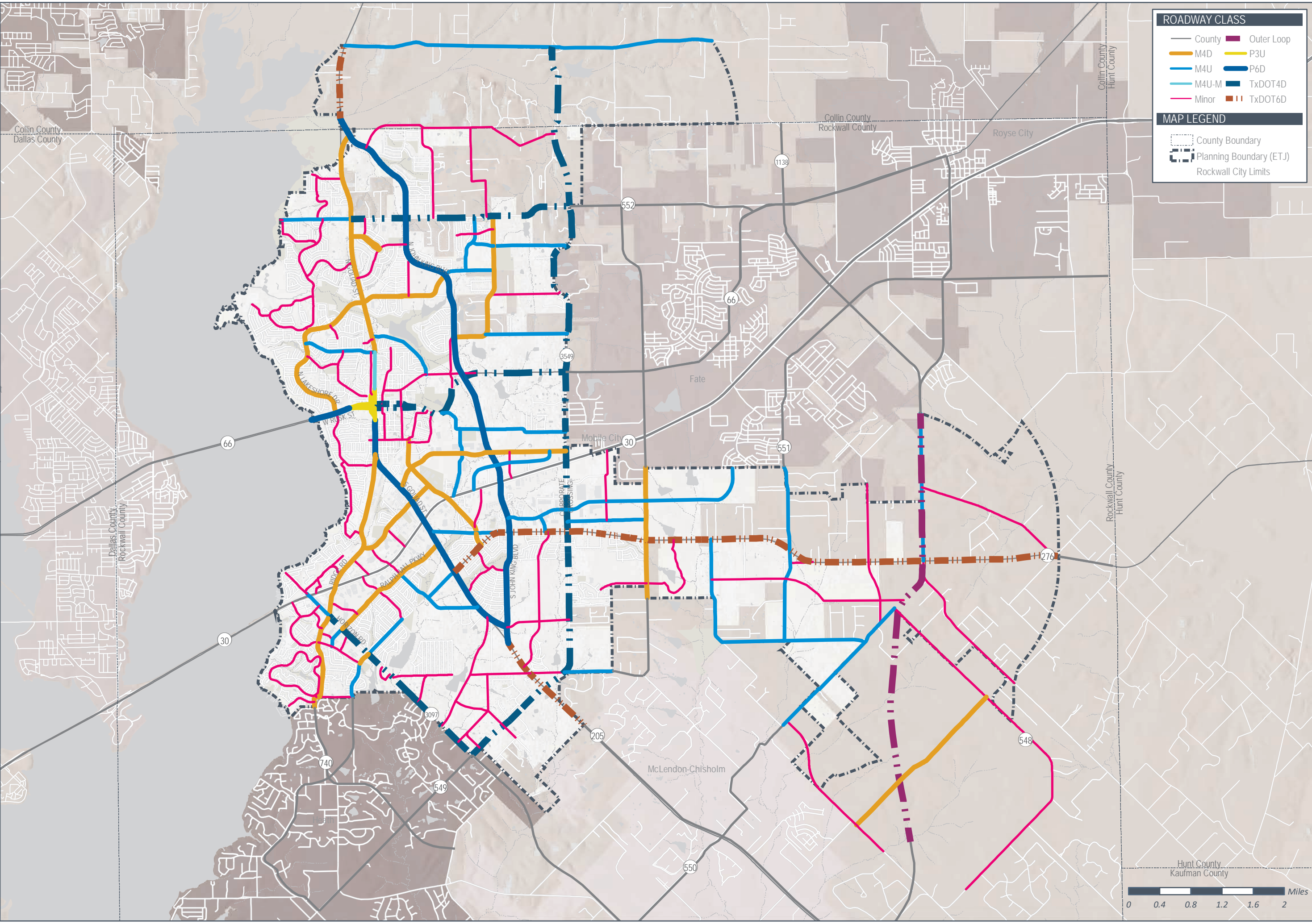




# MASTER THOROUGHFARE PLAN

## COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

# 3

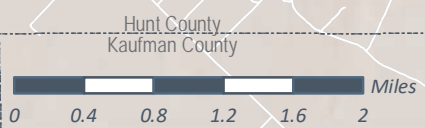


**ROADWAY CLASS**

County	Outer Loop
M4D	P3U
M4U	P6D
M4U-M	TxDOT4D
Minor	TxDOT6D

**MAP LEGEND**

- County Boundary
- Planning Boundary (ETJ)
- Rockwall City Limits



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ADOPTING REVISIONS TO THE MASTER THOROUGHFARE PLAN CONTAINED IN THE OURHOMETOWN 2040 COMPREHENSIVE PLAN IN ACCORDANCE WITH THE CITY'S HOME RULE CHARTER.**

**WHEREAS**, the *Home Rule Charter* of the City of Rockwall, Texas, states that the Comprehensive Plan will contain recommendations for the growth, development and beautification of the City and its Extraterritorial Jurisdiction (ETJ); and

**WHEREAS**, the City Council of the City of Rockwall has previously authorized a study to update the Comprehensive Plan, also referred to as the Comprehensive Plan; and

**WHEREAS**, the citizens of the City of Rockwall were involved in the development of the Comprehensive Plan through participation in committee and public meetings; and

**WHEREAS**, the Comprehensive Plan shall serve as a guide to all future Council action concerning land use and development regulations and expenditures for capital improvements; and

**WHEREAS**, Section 213.003, *Adoption or Amendment of Comprehensive Plan*, of Chapter 213, *Municipal Comprehensive Plans*, of the *Texas Local Government Code* states that the adoption of or amendment to a Comprehensive Plan requires a hearing at which the public is given the opportunity to give testimony and present written evidence and as required by the *Home Rule Charter of the City of Rockwall* a public hearing has been held on the proposed revisions to the Comprehensive Plan, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Plan should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *North Lakeshore District* contained within Subsection 05.02, *Land Use Districts*, of Chapter 01, *Land Use and Growth Management*, of the OURHometown Vision 2040 Comprehensive Plan be amended to change the classification of Random Oaks Drive and Pecan Valley Drive from a *Minor Collector* to a *R2 (i.e. residential, two [2] lane, undivided roadway)* and to realign Pecan Valley Drive as depicted in *Exhibit 'A'* of this ordinance; and

**SECTION 2.** That the *Master Thoroughfare Plan* contained within Appendix 'C', *Maps*, of the OURHometown Vision 2040 Comprehensive Plan be amended as depicted in *Exhibit 'B'* of this ordinance; and

**SECTION 3.** That the Comprehensive Plan shall be used by the City Staff in the planning and as a guide for the future development of the City of Rockwall; and

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF NOVEMBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

---

Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

*1<sup>st</sup> Reading:* October 19, 2020

*2<sup>nd</sup> Reading:* November 2, 2020

DRAFT  
ORDINANCE  
09.29.2020

**Exhibit 'A'**  
**10 North Lakeshore District**  
**Subsection 05.02, Land Use Districts**

# 10 NORTH LAKESHORE DISTRICT

## DISTRICT DESCRIPTION

The *North Lakeshore District* is an established district that is significantly developed with medium density, suburban housing. Many of the subdivisions in this district are considered established and it is not anticipated that this district's development patterns will drastically change moving forward.



1 Current Suburban Residential

## DISTRICT STRATEGIES

Currently, the *North Lakeshore District* is nearing its buildout capacity with only a few parcels of vacant land left in the northern areas of the district. Considering this, the following are the recommended strategies for this district moving forward:



1 Current Suburban Residential

- 1 Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for medium density, suburban housing products. Non-residential infill development should be designed utilizing an architectural style and scale that will complement the adjacent residential structures.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 3 Live/Work.** The live/work designations in this district are intended to provide a low intensity transition from residential properties to N. Goliad Street [SH-205]. These centers should be constructed to a similar residential scale as the adjacent residential properties.
- 4 Land Use Scenarios.** Depending on adjacent development this area could also transition to a *Live/Work* or *Commercial* designation.
- 5 Northern Lake Access.** The City should continue to explore opportunities for public access to the waterfront for the creation of public parks, passive greenway spaces, and trails. This is specifically important in the areas indicated by the red dashed line (---).

## POINTS OF REFERENCE

- A. Nebbie Williams Elementary School
- B. Rockwall Golf & Athletic Club
- C. Grace Hartman Elementary School
- D. Virginia Reinhardt Elementary School
- E. SH-66 Boat Ramp

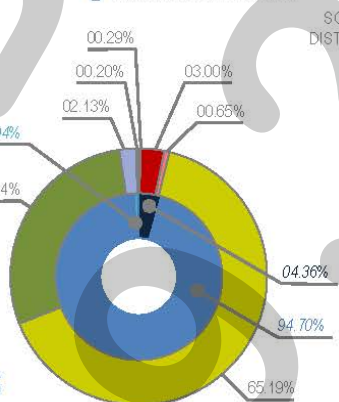


1 Current Suburban Residential

## LAND USE PALETTES

- Current Land Use
- Future Land Use

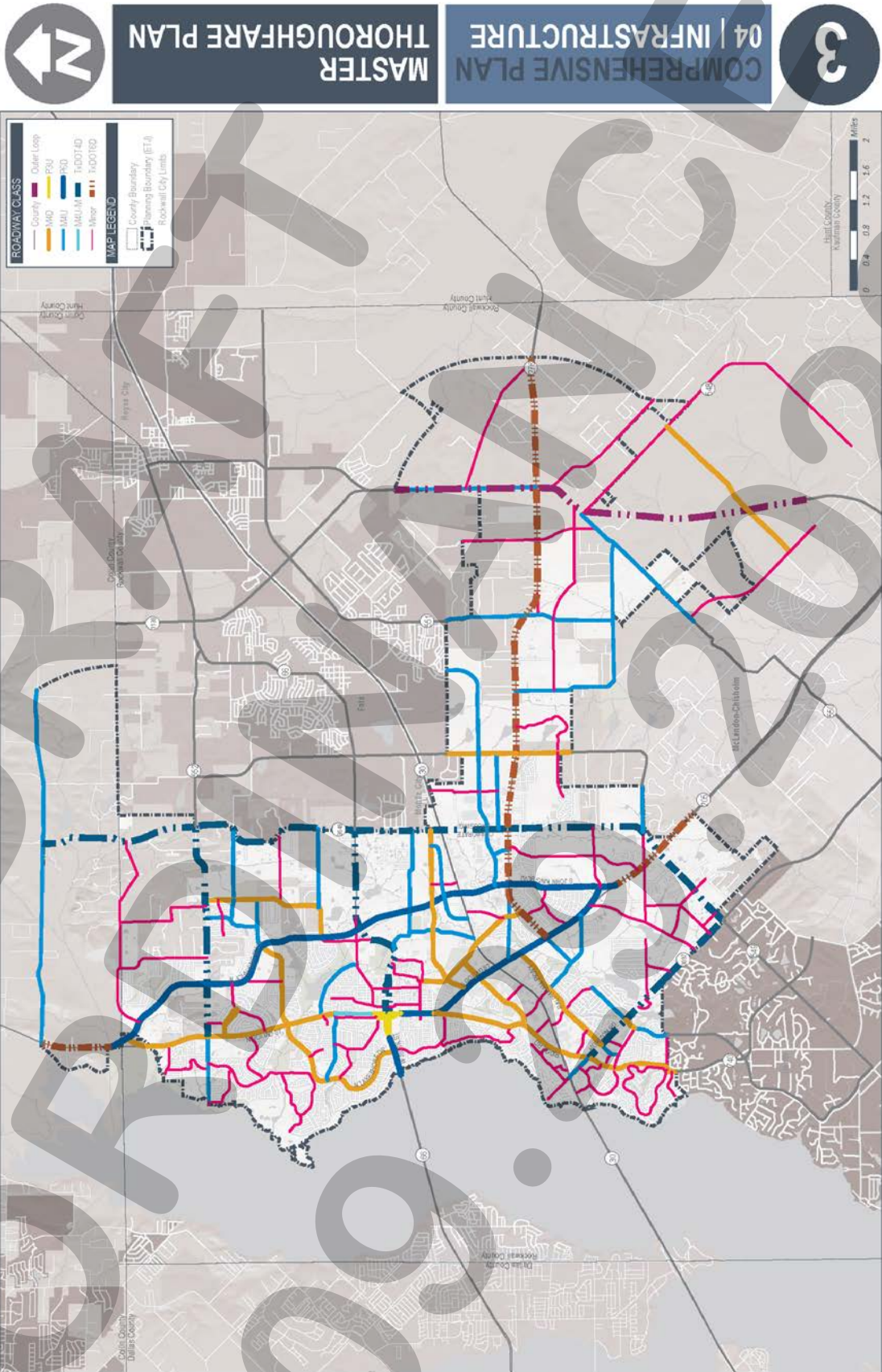
BUILD OUT	4,358	CURRENT	4,052
	13,135		12,206
% OF ROCKWALL	20.26%	CURRENT	65
	3.58%		20.50%



<span style="color: blue;">■</span> COMMERCIAL	4.36%	<span style="color: pink;">—</span> MINOR COLLECTOR
<span style="color: green;">■</span> RESIDENTIAL	94.70%	<span style="color: blue;">—</span> M4U
<span style="color: teal;">■</span> MIXED USE	0.94%	<span style="color: orange;">—</span> M4D
<span style="color: grey;">■</span> CEMETERY (CEM)	3.76-ACRES	
<span style="color: red;">■</span> COMMERCIAL/RETAIL (CR)	56.94-ACRES	
<span style="color: lightblue;">■</span> LIVE/WORK (LW)	12.29-ACRES	
<span style="color: yellow;">■</span> MEDIUM DENSITY RESIDENTIAL (MDR)	1,237.76-ACRES	
<span style="color: lightgreen;">■</span> PARKS AND OPEN SPACE (OS)	541.83-ACRES	
<span style="color: purple;">■</span> PUBLIC (P)	40.53-ACRES	
<span style="color: lightblue;">■</span> QUASI-PUBLIC (QP)	5.58-ACRES	



**Exhibit 'B'**  
Master Thoroughfare Plan  
Appendix 'C', Maps



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-036  
PROJECT NAME: Lots 1, 2 & 3, Harbor Hills Addition  
SITE ADDRESS/LOCATIONS: Corner of Sunset Ridge and Summer Lee

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Discuss and consider a request by T. Zachary Grimes of Cross Engineering Consultants, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors, LLC for the approval of a Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition being a 7.538-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and all of Lots 3 & 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/24/2020	Needs Review

09/24/2020: P2020-036; Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition being a 7.538-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and all of Lots 3 & 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (P2020-036) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 This project is subject to all requirements stipulated by Planned Development District No. 32 (PD-32) and the Unified Development Code (UDC) that are applicable to the subject property.

I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.8 Tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet). [Section 38-10, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.9 Label the building setback lines where adjacent to a street. [Section 38-10, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.10 Indicate all existing and proposed corner clips and any subsequent dedication. [Section 38-10, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.11 Provide the appropriate plat wording provided in the application packet...Under the Owners Dedication, correct the language and arrangement for item numbers 6 & 7, and provide the appropriate space to begin a new paragraph after No. 7 (i.e. Until an escrow deposit...). [§01.02(D), Art. 11, UDC]

I.12 Call out the Resolution No. associated with the portion of the property acquired from the City of Rockwall along Summer Lee Drive.

I.13 A treescape plan depicting the full property and all trees being removed for this development will be required prior to the issuance of a grading permit. In addition, all tree mitigation balances will need to be satisfied prior to the removal of any trees on-site.

I.14 Once all revisions have been made, please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.15 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.16 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020
- 2) Parks and Recreations Board meeting will be held on October 6, 2020
- 3) Planning & Zoning Regular meeting will be held on October 13, 2020
- 4) City Council meeting will be held on October 19, 2020

I.17 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Parks Board, Planning and Zoning Commission or the City Council may have regarding your request. All meetings will be held in the City's Council Chambers, and will begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Label each of the property's Min FF elevation to be 504.09'.

M - Must tie two points to Rockwall GPS.

N:

E:

M - Pedestrian easement and ROW locations and limits are subject to change. Engineering Approval not complete. Changes to be reflected on Final Recorded plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

09/21/2020: Please tie two corners to the State Plane Coordinate System (NTX4202-Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/23/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

09/21/2020: No comments

09/21/2020: 2020 Park Land Dedication Fee (P2020-036)

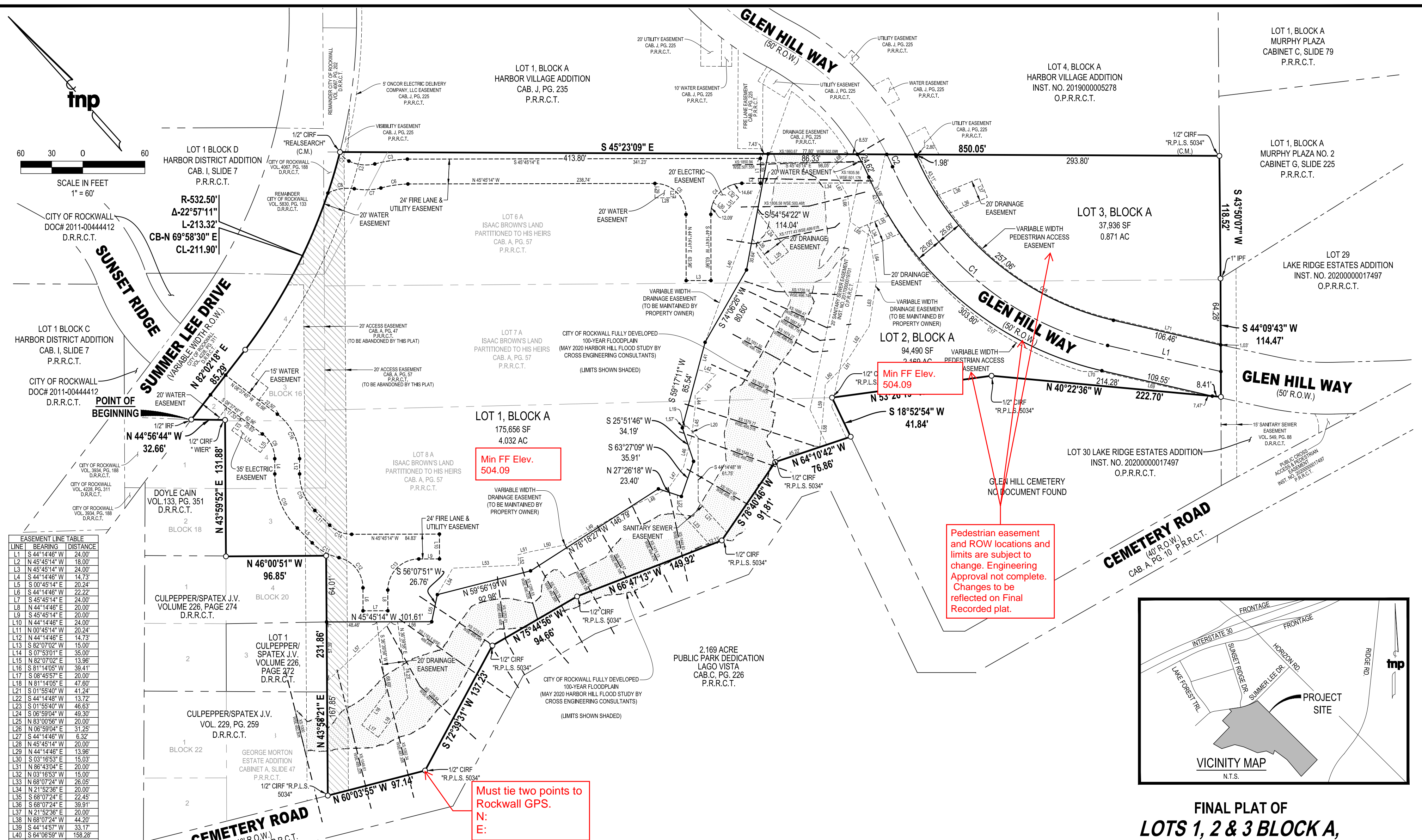
Park District 17

Cash In Lieu Of Land: \$232.00 x 265 units = \$61,480.00

Pro Rata Equipment Fees: \$220.00 x 265 units = \$58,300.00



Drawing: L:\Projects\HHI 18363 Harbor Hills Multi Family\Acad\Deliverables\Final\_Plat.dwg at Sep 16, 2020-7:01am by maddox



LINE	BEARING	DISTANCE
L1	S 44°14'46" W	24.00'
L2	N 45°45'14" W	18.00'
L3	N 45°45'14" W	24.00'
L4	S 44°14'46" W	14.73'
L5	S 00°45'14" E	20.24'
L6	S 44°14'46" W	22.22'
L7	S 45°45'14" E	24.00'
L8	N 44°14'46" E	20.00'
L9	S 45°45'14" E	20.00'
L10	N 44°14'46" E	24.00'
L11	N 00°45'14" W	20.24'
L12	N 44°14'46" E	14.73'
L13	S 82°07'02" W	15.00'
L14	S 07°53'01" E	35.00'
L15	N 82°07'02" E	13.96'
L16	S 81°14'05" W	39.41'
L17	S 08°45'57" E	20.00'
L18	S 81°14'05" E	47.60'
L19	S 01°55'40" W	41.24'
L20	S 44°14'46" W	13.72'
L21	S 01°55'40" W	46.63'
L22	S 06°59'04" W	49.30'
L23	N 83°00'56" W	20.00'
L24	N 06°59'04" E	31.25'
L25	S 44°14'46" W	6.32'
L26	N 45°45'14" W	20.00'
L27	N 44°14'46" E	13.96'
L28	N 45°45'14" W	20.00'
L29	N 44°14'46" E	13.96'
L30	S 03°16'53" E	15.03'
L31	N 86°43'04" E	20.00'
L32	N 03°16'53" W	15.00'
L33	N 68°07'24" W	26.05'
L34	N 21°52'36" E	20.00'
L35	N 68°07'24" E	22.45'
L36	S 68°07'24" E	39.91'
L37	N 21°52'36" E	20.00'
L38	N 68°07'24" W	44.20'
L39	S 44°14'57" W	33.17'
L40	S 64°06'59" W	158.28'
L41	S 59°17'11" W	27.40'
L42	S 30°42'49" E	18.18'
L43	S 89°38'16" W	28.42'
L44	S 44°20'31" W	11.64'
L45	S 50°58'05" W	28.09'
L46	S 59°16'12" W	30.92'
L47	S 79°49'49" W	25.19'
L48	N 72°17'04" W	39.07'
L49	N 75°29'27" W	75.00'
L50	N 56°34'24" W	33.38'
L51	N 59°31'30" W	13.19'
L52	S 38°11'45" W	10.06'
L53	N 48°13'22" W	64.05'
L54	S 74°35'59" W	29.61'
L55	S 56°07'51" W	26.76'
L56	N 45°45'14" W	39.38'
L57	N 89°33'39" W	84.45'
L58	N 50°18'42" E	31.14'
L59	N 48°41'38" E	29.47'
L60	N 89°34'41" E	16.93'
L61	N 81°48'25" E	18.83'
L62	N 77°01'04" E	35.40'
L63	N 53°18'41" E	44.30'
L64	N 35°58'45" E	44.01'
L65	N 10°09'27" W	23.35'
L66	N 30°06'27" E	24.60'
L67	N 15°43'15" E	31.48'
L68	S 85°18'07" E	20.51'
L69	N 32°40'47" W	102.01'
L70	N 44°50'42" W	18.88'
L71	S 32°40'47" E	106.23'

LINE	BEARING	DISTANCE
L1	N 32°40'47" W	112.31'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	300.00'	53°33'28"	280.43'	N 05°54'15" W	270.33'
C2	245.00'	3°04'15"	13.13'	N 19°20'22" E	13.13'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	30.14'	22°47'08"	11.99'	S 03°33'19" E	11.91'
C2	38.04'	36°39'08"	25.66'	S 39°18'07" E	25.18'
C3	137.56'	13°18'58"	31.90'	S 54°04'39" E	31.83'
C4	30.00'	90°00'05"	47.12'	S 89°14'43" W	42.43'
C5	30.00'	89°59'55"	47.12'	N 00°45'17" W	42.43'
C6	113.11'	13°25'08"	26.49'	N 54°12'46" W	26.43'
C7	62.04'	23°53'31"	25.91'	N 47°08'16" W	25.72'
C8	41.84'	35°58'27"	26.27'	N 54°59'31" W	25.84'
C9	30.00'	52°52'31"	27.69'	S 17°48'30" W	26.71'
C10	74.00'	45°00'00"	58.12'	S 21°44'46" W	56.64'
C11	54.00'	31°48'25"	29.98'	S 16°39'27" E	29.59'
C12	30.00'	76°48'25"	40.22'	S 05°50'33" W	37.27'
C13	30.00'	90°00'00"	47.12'	N 89°14'46" E	42.43'
C14	30.00'	45°00'00"	23.56'	N 23°15'14" W	22.96'
C15	50.00'	45°00'00"	39.27'	N 21°44'46" E	38.27'
C16	54.00'	52°52'31"	49.83'	N 17°48'30" E	48.08'
C17	329.50'	44°34'13"	256.32'	N 05°56'14" W	249.90'
C18	266.98'	55°05'51"	256.74'	S 05°29'33" E	246.96'

**LEGEND**

(C.M.) - CONTROLLING MONUMENT  
 IRF - IRON ROD FOUND  
 CIRF - CAPPED IRON ROD FOUND  
 NTS - NOT TO SCALE  
 R.O.W. - RIGHT OF WAY  
 INST. - INSTRUMENT  
 CAB. - CABINET  
 VOL. - VOLUME  
 NO. - NUMBER  
 PG. - PAGE  
 SF - SQUARE FEET  
 AC - ACRES  
 XS - CROSS SECTION  
 WSE - WATER SURFACE ELEVATION  
 D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

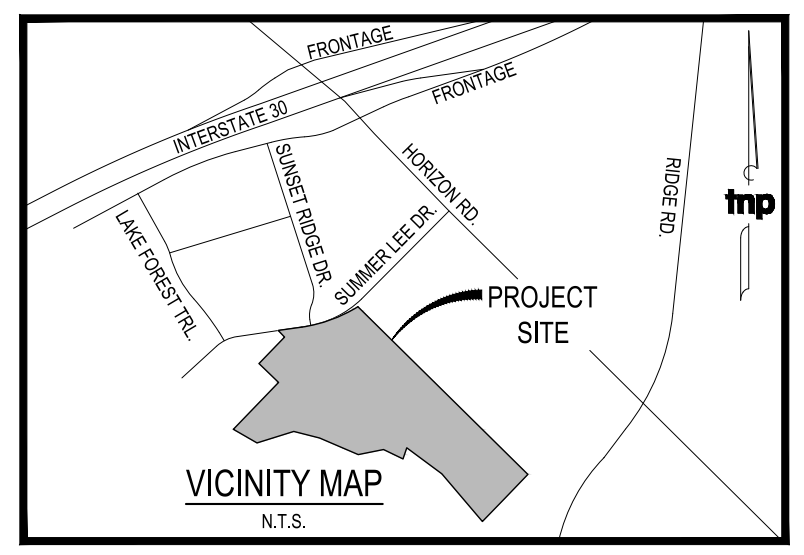
EASEMENT TO BE ABANDONED BY THIS PLAT

**NOTES:**

- BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202:NAD83(2011)EPOCH 2010) AND TIED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK
- UNLESS OTHERWISE NOTED ALL CORNERS ARE A 5/8 INCH IRON ROD SET WITH CAP STAMPED "TNP"
- BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040 DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

Pedestrian easement and ROW locations and limits are subject to change. Engineering Approval not complete. Changes to be reflected on Final Recorded plat.

Must tie two points to Rockwall GPS.  
 N:  
 E:



**FINAL PLAT OF  
 LOTS 1, 2 & 3 BLOCK A,  
 HARBOR HILLS ADDITION**  
 328,373 SQUARE FEET OR 7.538 ACRES  
 SITUATED IN THE EDWARD TEAL SURVEY, ABSTRACT 207  
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BEING ALL OF A THREE TRACTS OF LAND DESCRIBED BY DEED TO HARBOR LAKE POINTE INVESTORS, LLC. AS RECORDED IN INSTRUMENT NUMBER 2017000002427, INSTRUMENT NUMBER 2017000003548, AND INSTRUMENT NUMBER 2015000011879 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS AND A PORTION OF TWO TRACTS OF LAND TO THE CITY OF ROCKWALL AS RECORDED IN VOLUME 4067, PAGE 188 AND VOLUME 5830, PAGE 133 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS

**OWNER**  
 CITY OF ROCKWALL  
 385 S. Goliad Street  
 Rockwall, TX 75087

**OWNER**  
 HARBOR LAKE POINTE INVESTORS, LLC.  
 2701 Sunset Ridge Drive Suite 607  
 Rockwall, TX 75032

**PROJECT INFORMATION**  
 Project No.: HHI 18363  
 Date: August 5, 2020  
 Drawn By: JM  
 Scale: 1"=60'  
 SHEET 1 of 2



**SURVEYOR**  
 TEAGUE NALL AND PERKINS, INC.  
 825 Watters Creek Boulevard, Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 T.B.P.L.S. Registration No. 10194381  
 www.tnppinc.com

CASE NO. \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-036

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address Summer Lee Drive

Subdivision Harbor Hills Addition Lot 1, 2, & 3 Block A

General Location South of the intersection of Summer Lee Dr. and Sunset Ridge Dr.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD Current Use Vacant

Proposed Zoning PD Proposed Use Multifamily

Acreage 7.538 Lots [Current] N/A Lots [Proposed] 3

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Harbor Lake Pointe Investors, LLC</u>	<input type="checkbox"/> Applicant	<u>Cross Engineering Consultants, Inc.</u>
Contact Person	<u>Russell Phillips</u>	Contact Person	<u>T. Zachary Grimes</u>
Address	<u>2701 Sunset Ridge Drive, Suite 607</u>	Address	<u>1720 W Virginia St</u>
City, State & Zip	<u>Rockwall, Texas 75032</u>	City, State & Zip	<u>McKinney, Texas 75069</u>
Phone	<u>469-446-7734</u>	Phone	<u>972-562-4409</u>
E-Mail	<u>Russell@sterlingone.us</u>	E-Mail	<u>zgrimes@crossengineering.biz</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Russell B. Phillips [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 450.75, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of September, 20 20.

Owner's Signature

Russell B. Phillips

Notary Public in and for the State of Texas

Colorado

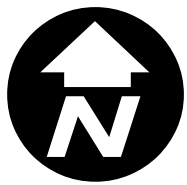
**STERLING KYLE FARNSWORTH**  
**NOTARY PUBLIC**  
**STATE OF COLORADO**  
**NOTARY ID 20184031897**  
**MY COMMISSION EXPIRES 08/09/2022**  
 My Commission Expires 8-9-2022



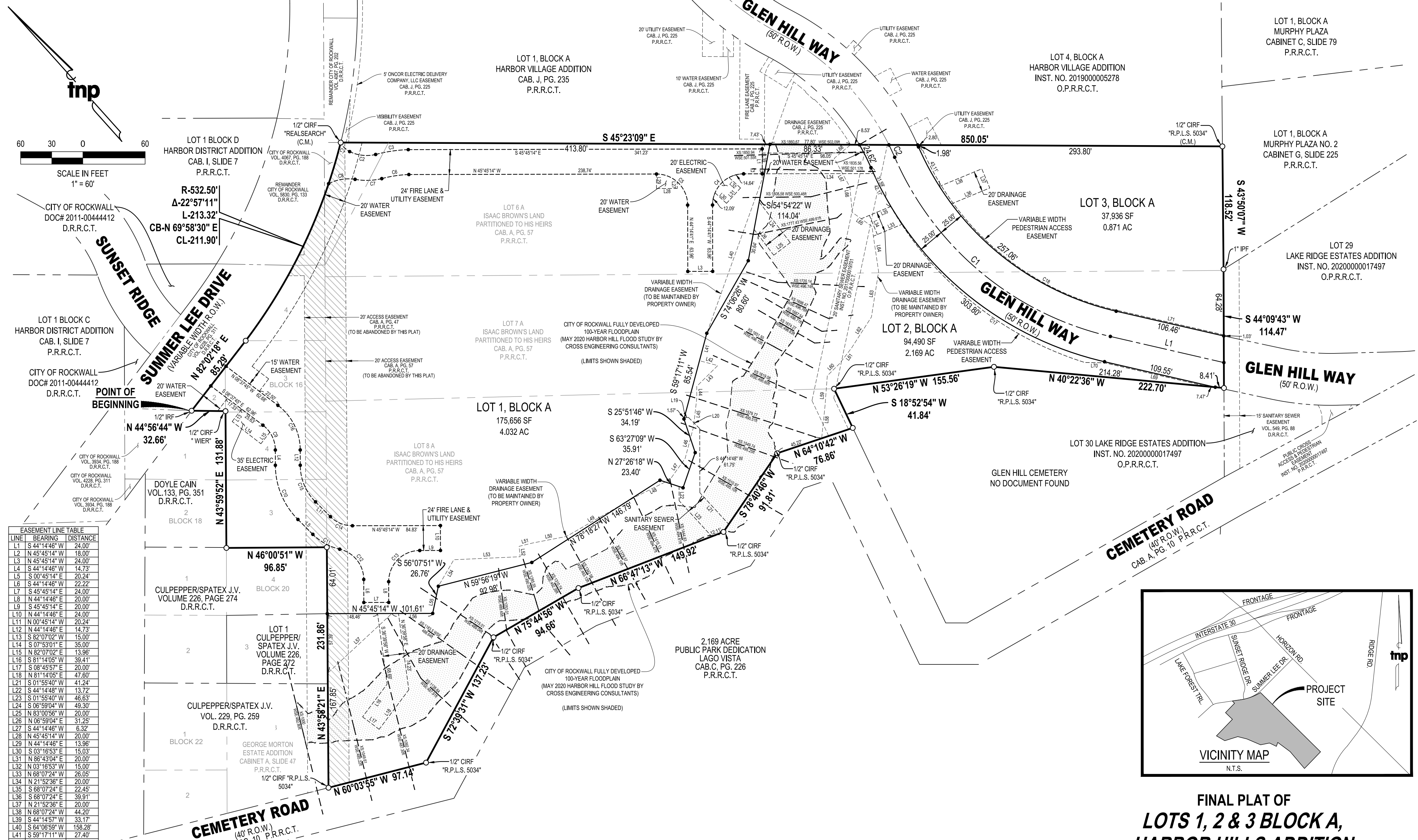
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Drawing: L:\Projects\H11 18363 Harbor Hill Multi Family\Acad\Deliverables\Final\_Plat\2020 08 05\_H11 18363 Harbor Hills Final Plat.dwg at Sep 16, 2020-7:01am by maddox



LINE	BEARING	DISTANCE
L1	S 44°14'46" W	24.00'
L2	N 45°45'14" W	18.00'
L3	N 45°45'14" W	24.00'
L4	S 44°14'46" W	14.73'
L5	S 00°45'14" E	20.24'
L6	S 44°14'46" W	22.22'
L7	S 45°45'14" W	24.00'
L8	N 44°14'46" E	20.00'
L9	S 45°45'14" E	20.00'
L10	N 44°14'46" E	24.00'
L11	N 00°45'14" W	20.24'
L12	N 44°14'46" E	14.73'
L13	S 82°07'02" W	15.00'
L14	S 07°53'01" E	35.00'
L15	N 82°07'02" E	13.96'
L16	S 81°14'05" W	39.41'
L17	S 08°45'57" E	20.00'
L18	N 81°14'05" E	47.60'
L19	S 01°55'40" W	41.24'
L20	S 44°14'48" W	13.72'
L21	S 01°55'40" W	46.63'
L22	S 06°59'04" W	49.30'
L23	N 83°00'56" W	20.00'
L24	N 06°59'04" E	31.25'
L25	S 44°14'46" W	6.32'
L26	N 45°45'14" W	20.00'
L27	N 44°14'46" E	13.96'
L28	S 03°16'53" E	15.03'
L29	N 86°43'04" E	20.00'
L30	N 03°16'53" W	15.00'
L31	N 68°07'24" W	26.05'
L32	N 21°52'36" E	20.00'
L33	S 68°07'24" E	22.45'
L34	S 68°07'24" E	39.91'
L35	N 21°52'36" E	20.00'
L36	N 68°07'24" W	44.20'
L37	S 44°14'57" W	33.17'
L38	S 64°06'59" W	158.28'
L39	S 59°17'11" W	27.40'
L40	S 30°24'49" E	18.18'
L41	S 89°38'18" W	28.42'
L42	S 44°20'31" W	11.64'
L43	S 50°58'05" W	28.09'
L44	S 59°16'12" W	30.92'
L45	S 79°49'49" W	25.16'
L46	N 72°17'04" W	39.07'
L47	N 75°29'27" W	75.00'
L48	N 56°34'24" W	33.38'
L49	N 59°31'30" W	13.19'
L50	S 38°11'45" W	10.06'
L51	N 48°13'22" W	64.05'
L52	S 74°33'56" W	28.61'
L53	S 56°07'51" W	28.76'
L54	N 45°45'14" W	39.38'
L55	N 88°33'39" W	84.45'
L56	N 50°18'42" E	31.14'
L57	N 48°41'38" E	29.47'
L58	N 89°34'41" E	16.93'
L59	N 81°48'25" E	18.83'
L60	N 77°01'04" E	35.40'
L61	N 53°18'41" E	44.30'
L62	N 35°58'45" E	44.01'
L63	N 10°09'27" W	23.35'
L64	N 39°06'27" E	24.60'
L65	N 15°43'15" E	31.48'
L66	S 85°16'07" E	20.51'
L67	N 32°40'47" W	102.01'
L68	N 44°50'42" W	18.88'
L69	S 32°40'47" E	106.23'

STREET CL LINE TABLE	LINE	BEARING	DISTANCE
L1	N 32°40'47" W	112.31'	

STREET CL CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING
C1	300.00'	53°33'28"	280.43'	S 05°54'15" W
C2	245.00'	3°04'15"	13.13'	N 19°20'22" E

EASEMENT CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING
C1	30.14'	22°47'08"	11.99'	S 03°33'19" E
C2	38.04'	38°39'09"	25.66'	S 39°18'07" E
C3	137.59'	13°16'58"	31.90'	S 54°04'39" E
C4	30.00'	90°00'05"	47.12'	S 89°14'43" W
C5	30.00'	89°59'55"	47.12'	N 00°45'17" W
C6	113.11'	13°25'08"	26.49'	N 54°12'46" W
C7	62.04'	23°55'33"	25.91'	N 47°08'16" W
C8	41.84'	35°58'27"	26.27'	N 54°59'31" W
C9	30.00'	52°52'31"	27.69'	S 17°48'30" W
C10	74.00'	45°00'00"	58.12'	S 21°44'46" W
C11	54.00'	31°48'25"	29.98'	S 16°39'27" E
C12	30.00'	78°48'25"	40.22'	S 05°50'33" E
C13	30.00'	90°00'00"	47.12'	N 89°14'46" E
C14	30.00'	45°00'00"	23.56'	N 23°15'14" W
C15	50.00'	45°00'00"	39.27'	N 21°44'46" E
C16	54.00'	52°52'31"	49.83'	N 17°48'30" E
C17	329.50'	44°34'13"	256.32'	N 05°56'14" W
C18	266.98'	55°05'51"	S 05°29'33" E	

**LEGEND**

(C.M.) - CONTROLLING MONUMENT  
 IRF - IRON ROD FOUND  
 CIRF - CAPPED IRON ROD FOUND  
 NTS - NOT TO SCALE  
 R.O.W. - RIGHT OF WAY  
 INST. - INSTRUMENT  
 CAB. - CABINET  
 VOL. - VOLUME  
 NO. - NUMBER  
 PG. - PAGE  
 SF - SQUARE FEET  
 AC - ACRES  
 XS - CROSS SECTION  
 WSE - WATER SURFACE ELEVATION  
 D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

EASEMENT TO BE ABANDONED BY THIS PLAT

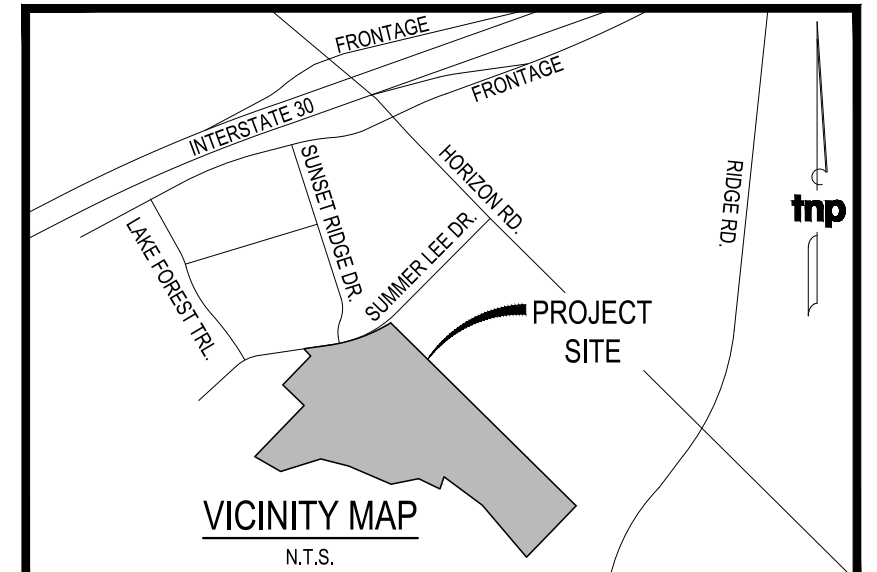
**NOTES:**

- BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202;NAD83(2011)EPOCH 2010) AND TIED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK
- UNLESS OTHERWISE NOTED ALL CORNERS ARE A 5/8 INCH IRON ROD SET WITH CAP STAMPED "TNP"
- BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY OF WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**OWNER**  
 CITY OF ROCKWALL  
 385 S. Goliad Street  
 Rockwall, TX 75087

**OWNER**  
 HARBOR LAKE POINT INVESTORS, LLC.  
 2701 Sunset Ridge Drive Suite 607  
 Rockwall, TX 75032

CASE NO. \_\_\_\_\_



**FINAL PLAT OF  
 LOTS 1, 2 & 3 BLOCK A,  
 HARBOR HILLS ADDITION**

328,373 SQUARE FEET OR 7.538 ACRES

SITUATED IN THE EDWARD TEAL SURVEY, ABSTRACT 207  
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BEING ALL OF A THREE TRACTS OF LAND DESCRIBED BY DEED TO HARBOR LAKE POINTE INVESTORS, LLC. AS RECORDED IN INSTRUMENT NUMBER 2017000002427, INSTRUMENT NUMBER 2017000003548, AND INSTRUMENT NUMBER 20150000011879 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS AND A PORTION OF TWO TRACTS OF LAND TO THE CITY OF ROCKWALL AS RECORDED IN VOLUME 4067, PAGE 188 AND VOLUME 5830, PAGE 133 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS

**PROJECT INFORMATION**  
 Project No.: HHI 18363  
 Date: August 5, 2020  
 Drawn By: JM  
 Scale: 1"=60'

**SURVEYOR**  
 TEAGUE NALL AND PERKINS, INC.  
 825 Watters Creek Boulevard, Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 T.B.P.L.S. Registration No. 10194381  
 www.tnpsc.com



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)  
COUNTY OF ROCKWALL)

I the undersigned owner of the land shown on this plat, and designated herein as HARBOR HILLS ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

7. Drainage/Retention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

HARBOR HILLS POINTE INVESTORS, LLC.

\_\_\_\_\_  
Representative:

STATE OF TEXAS)  
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS)  
COUNTY OF ROCKWALL)

WHEREAS Harbor Lake Pointe Investors, LLC., and the City of Rockwall are the owners a tract of land situated in the Edward Teal Survey, Abstract 207 and being all of three tracts of land described by deed to Harbor Lake Pointe Investors, LLC. as recorded in Instrument Number 20170000002427, Instrument Number 20170000003548 and Instrument Number 20150000011879 of the Official Public Records of Rockwall County, Texas, and a portion of two tracts of land to the City of Rockwall as recorded in Volume 4067, Page 188 and Volume 5830, Page 133 of the Deed Records of Rockwall County, Texas, also being all of Lot 3 and 4, Block 18 and a portion of Lot 2 and 4 and all of Lot 3, Block 16 of George Morton Estate as recorded in Cabinet A, slide 47 of the Plat Records of Rockwall County, Texas, also being a portion of Lot 6A, Lot 7A and Lot 8A of Isaac Brown's Land Partitioned to his Heirs as recorded in Cabinet A, Page 57 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found the northwest corner of said Harbor Heights tract recorded in Instrument Number 20170000002427 also lying on the southerly line of Summer Lee Drive, a variable width right-of-way;

THENCE North 82 degrees 02 minutes 18 seconds East, along the southerly line of said Summer Lee Drive, a distance of 85.29 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the beginning of a curve to the left;

THENCE along the southerly line of said Summer Lee Drive with said curve to the left having a radius of 532.50 feet, a central angle of 22 degrees 57 minutes 11 seconds, an arc length of 213.32 feet, a chord bearing of North 69 degrees 58 minutes 30 seconds East, a distance of 211.90 feet to a 5/8 inch iron rod with cap stamped "REALSEARCH" found for the west corner of Lot 1, Block A, Harbor Village Addition, an addition to the City of Rockwall as recorded in Cabinet J, Page 225 of the Plat Records of Rockwall County, Texas;

THENCE South 45 degrees 23 minutes 09 seconds East, along the southwest line of said Lot 1, Block A, a distance of 850.05 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034" found for the south corner of same, also lying on the northwest line of Lot 1, Block A, Murphy Plaza No. 2, an addition to the City of Rockwall as recorded in Cabinet G, Slide 225 of the Plat Records of Rockwall County, Texas;

THENCE South 43 degrees 50 minutes 07 seconds West, along the northwest line of said Murphy Plaza, a distance of 118.52 feet to a 1 inch iron pipe found for the west corner of same, also for the north corner of Lot 29, Lake Ridge Estates, an addition to the City of Rockwall as recorded in Instrument Number 20200000017497 of the Official Public Records of Rockwall County, Texas;

THENCE South 44 degrees 09 minutes 43 seconds West, along the northwest line of said Lake Ridge Estates, a distance of 114.47 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the southeast corner of the aforementioned Harbor Lake Pointe Investors, LLC. tract as recorded in Instrument Number 20150000011879;

THENCE along the southerly line of said Harbor Lake Point Investors tract recorded in Instrument Number 20150000011879 the following courses and distances:

- North 40 degrees 22 minutes 36 seconds West, a distance of 222.70 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- North 53 degrees 26 minutes 19 seconds West, a distance of 155.56 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- South 18 degrees 52 minutes 54 seconds West, a distance of 41.84 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;
- North 64 degrees 10 minutes 42 seconds West, a distance of 76.86 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- South 78 degrees 40 minutes 46 seconds West, a distance of 91.81 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- North 66 degrees 47 minutes 13 seconds West, a distance of 149.92 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;
- North 75 degrees 44 minutes 56 seconds West, a distance of 94.66 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- South 72 degrees 39 minutes 31 seconds West, a distance of 137.23 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner;
- North 60 degrees 03 minutes 55 seconds West, a distance of 97.14 feet to a 1/2 inch iron rod with cap stamped "R.P.L.S. 5034 found for corner lying on the southeast line of the aforementioned George Morton Estate;

THENCE North 43 degrees 58 minutes 21 seconds East along the southeast line of said George Morton Estate, a distance of 231.86 feet to 5/8 inch iron rod with cap stamped "TNP" set for corner for the south corner of the aforementioned Harbor Lake Point Investors tract recorded in Instrument Number 20170000003548;

THENCE North 46 degrees 00 minutes 51 seconds West, along the southwest line of last mentioned Harbor Lake Point Investors tract, a distance of 96.85 feet to 5/8 inch iron rod with cap stamped "TNP" set for corner at the west corner of same;

THENCE North 43 degrees 59 minutes 52 seconds East, a distance of 131.88 feet to a 1/2 inch iron rod with cap stamped "WIER" found for ell corner of the aforementioned Harbor Lake Point Investors tract recorded in Instrument Number 20170000002427;

THENCE North 44 degrees 56 minutes 44 seconds West, along a southwest line of last mentioned Harbor Lake Point Investors tract, a distance of 32.66 feet to the POINT OF BEGINNING containing 328,373 square feet, or 7.538 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020

\_\_\_\_\_  
BRIAN J. MADDOX, R.P.L.S. NO. 5430

RECOMMENDED FOR FINAL APPROVAL

\_\_\_\_\_  
Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED**

I hereby certify that the above and foregoing plat of HARBOR HILLS ADDITION, an addition to the City of Rockwall, Texas, was

approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Mayor, City of Rockwall \_\_\_\_\_ City Secretary \_\_\_\_\_ City Engineer \_\_\_\_\_

**FINAL PLAT OF  
LOTS 1, 2 & 3 BLOCK A,  
HARBOR HILLS ADDITION**

328,373 SQUARE FEET OR 7.538 ACRES

SITUATED IN THE EDWARD TEAL SURVEY, ABSTRACT 207  
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BEING ALL OF A THREE TRACTS OF LAND DESCRIBED BY DEED TO HARBOR LAKE POINTE INVESTORS, LLC. AS RECORDED IN INSTRUMENT NUMBER 20170000002427, INSTRUMENT NUMBER 20170000003548, AND INSTRUMENT NUMBER 20150000011879 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS AND A PORTION OF TWO TRACTS OF LAND TO THE CITY OF ROCKWALL AS RECORDED IN VOLUME 4067, PAGE 188 AND VOLUME 5830, PAGE 133 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS

**OWNER**

CITY OF ROCKWALL  
385 S. Goliad Street  
Rockwall, TX 75087

**OWNER**

HARBOR LAKE POINTE INVESTORS, LLC.  
2701 Sunset Ridge Drive Suite 607  
Rockwall, TX 75032

**PROJECT INFORMATION**

Project No.: HHI 18363  
Date: August 5, 2020  
Drawn By: JM  
Scale: 1"=60'  
SHEET 2 of 2



**SURVEYOR**

TEAGUE NALL AND PERKINS, INC.  
825 Watters Creek Boulevard, Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
T.B.P.L.S. Registration No. 10194381  
www.tnpinc.com

CASE NO. \_\_\_\_\_

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-037  
PROJECT NAME: Avery Farm Subdivision  
SITE ADDRESS/LOCATIONS: 534 FARM LN

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Bart Carroll, RPCS of Carroll Consulting Group on behalf of Kurt Avery for the approval of a Preliminary Plat for Lots 1-9, Block A, Avery Farm Addition being a 48.583-acre tract of land identified as Tracts 5 & 5-1 of the J. Strickland Survey, Abstract No. 187, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the terminus of Farm Lane east of Anna Cade Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/24/2020	Needs Review

09/24/2020: P2020-037; Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition being a 48.583-acre tract of land identified as Tracts 5 & 5-1 of the J. Strickland Survey, Abstract No. 187, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the terminus of Farm Lane east of Anna Cade Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (P2020-037) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§01.02(D), Art. 11, UDC)

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.6 Correct Title Block to read as follows:

Preliminary Plat  
Avery Farm Addition  
Lots 1-9, Block A and Lot 1, Block X  
Being 48.583-Acres of Land  
Out of the J. Strickland Survey, Abstract No. 187  
Situated within the Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall, Rockwall County, Texas

M.7 Tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet). [Section 38-8, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.8 Show 100-Year floodplain and floodway boundaries (if applicable). [Section 38-8, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.9 Show all drainage areas and all proposed storm drainages areas with sizes if applicable. [Section 38-8, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.10 Provide a label for the private road indicating Lot 1, Block X. This will need to be tied down as a separate lot.

M.11 Provide a copy of the Homeowner Association documents. [Section 38-15(p), of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M. 12 Please refer to the Checklist for Plat Submittals as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) document and make the following corrections and/or provide a statement for each of the following items: (Exhibit 'A', ILA)

a) Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development. (Exhibit 'C', ILA)

b) Indicate water sources inside the extraterritorial jurisdiction (ETJ). Provide a Will Serve Letter from Mt. Zion Water Supply Company. (Section (4)(a)(1), Adequate Public Utilities (Water), Exhibit 'A', ILA)

c) Rockwall County to review and approve the sewage disposal method. (Section (4)(a)(2), Adequate Public Utilities (Wastewater), Exhibit 'A', ILA)

M.13 Adequate public facilities policy. "Adequate service for areas proposed for development. Land proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities. Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities, whether the facilities are to be located within the property being developed or offsite." (Section 38-5(d)(1), Policy, Municipal Code of Ordinances)

I.14 Once all revisions have been completed, please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.16 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020
- 2) Parks and Receptions Board meeting will be held on October 6, 2020
- 3) Planning & Zoning Regular meeting will be held on October 13, 2020
- 4) City Council meeting will be held on October 19, 2020

I.17 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Parks Board, Planning and Zoning Commission or the City Council may have regarding your request. All meetings will be held in the City's Council Chambers, and will begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Road transition does not meet requirements. Must include a switchback curve that has the proper radii per City standards.

M - Dedicated 20' wastewater line easement on north and east property lines.

M - All street must have radius that meets minimum standards.

M - Dedicated 20' water line easement on east and south property lines.

M - All street radii must have 50' radii at the centerline. ROW will be offset from the CL.

M - Need to show and label existing and proposed utilities.

The following items are informational for the engineering design process.

General Items:

- 4% Engineering Inspection Fees for engineering work.
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- Streets must meet the City Council approved variance
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must meet driveway spacing requirements.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have septic systems on each property
- Min Lot Size per Septic Systems is 1.5 acres per County Requirements.
- Must loop 8" water line on site. No dead-end lines allowed.
- No trees within 10' of non-steel encased public utilities.
- Per Water Master Plan a 12" Water Line required on south side and east side of platted properties. Dedicated 20' water line easement on east and south property lines.
- Per Wastewater Master Plan a 15" wastewater line required on south side and east side of platted properties. Dedicated 20' wastewater line easement on north and east property lines.

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must have floodplain delineation/study for localized 100-year water surface elevation for all creek/stream.
- No lot to lot drainage allowed
- No vertical walls are allowed in detention easements.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

09/21/2020: Post approval contact Jim Knickerbocker w/ Rockwall County Rural 911 Addressing ( jknickerbocker@rockwallcountytexas.com ) for address assignment of lots.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------



---

POLICE	David Gonzales	09/23/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

---

09/21/2020: No comments



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-037

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 534 FARM LANE

Subdivision AVERY FARM ADDITION Lot \_\_\_\_\_ Block \_\_\_\_\_

General Location FARM ROAD

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning AG Current Use AG

Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_

Acreage 48.583 Lots [Current] 1 Lots [Proposed] 9

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> Owner <u>Kurt Avery</u>	<input type="checkbox"/> Applicant <u>CARROLL CONSULTING GROUP</u>
Contact Person <u>Kurt Avery</u>	Contact Person <u>BART CARROLL RACS</u>
Address <u>1043 ANNA CADE RD</u>	Address <u>PO BOX 11</u>
City, State & Zip <u>Rockwall TX 75087</u>	City, State & Zip <u>LAVON TX 75146</u>
Phone <u>214 771 1090</u>	Phone <u>972 742 444</u>
E-Mail <u>KurtAvery@yahoo.com</u>	E-Mail <u>bart.carroll@yahoo.com</u>

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Kurt Avery [Owner] the undersigned, who stated the information on this application to be true and certified the following:

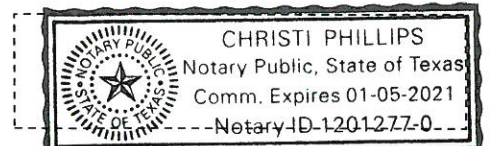
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 928.75, to cover the cost of this application, has been paid to the City of Rockwall on this the 18th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 18th day of September, 20 20.

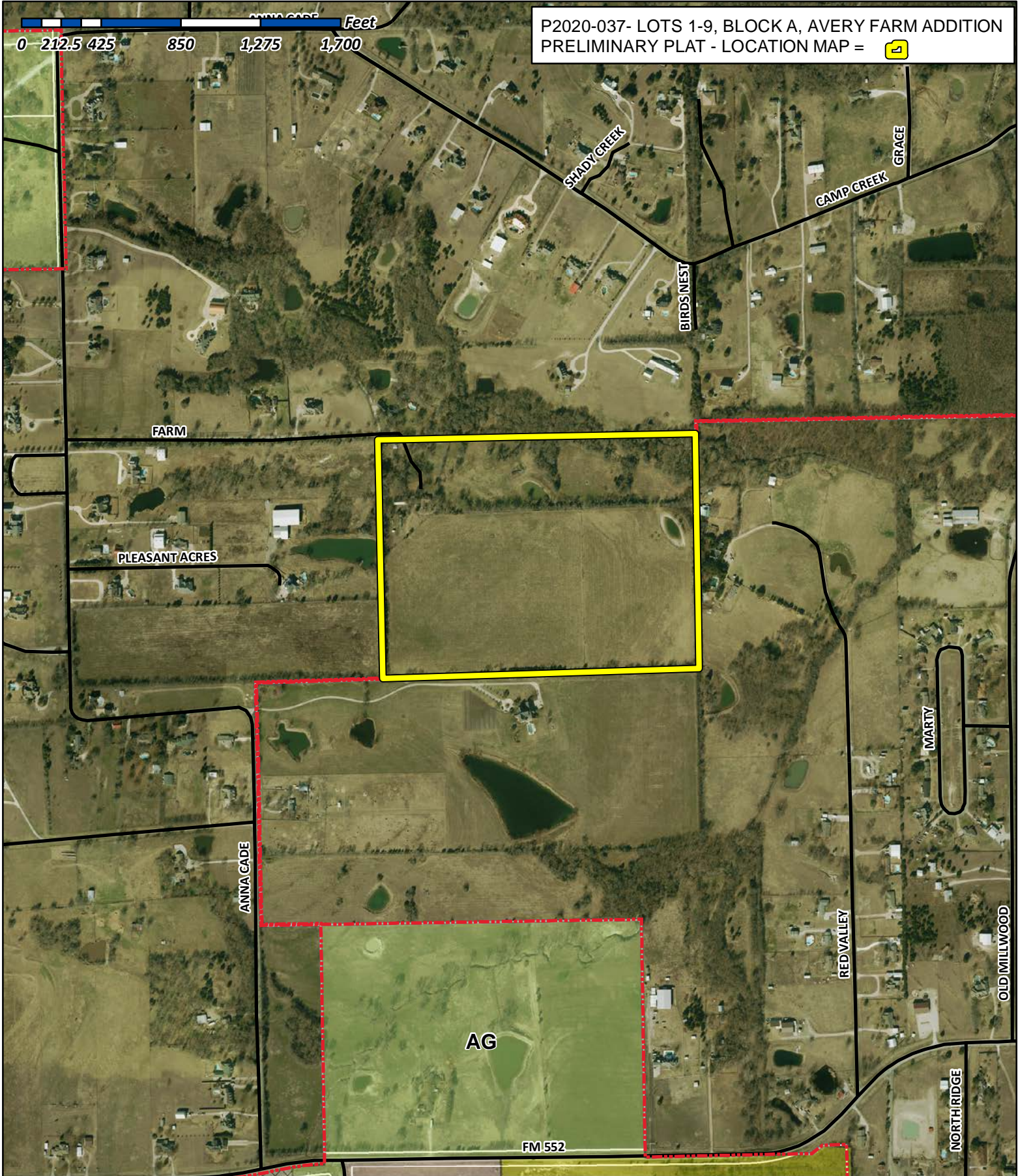
Owner's Signature

*[Handwritten Signature]*

Notary Public in and for the State of Texas



My Commission Expires 01-05-2021



P2020-037- LOTS 1-9, BLOCK A, AVERY FARM ADDITION  
 PRELIMINARY PLAT - LOCATION MAP = [icon]



# City of Rockwall

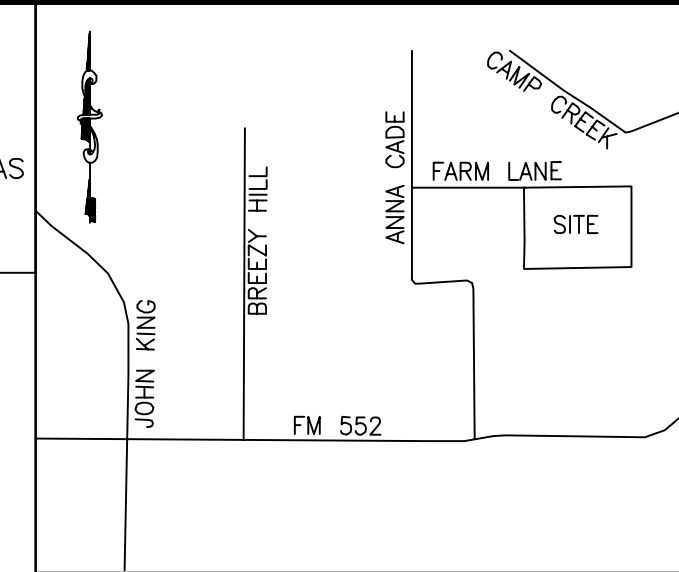
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

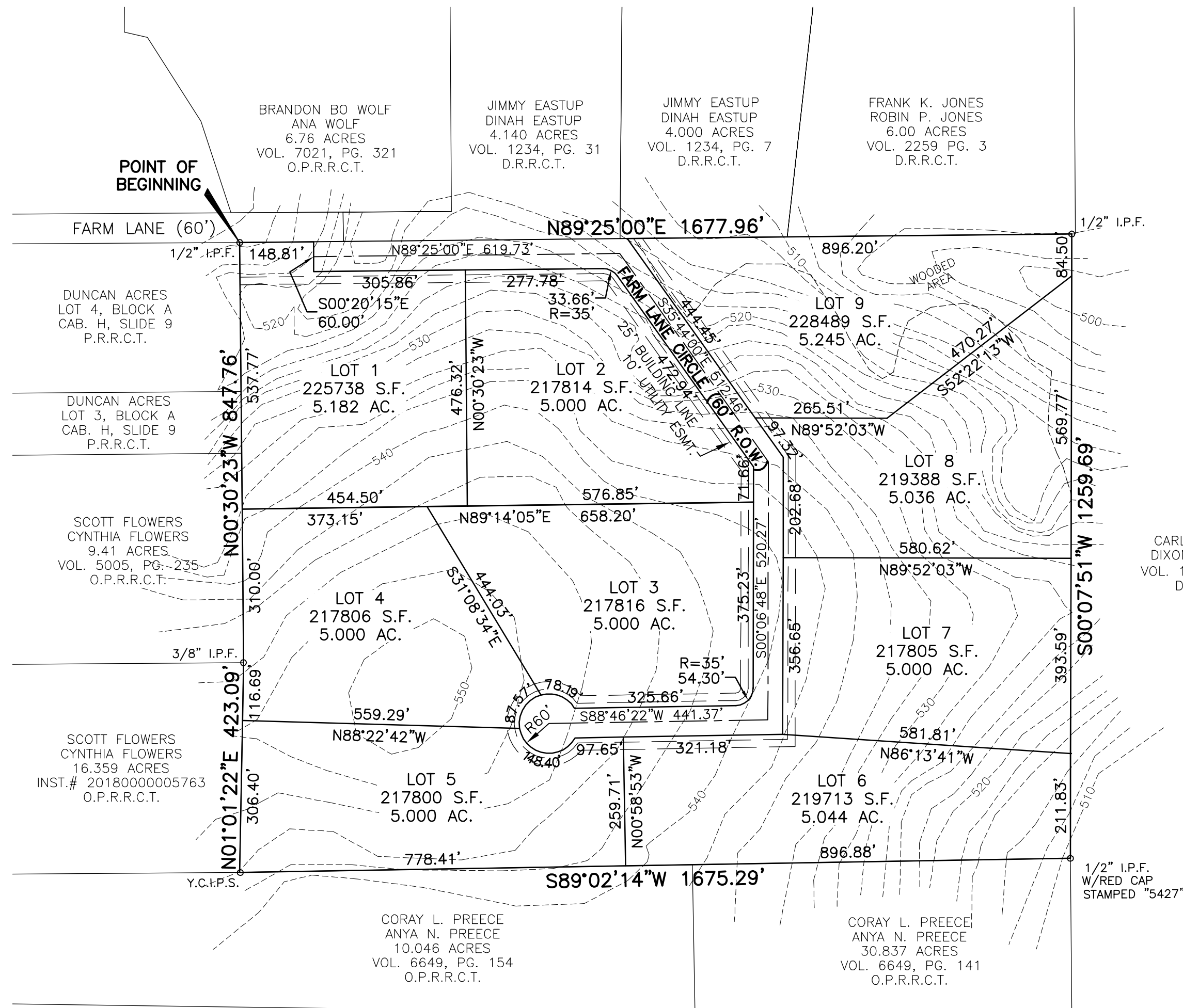


**LEGEND**

- I.P.F. - IRON PIN FOUND
- D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- Y.C.I.P.S. - YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"



LOCATION MAP (N.T.S.)



**PRELIMINARY PLAT**  
**AVERY FARM ADDITION**  
 9 LOTS  
 48.583 ACRES OF LAND

J. STRICKLAND SURVEY, ABSTRACT NO. 187  
 CITY OF ROCKWALL E.T.J., ROCKWALL COUNTY, TEXAS

<b>CARROLL CONSULTING GROUP, INC.</b>			
P.O. BOX 11		972-742-4411	
LAVON, TEXAS 75166		TEXAS FIRM REGISTRATION NO.: 10007200	
		TBPELS REGISTRATION NO.: F-21608	
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2709-20	1"=200'	SEPTEMBER 17, 2020	CP

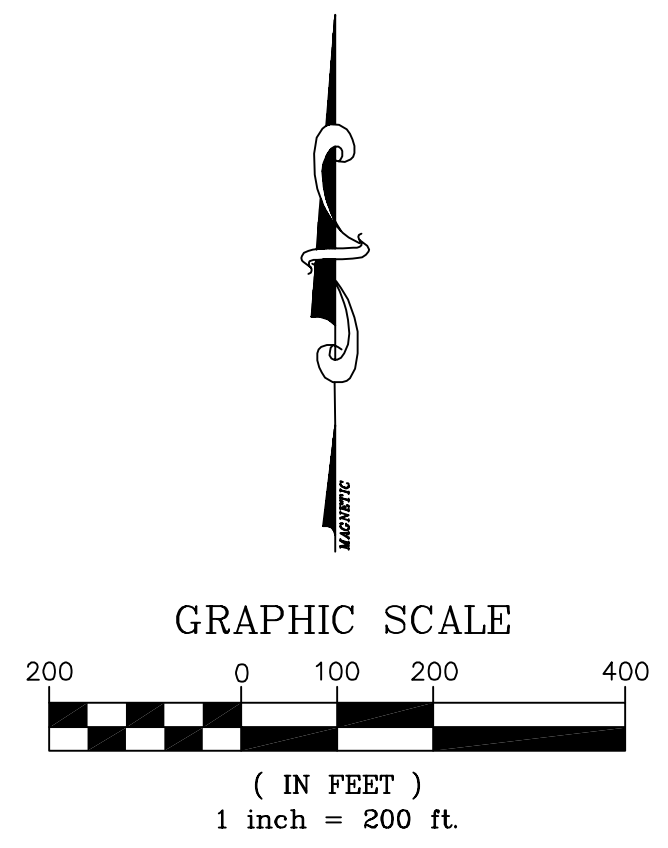
**NOTES:**

- Located in the City of Rockwall, Texas E.T.J.
- This lot utilizes alternative type On-Site Sewage Facility.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the north line of deed recorded in Instrument No. 20170000018520, O.P.R.R.C.T. (N89°25'00"E)

**OWNER:**  
 KURT AVERY  
 1043 ANNA CADE ROAD  
 ROCKWALL, TEXAS 75087  
 PHONE: (214) 771-1090



OWNER'S CERTIFICATE

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, Kurt Avery is the owner of a tract of land situated in the J. Strickland Survey, Abstract No. 187, Rockwall County, Texas, and being the same called 47.451 acre tract of land conveyed to Kurt Avery by deed recorded in Instrument No. 20170000018520, Official Public Records, Rockwall County, Texas and being the same called 1.0331 acre tract of land conveyed to Kurt Avery by deed recorded in Instrument No. 20170000018521, Official Public Records, Rockwall County, Texas and being more particularly described as follows:

Beginning at a 1/2" iron pin found on the south line of Farm Lane for the northwest corner of said 47.451 acre tract and the northeast corner of Duncan Acres, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet H, Slide 9, Plat Records, Rockwall County, Texas;

Thence, North 89°25'00" East, along the north line of said 47.451 acre tract, the south line of a 4.140 acre tract of land conveyed to Jimmy Eastup and Dinah Eastup by deed recorded in Volume 1234, Page 31, Deed Records, Rockwall County, Texas, the south line of a 4.000 acre tract of land conveyed to Jimmy Eastup and Dinah Eastup by deed recorded in Volume 1234, Page 7, Deed Records, Rockwall County, Texas and the south line of a 6.00 acre tract of land conveyed to Frank K. Jones and Robin P. Jones by deed recorded in Volume 2259, Page 3, Deed Records, Rockwall County, Texas, a distance of 1677.96 feet to a 1/2" iron pin found for the northeast corner of said 47.451 acre tract and being on the west line of a tract of land conveyed to Carl E. Glaze and Dixon A. Glaze by deed recorded in Volume 190, Page 493, Deed Records, Rockwall County, Texas;

Thence, South 00°07'51" West, along the east line of said 47.451 acre tract and the west line of said Glaze tract, a distance of 1259.69 feet to a 1/2" iron pin found with red cap stamped "5427" for the southeast corner of said 47.451 acre tract and the northeast corner of a 30.837 acre tract of land conveyed to Coray L. Preece and Anya N. Preece by deed recorded in Volume 6649, Page 141, Official Public Records, Rockwall County, Texas;

Thence, South 89°02'14" West, along the south line of said 47.451 acre tract, the north line of said 30.837 acre tract and the north line of a 10.046 acre tract of land conveyed to Coray L. Preece and Anya N. Preece by deed recorded in Volume 6649, Page 154, Official Public Records, Rockwall County, Texas, a distance of 1675.29 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for the southwest corner of said 47.451 acre tract and the southeast corner of a 16.359 acre tract of land conveyed to Scott Flowers and Cynthia Flowers by deed recorded in Instrument No. 20180000005763, Official Public Records, Rockwall County, Texas;

Thence, North 01°01'22" East, along the west line of said 47.451 acre tract and the east line of said 16.359 acre tract, a distance of 423.09 feet to a 3/8" iron pin found for the northeast corner of said 16.359 acre tract and the southeast corner of a 9.41 acre tract of land conveyed to Scott Flowers and Cynthia Flowers by deed recorded in Volume 5005, Page 235, Official Public Records, Rockwall County, Texas;

Thence, North 00°30'23" West, along the west line of said 47.451 acre tract, the east line of said 9.41 acre tract and the east line of said Duncan Acres, a distance of 847.76 feet to the Point of Beginning and containing 2,116,269 square feet or 48.583 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the AVERY FARM ADDITION subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Avery Farm Addition subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Kurt Avery, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Kurt Avery, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

PRELIMINARY PLAT

AVERY FARM ADDITION

9 LOTS

48.583 ACRES OF LAND

J. STRICKLAND SURVEY, ABSTRACT NO. 187  
CITY OF ROCKWALL E.T.J., ROCKWALL COUNTY, TEXAS

<b>CARROLL CONSULTING GROUP, INC.</b>			
P.O. BOX 11		972-742-4411	
LAVON, TEXAS 75166		TEXAS FIRM REGISTRATION NO.: 10007200 TBPELS REGISTRATION NO.: F-21608	
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2709-20	1"=200'	SEPTEMBER 17, 2020	CP

OWNER:  
KURT AVERY  
1043 ANNA CADE ROAD  
ROCKWALL, TEXAS 75087  
PHONE: (214) 771-1090

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-039  
PROJECT NAME: Discovery Lakes  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochellee Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/25/2020	Needs Review

09/25/2020: P2020-039; Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (P2020-039) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The master plat and open space master plan shall conform to all standards and requirements of Planned Development District No. 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.6 Label the right-of-way width and street centerline for each street both within and adjacent to the development on the Master Plat. [§01.02, Art. 11, UDC]

M.7 Topographical information and physical features to include contours at 2-foot interval on the Master Plat. [§01.02, Art. 11, UDC]

M.8 Show all drainage areas and all proposed storm drainages areas with sizes if applicable on the Master Plat. [§01.02, Art. 11, UDC]

M.9 Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as

consistent with those shown in the comprehensive plan on the Master Plat and Open Space Master Plan. Is there a park plan for this park district? Additionally, and on the Open Space Master Plan, include in the table the total acres for the site, total open space, and percentage of open space. [§01.02, Art. 11, UDC]

I.10 Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020
- 2) Parks and Recreations Board meeting will be held on October 6, 2020
- 3) Planning & Zoning Regular meeting will be held on October 13, 2020
- 4) City Council meeting will be held on October 19, 2020

I.12 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission of Council may have regarding your request. All meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Must install a 16" water line from Rochelle to the eastern side of the property.

M - M-If this chart is going to stay on the plan then add a note that these time frames of the water/sewer construction are not approved with Master Plat or Open Space Plan...These will be approved during the engineering phase of the project.

M - Change the lift station name to Brushy Creek, not Buffalo Creek.

M - Remove roundabouts and make standard four way stop intersection.

M - Must meet all fire department standards as well as allow parking on all roadways.

The following comments are informational for the future design of the project.

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- M-Remove roundabout at the four-way per the markup and see comment on other roundabout
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochelle Rd. You must dedicate 42.5' from the CL.
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan.

- Must install Build Out size Lift Station and Force Main per WW Master Plan for Brushy Creek. Lift Station Includes wet well, valve vault, all size items, generator, electrical, SCADA, etc.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Rochelle Rd and Discovery Blvd. Install 16" WL along SH 276.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochelle Rd. and SH 276.
- No trees within 10' of non-steel encased public utilities.

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments

09/21/2020: All fire code requirements shall be verified during the site civil plan process.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/25/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved w/ Comments

09/21/2020: 2020 Park Land Dedication Fee (Master Plat) (P2020-039)

Park District 30

Cash In Lieu Of Land: \$383.00 x 397 lots = \$152,051.00

Pro Rata Equipment Fees: \$363.00 x 397 lots = \$144,111.00

09/21/2020: Discussion on possible park land TBD





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-039

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup> (100+307.18\*15=\$4707.70)
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	none	Lot	Block
General Location	307 Acre Tract near the NE corner of the intersection of SH 276 and Rochelle Road		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None	
Proposed Zoning	PD-78	Proposed Use	Single Family Residential	
Acreage	307.18	Lots [Current]	1	Lots [Proposed]
				428

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.	
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown	
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300	
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013	
Phone	972-960-9941	Phone	817-889-5050	
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com	

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

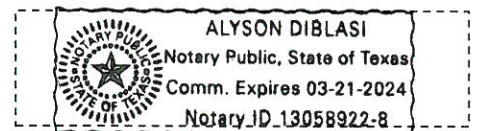
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$4,707.70, to cover the cost of this application, has been paid to the City of Rockwall on this the 17<sup>th</sup> day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17<sup>th</sup> day of September, 20 20

Owner's Signature

Nick DiGiuseppe  
Alyson DiBlasi

Notary Public in and for the State of Texas



My Commission Expires 03-21-2024

### **General Items:**

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

### **Streets/Paving:**

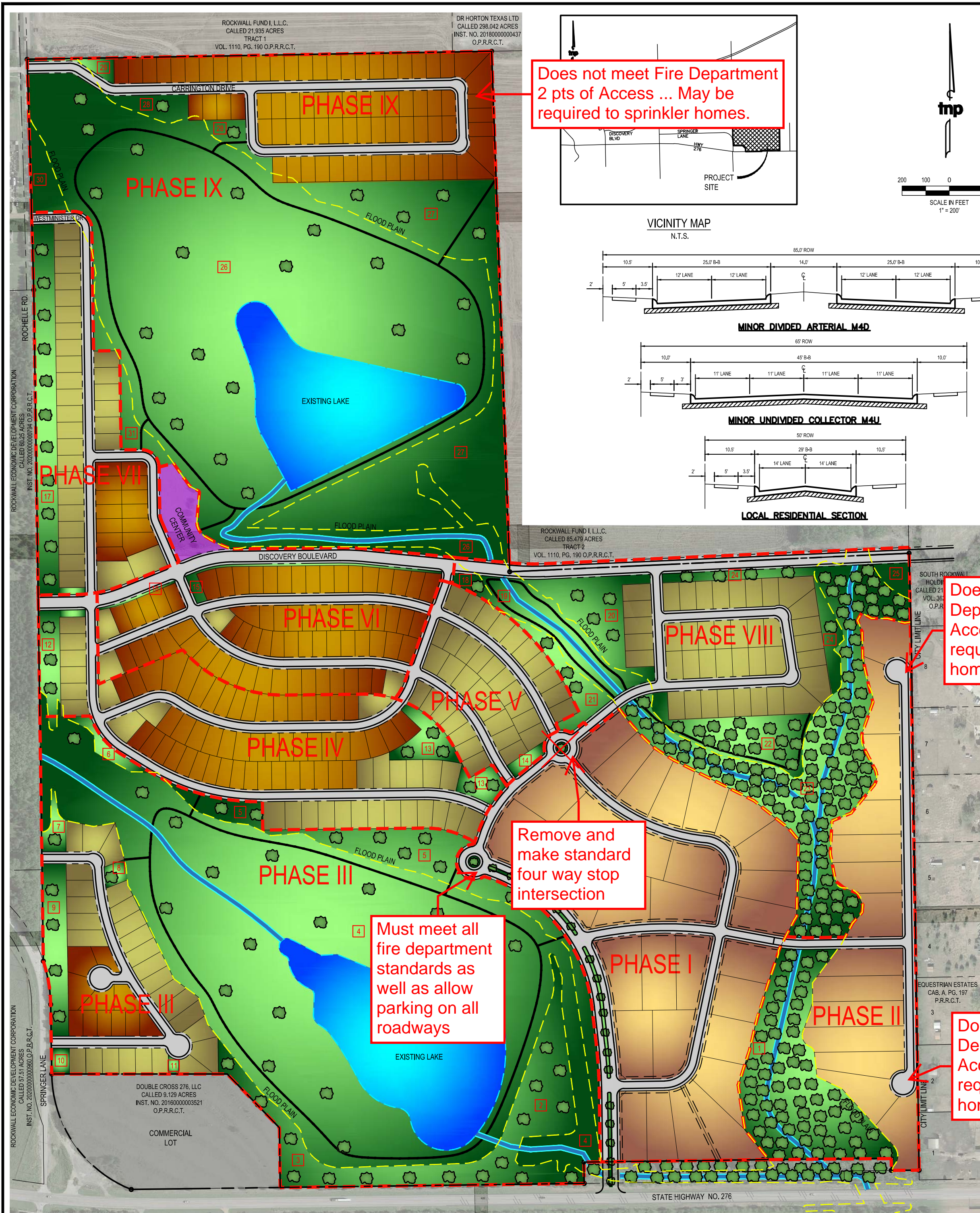
- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- **M-Remove roundabout at the four-way per the markup and see comment on other roundabout**
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochell Rd. You must dedicate 42.5' from the CL.
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

### **Water/Wastewater:**

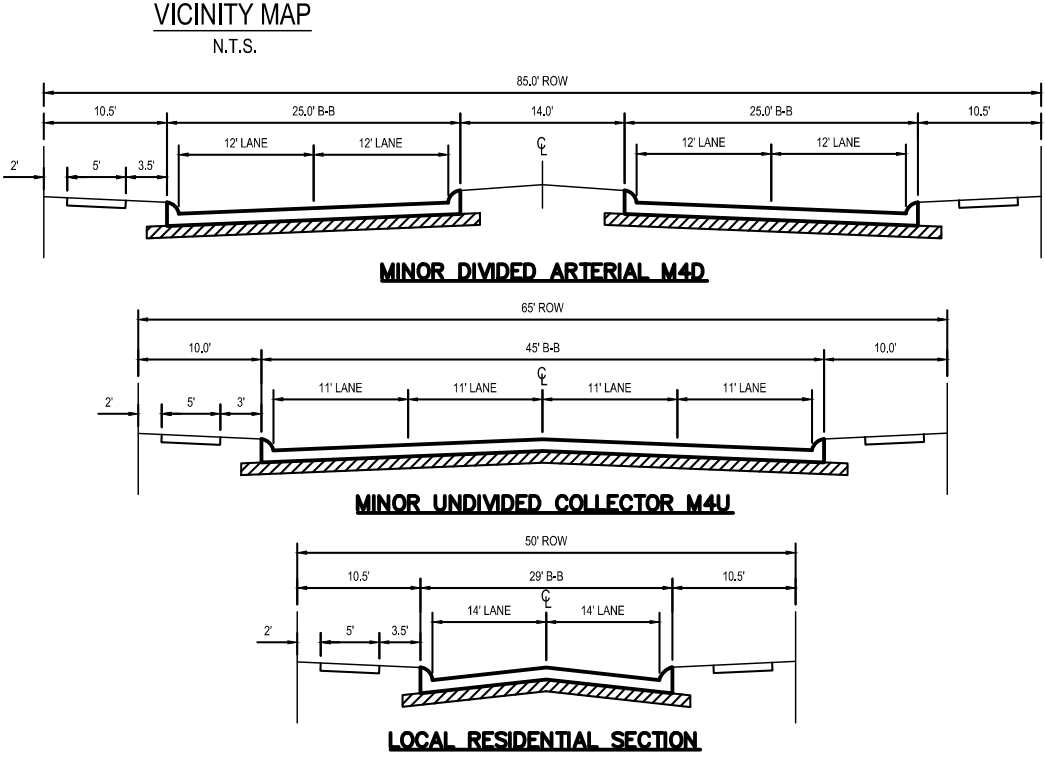
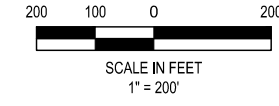
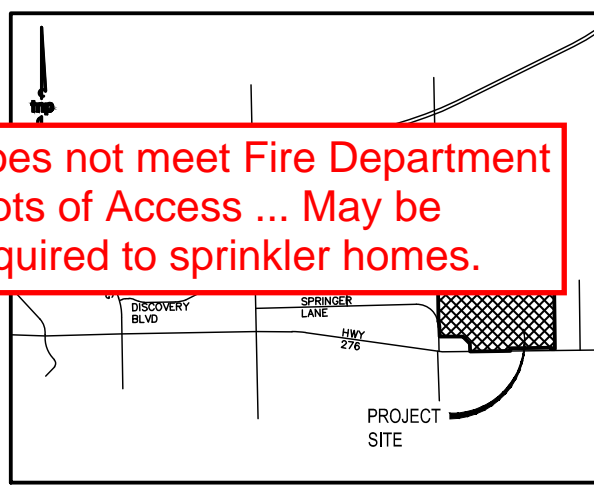
- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan.
- Must install Build Out size Lift Station and Force Main per WW Master Plan for Brushy Creek. Lift Station Includes wet well, valve vault, all size items, generator, electrical, SCADA, etc.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Rochell Rd and Discovery Blvd. Install 16" WL along SH 276.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochell Rd. and SH 276.
- No trees within 10' of non-steel encased public utilities.

### **Drainage/Floodplain/Lakes:**

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.



Does not meet Fire Department 2 pts of Access ... May be required to sprinkler homes.



Does not meet Fire Department 2 pts of Access ... May be required to sprikler homes.

Remove and make standard four way stop intersection

Must meet all fire department standards as well as allow parking on all roadways

Does not meet Fire Department 2 pts of Access ... May be required to sprikler homes.

COMPLIANCE WITH PD ORDINANCE 20-27

	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% TYPE C: 218/428 = 51%
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

Across the entire property to the eastern property line of phase 1 (which would be the eastern side of the creek)

- NOTES:
- DRAINAGE FACILITIES: STORM SEWER SYSTEM WILL BE INSTALLED FOR EACH PHASE. DETENTION WILL BE PROVIDED FOR ENTIRE PROPERTY.
  - SANITARY SEWER FACILITIES: TEMPORARY ON-SITE SANITARY SEWER MAIN LINES AND SERVICES TO EACH LOT WILL BE INSTALLED WITH EACH PHASE OF DEVELOPMENT AND WILL BE CONNECTED IN THE FUTURE TO THE PROPOSED BRUSHY CREEK LIFT STATION. SANITARY SEWER LINE THROUGH THE PROPERTY WILL BE A MINIMUM PIPE SIZE OF 8", 18" AND 10" GRAVITY TRUNK SANITARY SEWER LINES WILL BE INSTALLED ON THE PROPERTY PER THE CITY'S WASTEWATER MASTER PLAN.
  - WATER FACILITIES: THERE ARE NO EXISTING WATER LINES IMMEDIATELY ADJACENT TO THE PROPERTY. A 16" WATER LINE WILL BE INSTALLED ALONG STATE HIGHWAY NO. 276 IN PHASE 1 TO PROVIDE WATER FOR THE PROPERTY. PHASE 1 WILL INCLUDE AN 8" LOOPED WATER LINE ON SITE. PHASES 3-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG ROCHELLE ROAD PER THE CITY'S WATER MASTER PLAN. PHASES 4-8 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG DISCOVERY BOULEVARD PER THE CITY'S WATER MASTER PLAN.
  - ROADWAY FACILITIES: THE SOUTH SIDE OF THE PROPERTY IS BOUNDED BY STATE HIGHWAY NO. 276 AND THE WEST SIDE IS BOUNDED BY SPRINGER LANE AND ROCHELLE ROAD.
  - BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PROVIDED AS NEEDED TO SATISFY FIRE PROTECTION REQUIREMENTS.
  - ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 48397C0045L DATED SEPTEMBER 2015 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THIS PROPERTY IS IN FLOOD ZONE X.
  - PROPERTY IS ZONED AS PLANNED DEVELOPMENT DISTRICT 78 (PD-78) ORDINANCE NUMBER 20-27.

Brushy Creek

Eastern side of the creek

PROPOSED PHASING TABLE

PHASE #	AREA (AC.)	PROPOSED LOT TYPES			COMMUNITY CENTER	TOTAL UNITS	YEAR
		TYPE A	TYPE B	TYPE C			
1	36.42	31				31	2021
2	22.14	14				14	2022
3	71.42		27	11		38	2022
4	21.31		29	51		80	2023
5	1.56		35			35	2024
6	11.12		4	67	1	71	2024
7	13.85		30	13		43	2025
8	33.35		40			40	2026
9	81.5		76			76	2027
TOTAL	307.18	45	165	218		428	

CAPITAL IMPROVEMENTS TABLE

PHASE #	AREA (AC.)	CAPITAL IMPROVEMENTS TYPE		STREETS	YEAR
		WATER	SEWER		
1	36.42	16" FROM ROCHELLE RD. TO PROPERTY			2021
2	22.14	16" FROM SPRINGER LANE TO EAST PROPERTY LIMITS	18" SS TRUNK LINE TO SH 276		2022
3	71.42	12" ALONG ROCHELLE RD. FROM SH 276 TO PROPOSED LIFT STATION	10" AND 18" SS LINE TO PROPOSED LIFT STATION PER MASTER PLAN	ROCHELLE RD. WIDENING ALONG PH. 3 FRONTAGE	2022
4	21.31	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 4 & 12" ALONG DISCOVERY BLVD		WIDEN ROCHELLE RD. ALONG PH. 4 FRONTAGE DISCOVERY BLVD. CONSTRUCTION	2023
5	1.56		10" SS TRUNK LINE		2024
6	11.12	12" ALONG DISCOVERY BLVD		DISCOVERY BLVD. CONSTRUCTION ALONG PH. 6 FRONTAGE	2024
7	13.85	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 7		ROCHELLE RD. WIDENING ALONG PH. 7 FRONTAGE	2025
8	33.35	12" ALONG DISCOVERY BLVD	10" SS TRUNK LINE	DISCOVERY BLVD. CONSTRUCTION ALONG PH. 8 FRONTAGE	2026
9	81.5	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 9	10" SS TRUNK LINE	ROCHELLE RD. WIDENING ALONG PH. 9 FRONTAGE	2027

LEGEND

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL

MASTER PLAT  
Residential Lots  
Discovery Lakes  
Land situated in the M.E. Hawkins  
and the Robert K. Briscoe Survey,  
of Rockwall, Rockwall County Texas

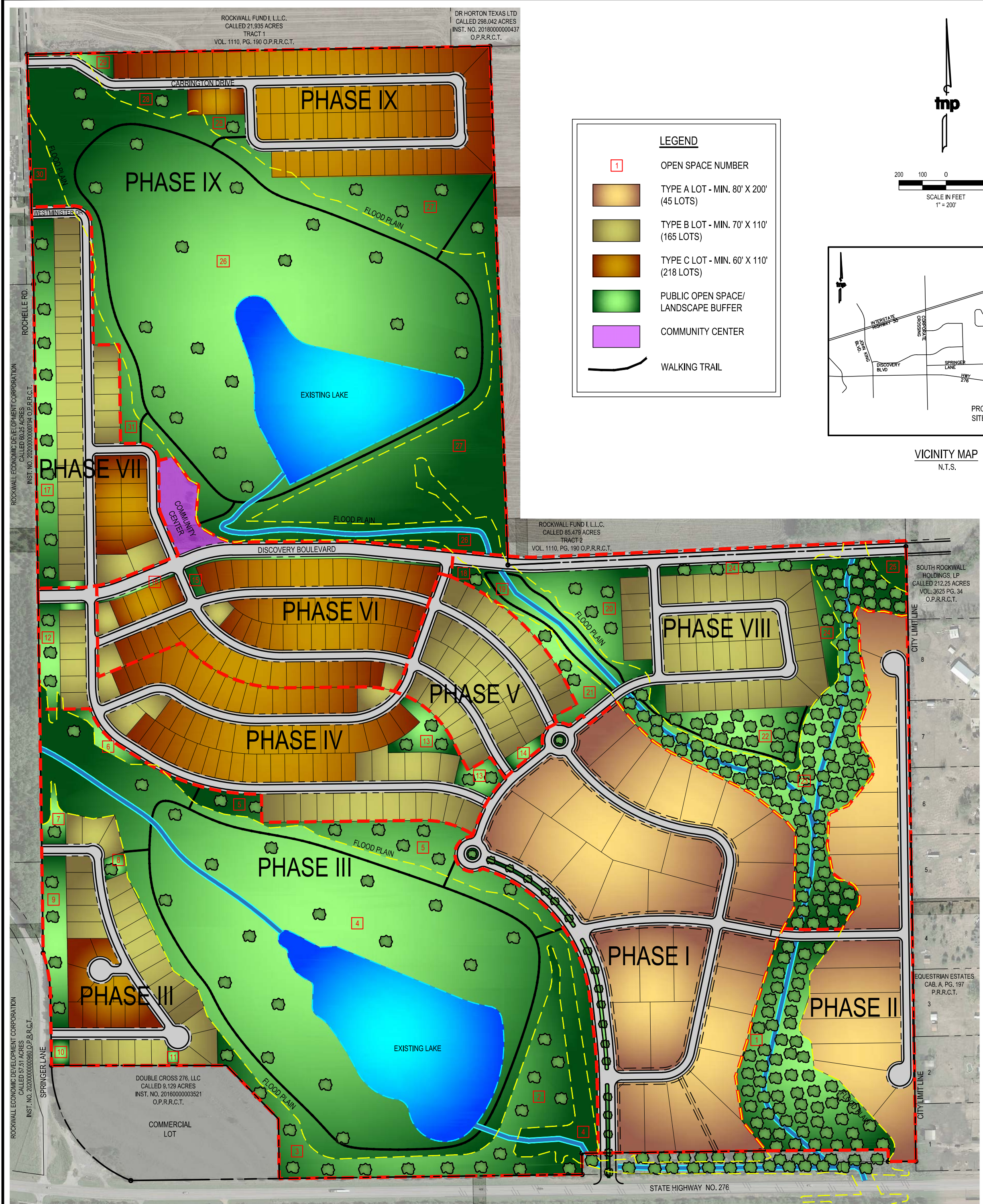
OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

**tnp**

**teague nall & perkins**  
825 Waters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpsc.com

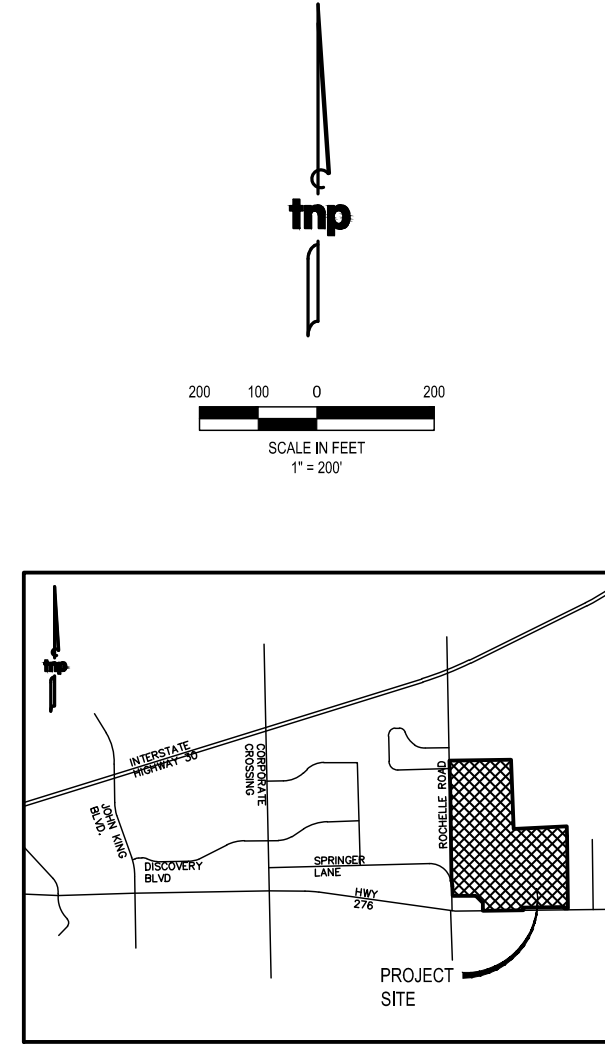
M-If this chart is going to stay on the plan then add a note that these time frames of the water/sewer construction are not approved with Master Plat or Open Space Plan... These will be approved during the engineering phase of the project

Drawing: P:\PROJECTS\2020\20200707\CAD\PRELIMINARY DESIGN\MASTER PLANS\DISCOVERY LAKES MASTER PLAT.dwg at Sep 18, 2024 11:25am by tnp



**LEGEND**

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL



OPEN SPACE TABLE			
AREA #	AREA (AC)	OPEN SPACE CREDIT (AC)	COMMENTS
1	6.96	3.48	FLOOD PLAIN, PH. 2
2	2.62	2.62	OPEN SPACE, PH. 3
3	3.79	3.79	OPEN SPACE, PH. 3
4	50.81	25.41	FLOOD PLAIN, PH. 3
5	4.52	4.52	OPEN SPACE, PH. 3
6	0.37	0.37	OPEN SPACE, PH. 3
7	0.36	0.36	OPEN SPACE, PH. 3
8	0.19	0.19	OPEN SPACE, PH. 3
9	1.56	1.56	OPEN SPACE, PH. 3
10	0.19	0.19	OPEN SPACE, PH. 3
11	0.07	0.07	OPEN SPACE, PH. 3
12	0.95	0.95	OPEN SPACE, PH. 4
13	1.31	1.31	OPEN SPACE, PH. 4
14	0.22	0.22	OPEN SPACE, PH. 5
15	0.38	0.38	OPEN SPACE, PH. 6
16	0.08	0.08	OPEN SPACE, PH. 6
17	3.32	3.32	OPEN SPACE, PH. 7
18	0.25	0.25	OPEN SPACE, PH. 8
19	2.23	1.11	FLOOD PLAIN, PH. 8
20	2.17	2.17	OPEN SPACE, PH. 8
21	1.02	1.02	OPEN SPACE, PH. 8
22	2.43	2.43	OPEN SPACE, PH. 8
23	10.28	5.14	FLOOD PLAIN, PH. 8
24	1.18	1.18	OPEN SPACE, PH. 8
25	0.35	0.35	OPEN SPACE, PH. 8
26	51.69	25.84	FLOOD PLAIN, PH. 9
27	11.42	11.42	OPEN SPACE, PH. 9
28	1.16	1.16	OPEN SPACE, PH. 9
29	0.23	0.23	OPEN SPACE, PH. 9
30	0.80	0.80	OPEN SPACE, PH. 9
31	0.95	0.95	OPEN SPACE, PH. 9
TOTAL	163.86	102.90	

See markups on Master Plat

Open Space Master Plan  
428 Residential Lots  
*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

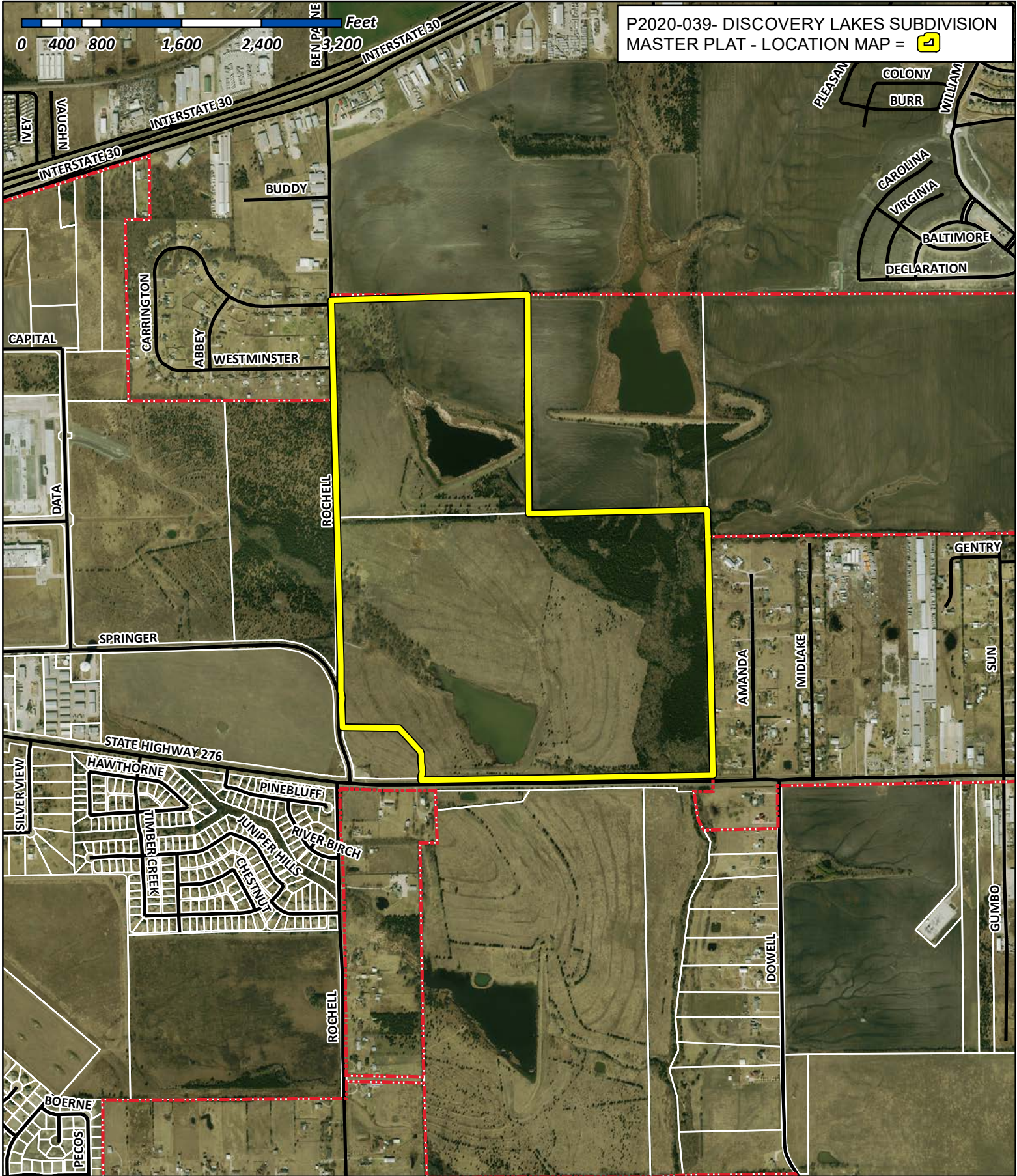
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpin.com

**PROJECT INFORMATION**  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: TS  
Scale: 1"=200'  
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\DWG\MASTER PLANS\SBD20370-OPEN SPACE PLAN.dwg at Sep 18, 2020 - 12:05pm by tudson

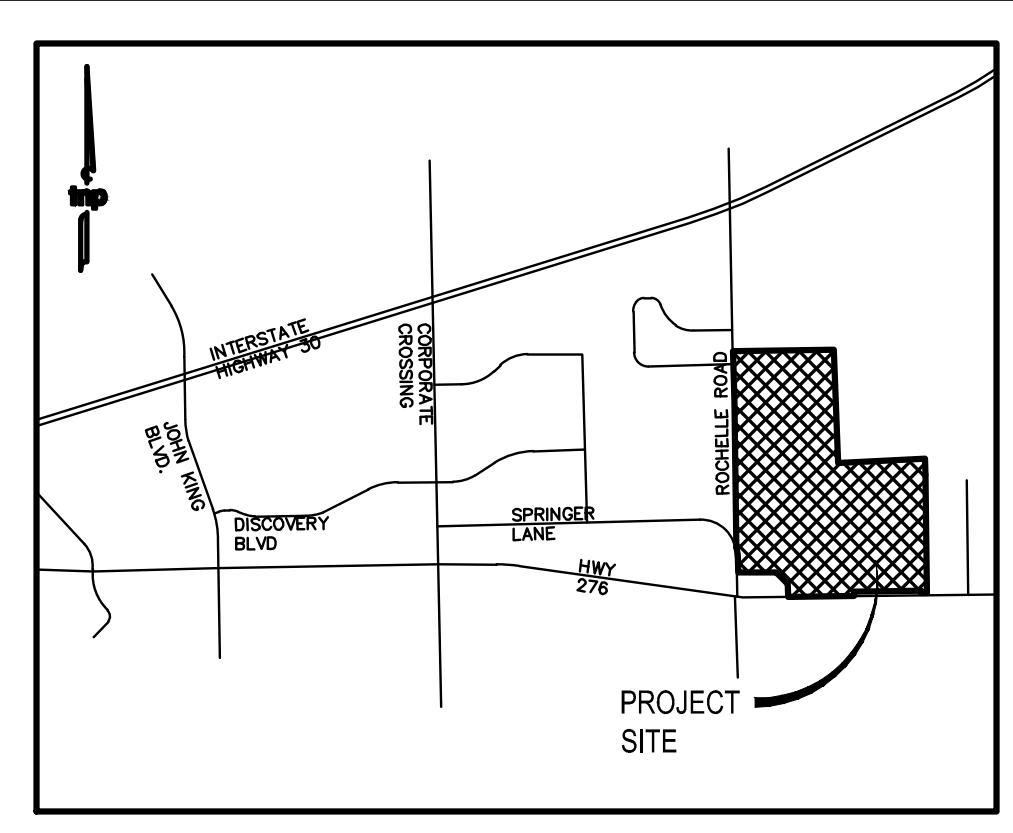
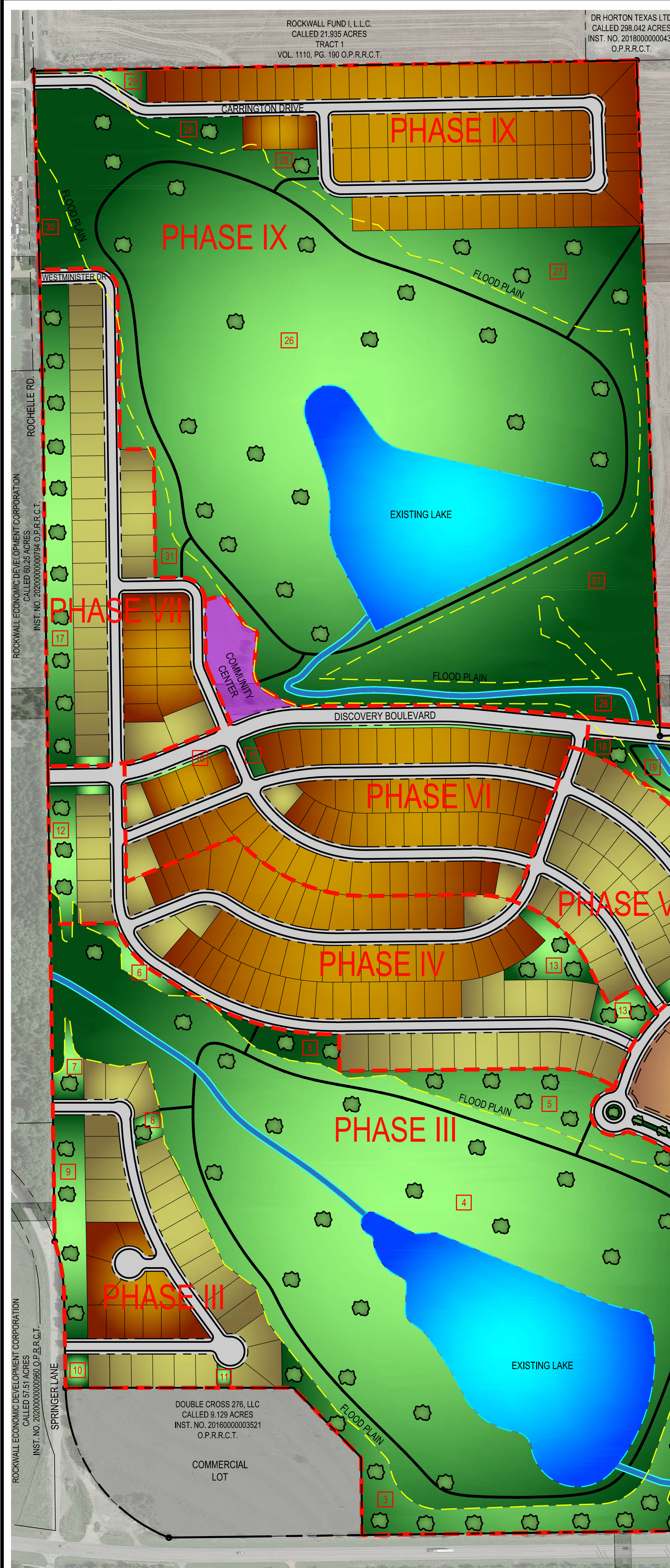


# City of Rockwall

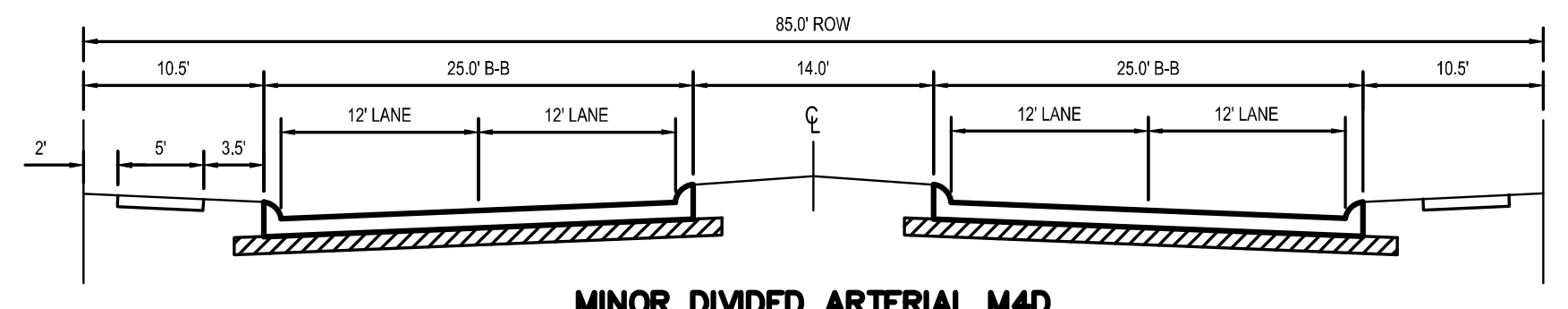
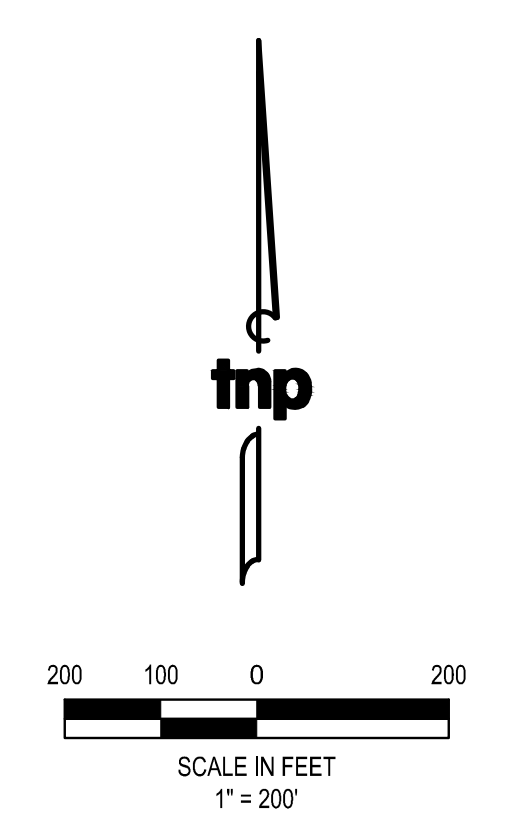
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

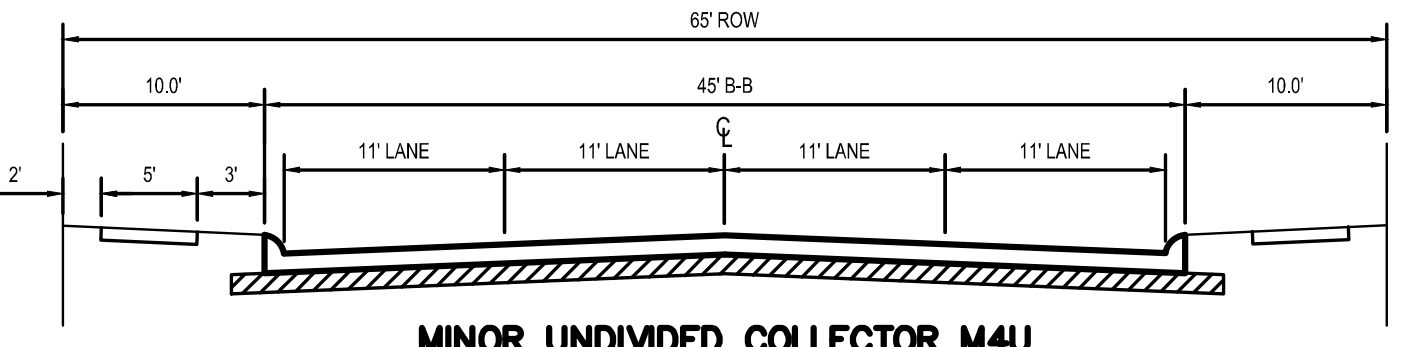




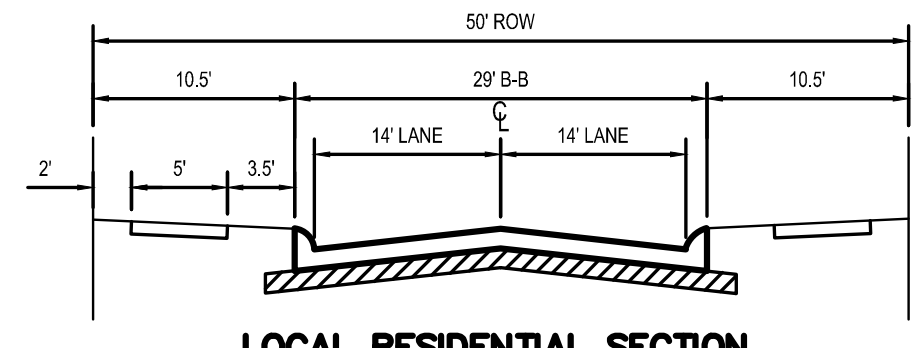
VICINITY MAP  
N.T.S.



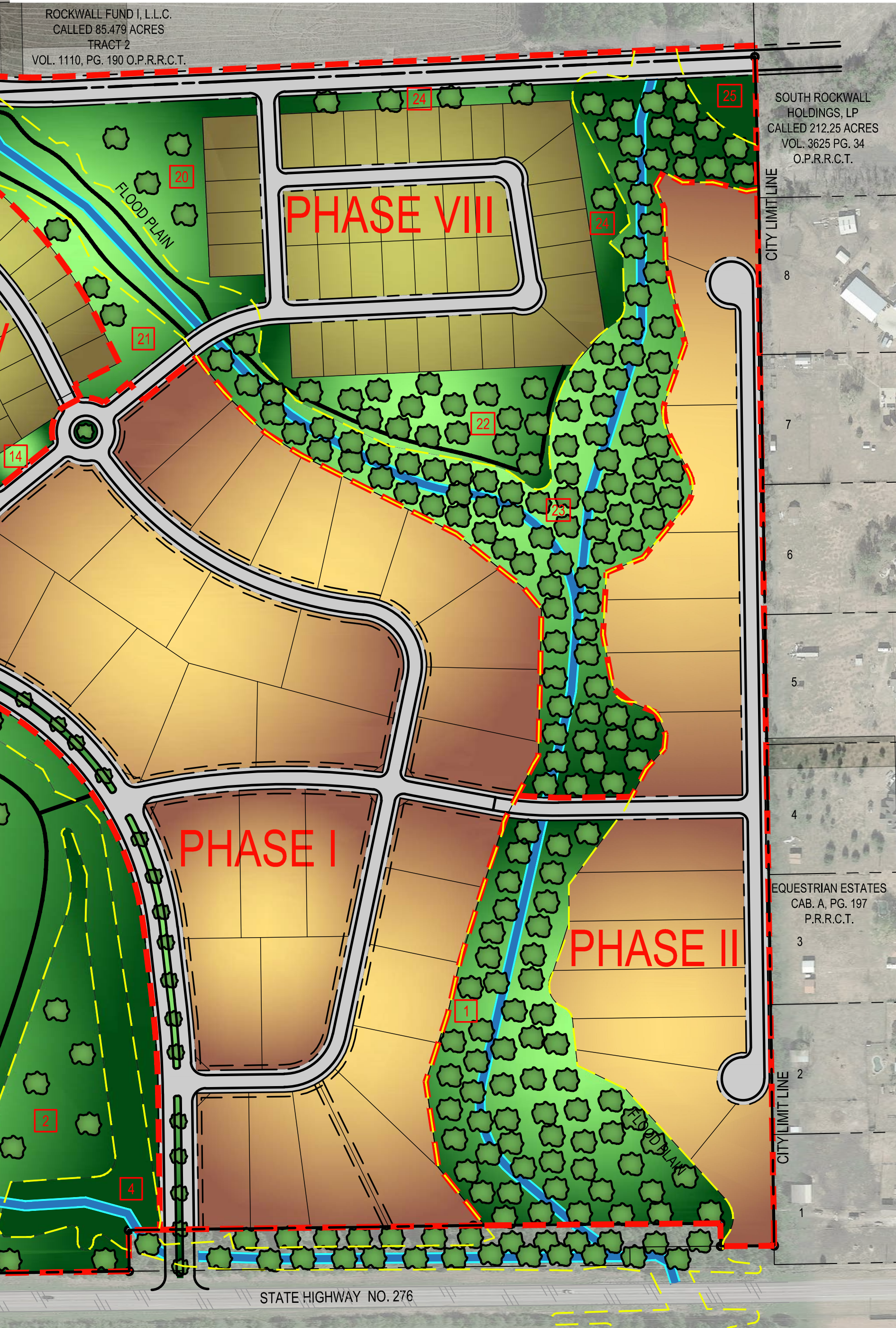
MINOR DIVIDED ARTERIAL M4D



MINOR UNDIVIDED COLLECTOR M4U



LOCAL RESIDENTIAL SECTION



COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

- NOTES:
1. DRAINAGE FACILITIES: STORM SEWER SYSTEM WILL BE INSTALLED UNDERNEATH THE ROADWAYS ON THE PROPERTY FOR EACH PHASE. DETENTION WILL BE PROVIDED FOR ENTIRE SITE, IF NEEDED.
  1. SANITARY SEWER FACILITIES: TEMPORARY ON-SITE SANITARY SEWER SYSTEMS WILL BE INSTALLED FOR TYPE A LOTS CONTAINING A MINIMUM OF 32,670 SQUARE FEET PER PD ORDINANCE 20-27. SANITARY SEWER MAIN LINES AND SERVICES TO EACH LOT WILL BE INSTALLED WITH EACH PHASE OF DEVELOPMENT AND WILL BE CONNECTED IN THE FUTURE TO THE PROPOSED BUFFALO CREEK LIFT STATION. SANITARY SEWER LINE THROUGH THE PROPERTY WILL BE A MINIMUM PIPE SIZE OF 8", 18" AND 10" GRAVITY TRUNK SANITARY SEWER LINES WILL BE INSTALLED ON THE PROPERTY PER THE CITY'S WASTEWATER MASTER PLAN.
  2. WATER FACILITIES: THERE ARE NO EXISTING WATER LINES IMMEDIATELY ADJACENT TO THE PROPERTY. A 16" WATER LINE WILL BE INSTALLED ALONG STATE HIGHWAY NO. 276 IN PHASE 1 TO PROVIDE WATER FOR THE PROPERTY. PHASE 1 WILL INCLUDE AN 8" LOOPED WATER LINE ON SITE. PHASES 3-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG ROCHELLE ROAD PER THE CITY'S WATER MASTER PLAN. PHASES 4-8 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG DISCOVERY BOULEVARD PER THE CITY'S WATER MASTER PLAN.
  3. ROADWAY FACILITIES: THE SOUTH SIDE OF THE PROPERTY IS BOUNDED BY STATE HIGHWAY NO. 276 AND THE WEST SIDE IS BOUNDED BY SPRINGER LANE AND ROCHELLE ROAD.
  4. BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PROVIDED AS NEEDED TO SATISFY FIRE PROTECTION REQUIREMENTS.
  5. ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 48397C0045L DATED SEPTEMBER 26, 2008 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THIS PROPERTY INCLUDES ZONES A, AE, AND X.
  6. PROPERTY IS ZONED AS PLANNED DEVELOPMENT DISTRICT 78 (PD-78) ORDINANCE NUMBER 20-27.

PROPOSED PHASING TABLE							
PHASE #	AREA (AC.)	PROPOSED LOT TYPES			COMMUNITY CENTER	TOTAL UNITS	YEAR
		TYPE A MIN. 0.75 AC.	TYPE B MIN. 7,700 S.F.	TYPE C MIN. 6,600 S.F.			
1	36.42	31				31	2021
2	22.14	14				14	2022
3	71.42		27	11		38	2022
4	21.31		29	51		80	2023
5	8.56		35			35	2024
6	18.12		4	67	1	71	2024
7	13.85		30	13		43	2025
8	33.46		40			40	2026
9	81.9			76		76	2027
TOTAL	307.18	45	165	218		428	

CAPITAL IMPROVEMENTS TABLE					
PHASE #	AREA (AC.)	CAPITAL IMPROVEMENTS TYPE		STREETS	YEAR
		WATER	SEWER		
1	36.42	16" FROM ROCHELLE RD. TO PH. 1 ENTRY			2021
2	22.14	16" FROM PH. 1 ENTRY TO EAST PROP. LIMITS	18" SS TRUNK LINE TO SH 276		2022
3	71.42	12" ALONG ROCHELLE RD. FROM SH 276 ALONG FRONTAGE OF PH. 3	10" AND 18" SS LINE TO PROPOSED LIFT STATION PER MASTER PLAN	ROCHELLE RD. WIDENING ALONG PH. 3 FRONTAGE	2022
4	21.31	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 4 & 12" ALONG DISCOVERY BLVD		WIDEN ROCHELLE RD. ALONG PH. 4 FRONTAGE	2023
5	8.56		10" SS TRUNK LINE	DISCOVERY BLVD. CONSTRUCTION ALONG PH. 6 FRONTAGE	2024
6	18.12	12" ALONG DISCOVERY BLVD		DISCOVERY BLVD. CONSTRUCTION ALONG PH. 6 FRONTAGE	2024
7	13.85	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 7		ROCHELLE RD. WIDENING ALONG PH. 7 FRONTAGE	2025
8	33.46	12" ALONG DISCOVERY BLVD	10" SS TRUNK LINE	DISCOVERY BLVD. CONSTRUCTION ALONG PH. 8 FRONTAGE	2026
9	81.9	12" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 9	10" SS TRUNK LINE	ROCHELLE RD. WIDENING ALONG PH. 9 FRONTAGE	2027

**LEGEND**

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL

MASTER PLAT  
428 Residential Lots

Discovery Lakes

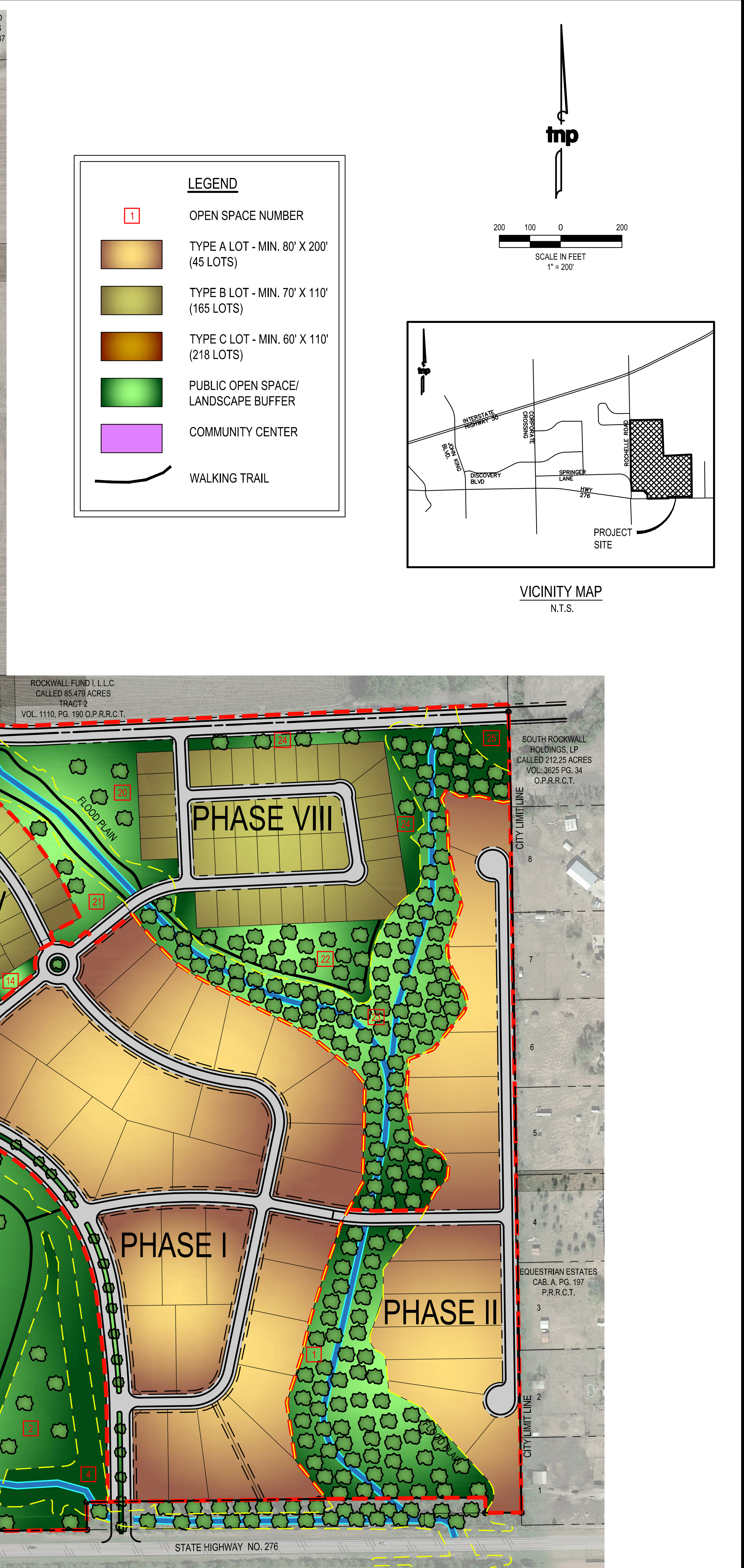
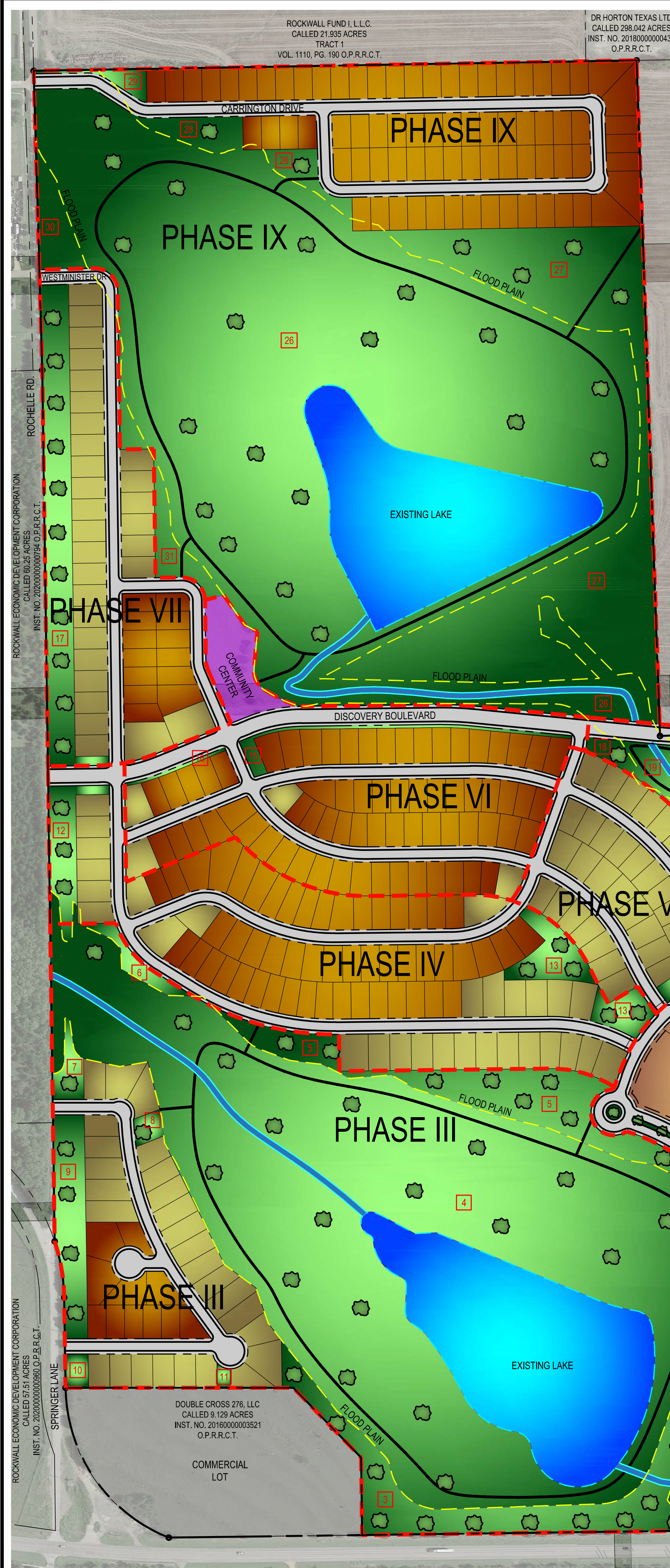
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

**OWNER:**  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

**teague nall & perkins**  
825 Waters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnppinc.com

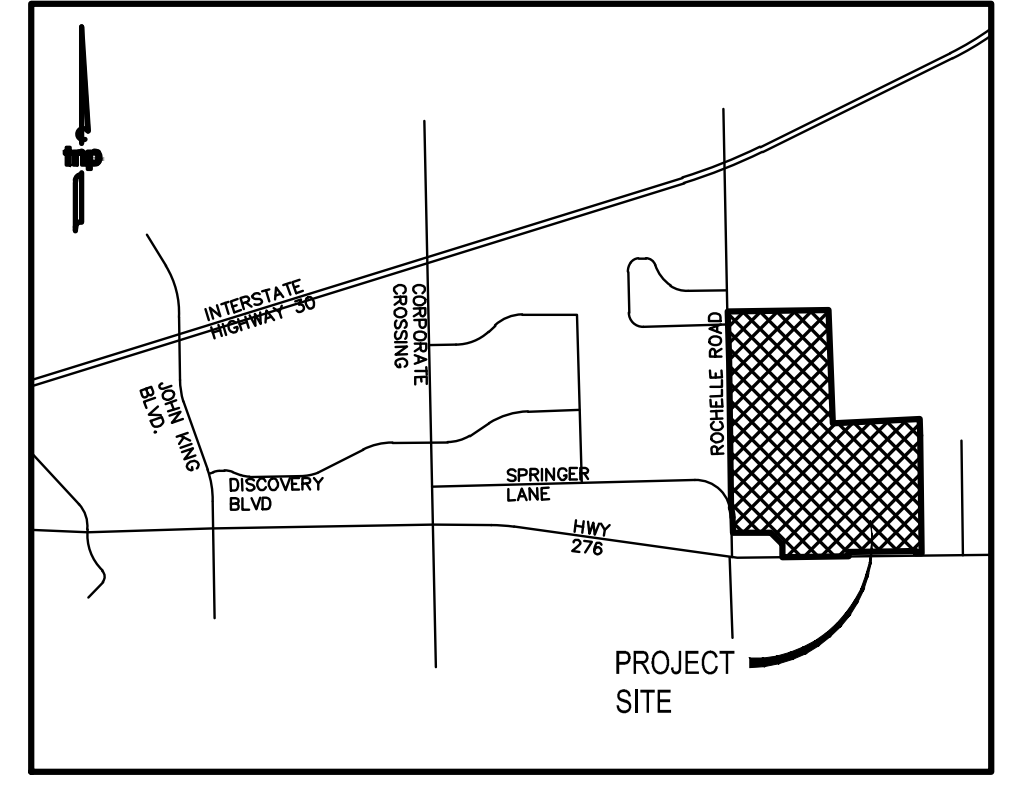
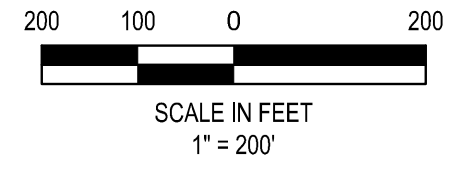
**tnp**

**PROJECT INFORMATION**  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: TS  
Scale: 1"=200'



**LEGEND**

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL



VICINITY MAP  
N.T.S.

**OPEN SPACE TABLE**

AREA #	AREA (AC)	OPEN SPACE CREDIT (AC)	COMMENTS
1	6.96	3.48	FLOOD PLAIN, PH. 2
2	2.62	2.62	OPEN SPACE, PH. 3
3	3.79	3.79	OPEN SPACE, PH. 3
4	50.81	25.41	FLOOD PLAIN, PH. 3
5	4.52	4.52	OPEN SPACE, PH. 3
6	0.37	0.37	OPEN SPACE, PH. 3
7	0.36	0.36	OPEN SPACE, PH. 3
8	0.19	0.19	OPEN SPACE, PH. 3
9	1.56	1.56	OPEN SPACE, PH. 3
10	0.19	0.19	OPEN SPACE, PH. 3
11	0.07	0.07	OPEN SPACE, PH. 3
12	0.95	0.95	OPEN SPACE, PH. 4
13	1.31	1.31	OPEN SPACE, PH. 4
14	0.22	0.22	OPEN SPACE, PH. 5
15	0.38	0.38	OPEN SPACE, PH. 6
16	0.08	0.08	OPEN SPACE, PH. 6
17	3.32	3.32	OPEN SPACE, PH. 7
18	0.25	0.25	OPEN SPACE, PH. 8
19	2.23	1.11	FLOOD PLAIN, PH. 8
20	2.17	2.17	OPEN SPACE, PH. 8
21	1.02	1.02	OPEN SPACE, PH. 8
22	2.43	2.43	OPEN SPACE, PH. 8
23	10.28	5.14	FLOOD PLAIN, PH. 8
24	1.18	1.18	OPEN SPACE, PH. 8
25	0.35	0.35	OPEN SPACE, PH. 8
26	51.69	25.84	FLOOD PLAIN, PH. 9
27	11.42	11.42	OPEN SPACE, PH. 9
28	1.16	1.16	OPEN SPACE, PH. 9
29	0.23	0.23	OPEN SPACE, PH. 9
30	0.80	0.80	OPEN SPACE, PH. 9
31	0.95	0.95	OPEN SPACE, PH. 9
TOTAL	163.86	102.90	

Open Space Master Plan  
428 Residential Lots

*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nail & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpsc.com

**PROJECT INFORMATION**  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: TS  
Scale: 1"=200'  
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheet\Master Plans\SBD20370-OPEN SPACE PLAN.dwg at Sep. 18, 2020 - 12:05pm by taylor

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-040  
PROJECT NAME: Discovery Lakes, Phase I  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the northside of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/25/2020	Needs Review

09/25/2020: P2020-040; Preliminary Plat for the Phase 1 of the Discovery Lakes Subdivision  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (P2020-040) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.6 Correct title block by removing "Lot 1, Block A". [§01.02, Art. 11, UDC]

M.7 Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Provide a table with indicating total SF for each lot. [§01.02, Art. 11, UDC]

M.8 Label the building lines where adjacent to a street. Provide a label for the 25-ft setback along street 'B' and along street 'A' where fronting onto a street. [§01.02, Art. 11, UDC]

I.9 Provide a label in the flood plain indicating "To Be Maintained by the HOA".



I.10 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

M.11 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.12 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020
- 2) Parks and Recreations Board meeting will be held on October 6, 2020
- 3) Planning & Zoning Regular meeting will be held on October 13, 2020
- 4) City Council meeting will be held on October 19, 2020

I.13 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission of Council may have regarding your request. All meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Remove roundabout from plan. Should be standard four-way intersection with stop conditions.

M - Where is the erosion hazard set back along the flood plain?

M - What are these Circles? Separate lots. See markup.

M - Sidewalk and Visibility Easement Clip all corners.

M - 30' x 30' ROW Clip.

M - Water line not to go under traffic circle...must be traffic lane or parkway...not under landscape median.

I - Need to discuss the water line between lots 3 and 4 on Street B during engineering phase.

The following are general notes for the engineering process moving forward.

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochelle Rd. You must dedicate 42.5' from the CL.
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan.
- Must install Build Out size Lift Station and Force Main per WW Master Plan for Brushy Creek. Lift Station Includes wet well, valve vault, all size items, generator, electrical, SCADA, etc.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Rochelle Rd and Discovery Blvd. Install 16" WL along SH 276.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochelle Rd. and SH 276.
- No trees within 10' of non-steel encased public utilities.

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Master plan flood and detention study is required to delineate the floodplain 100-yr fully-developed boundary, erosion hazard setback and drainage easements. The master study shall show timing for each phase and when detention shall be provided for each phase. If not touching the flood plain, the City will hold the fully developed flood plain elevations. The floodplain boundary shall be delineated per the current on ground topographic survey. The property boundaries against the flood plain are subject to change based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments

09/21/2020: All fire code requirements shall be verified during the site civil plan process.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/25/2020	N/A

No Comments

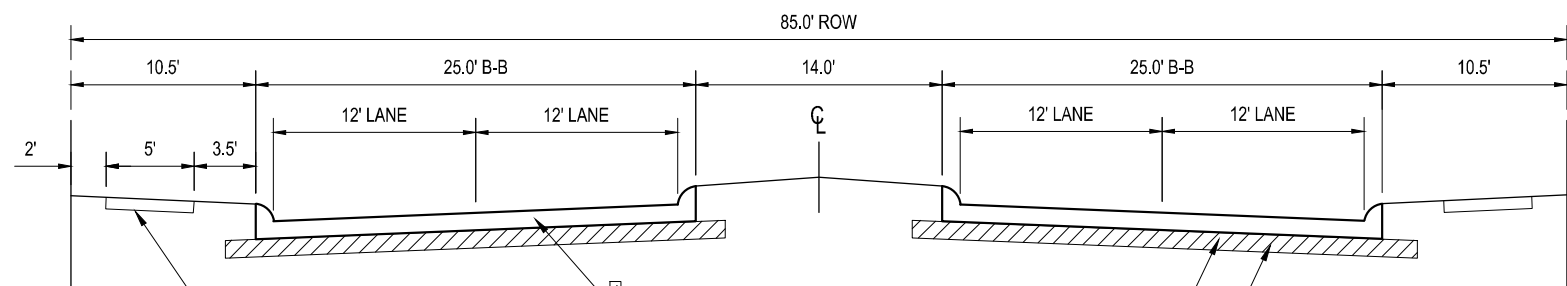
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved w/ Comments

09/21/2020: 2020 Park Land Dedication Fee (Phase I) (P2020-040)

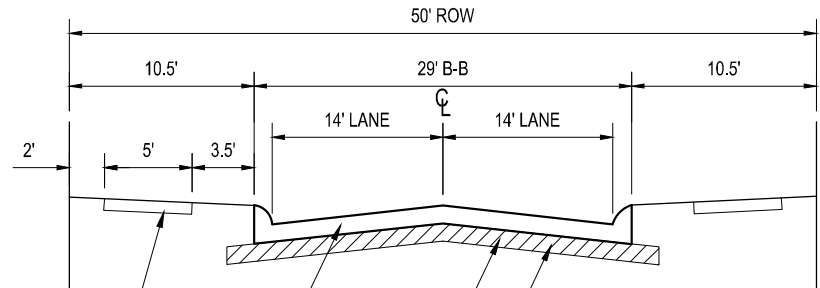
Park District 30

Cash In Lieu Of Land: \$383.00 x 31 lots = \$11,873.00

Pro Rata Equipment Fees: \$363.00 x 31 lots = \$11,253.00



LOCAL RESIDENTIAL PAVING SECTION



LOCAL RESIDENTIAL SECTION

NOTES:  
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- 6"-3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

LINE #	BEARING	LENGTH
L1	N00°49'55"W	298.42
L2	N66°34'23"W	159.71
L3	N69°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'37"E	50.00
L6	N52°57'41"E	50.00
L7	N51°02'57"E	161.37
L8	N28°30'25"W	20.00
L9	N61°45'29"E	50.02
L10	S26°30'22"E	20.00
L11	N51°02'57"E	221.27
L12	S38°57'03"E	50.00
L13	S39°13'40"E	124.31
L14	S46°12'41"E	100.41
L15	S57°49'57"E	95.11
L16	S63°08'31"E	98.95
L17	S63°08'31"E	163.35

BO	LINE #
	L18
	L19
	L20
	L21
	L22
	L23
	L24
	L25
	L26
	L27
	L28
	L29
	L30
	L31
	L32
	L33

**General Items:**

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

**Streets/Paving:**

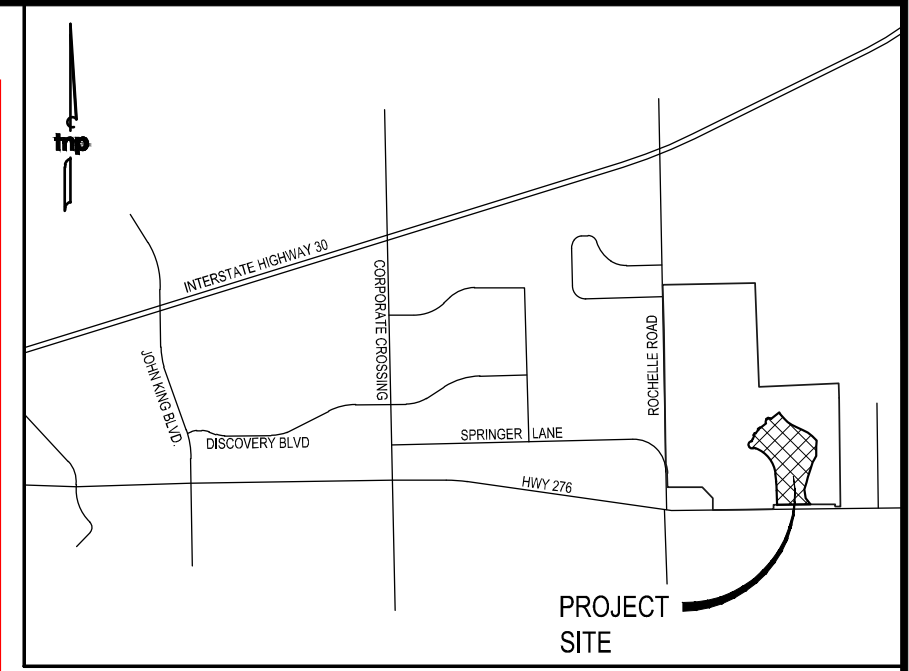
- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochell Rd. You must dedicate 42.5' from the CL.
- Discovery Blvd to be 65' ROW - 45' back-to-back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

**Water/Wastewater:**

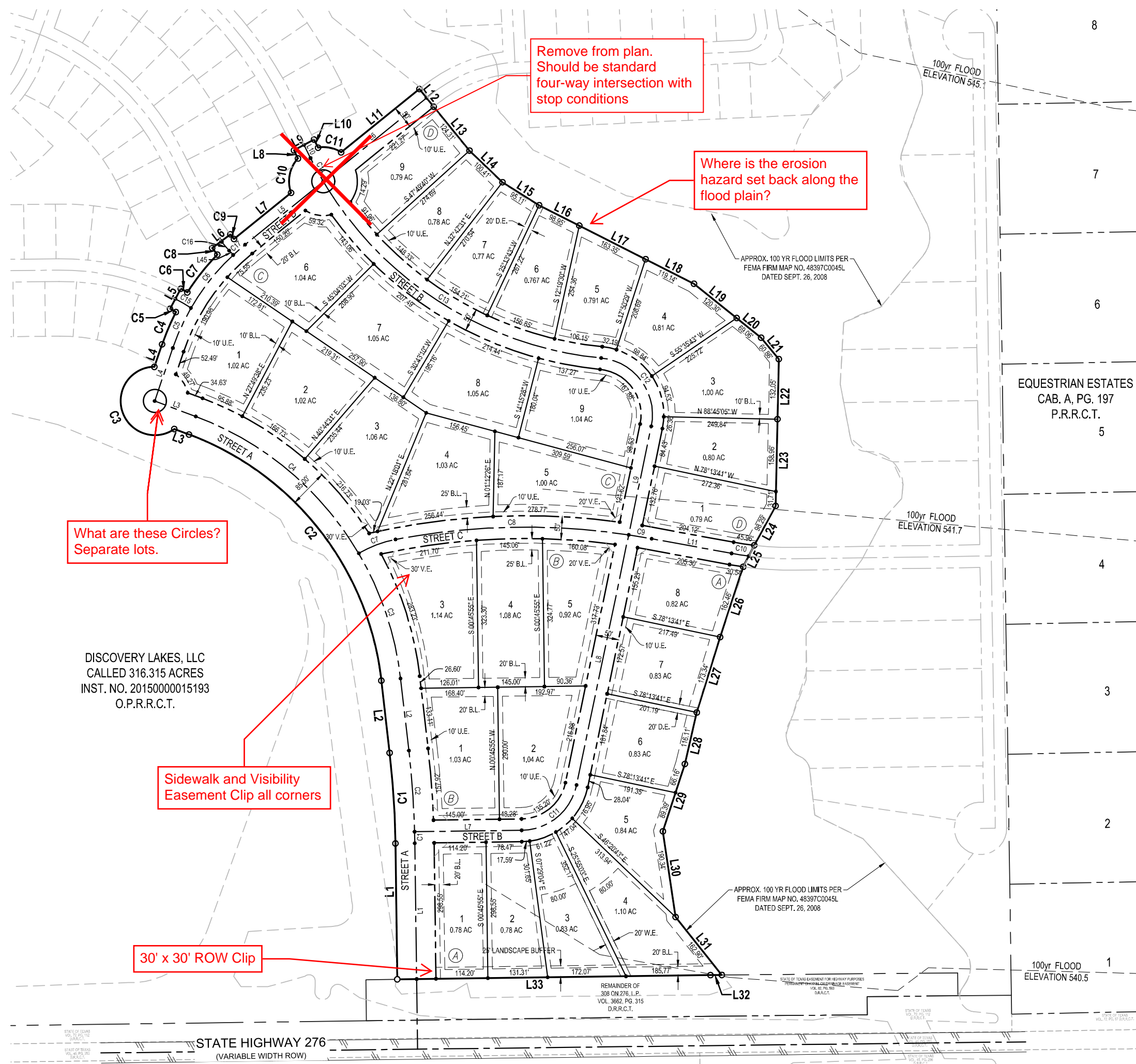
- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan.
- Must install Build Out size Lift Station and Force Main per WW Master Plan for Brushy Creek. Lift Station includes wet well, valve vault, all size items, generator, electrical, SCADA, etc.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Rochell Rd and Discovery Blvd. Install 16" WL along SH 276.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochell Rd. and SH 276.
- No trees within 10' of non-steel encased public utilities.

**Drainage/Floodplain/Lakes:**

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Master plan flood and detention study is required to delineate the floodplain 100-yr fully-developed boundary, erosion hazard setback and drainage easements. The master study shall show timing for each phase and when detention shall be provided for each phase. If not touching the flood plain, the City will hold the fully developed flood plain elevations. The floodplain boundary shall be delineated per the current on ground topographic survey. The property boundaries against the flood plain are subject to change based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.



VICINITY MAP  
N.T.S.

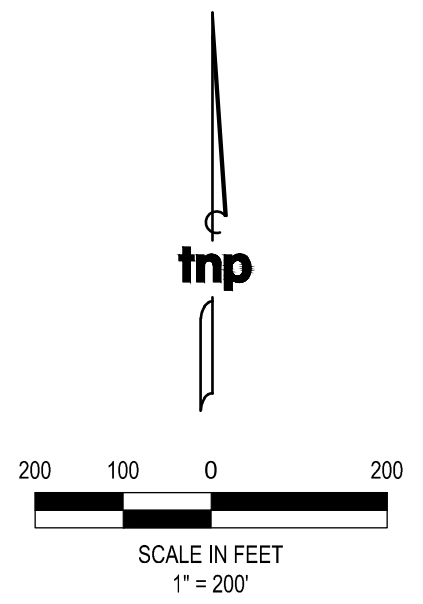


What are these Circles? Separate lots.

Sidewalk and Visibility Easement Clip all corners

30' x 30' ROW Clip

HORD LENGTH
25.13'
178.56'
289.59'
467.62'
96.42'
148.90'
96.43'
512.56'
51.22'
38.25'
156.42'
186.12'
723.34'
58.52'
39.94'
25.00'
34.53'



MASTER PLAN
LOT
TOTAL LOTS
LOT LOTS

**LEGEND**  
 NTS - NOT TO SCALE  
 R.O.W. - RIGHT OF WAY  
 INST. - INSTRUMENT  
 CAB. - CABINET  
 VOL. - VOLUME  
 NO. - NUMBER  
 PG. - PAGE  
 SF - SQUARE FEET  
 AC - ACRES  
 B.L. - BUILDING LINE  
 D.E. - DRAINAGE EASEMENT  
 W.E. - WATER EASEMENT  
 U.E. - UTILITY EASEMENT  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS  
 P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS

**PRELIMINARY PLAT**  
*Discovery Lakes Phase 1*  
**LOT 1, BLOCK A**  
 31 RESIDENTIAL LOTS  
 1,586,455.20 SQUARE FEET  
 36.42 ACRES GROSS

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

**SURVEYOR**  
 TEAGUE NALL AND PERKINS, INC.  
 825 Watters Creek Boulevard, Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 www.tnpsc.com  
 TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381  
 GBPE: PEF007431; TBAE: BR 2673

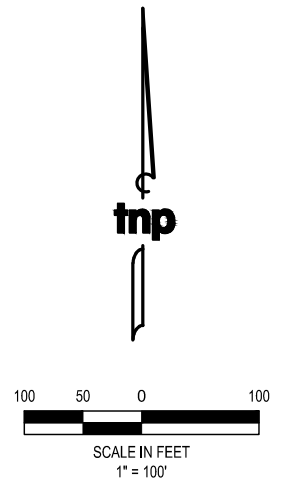
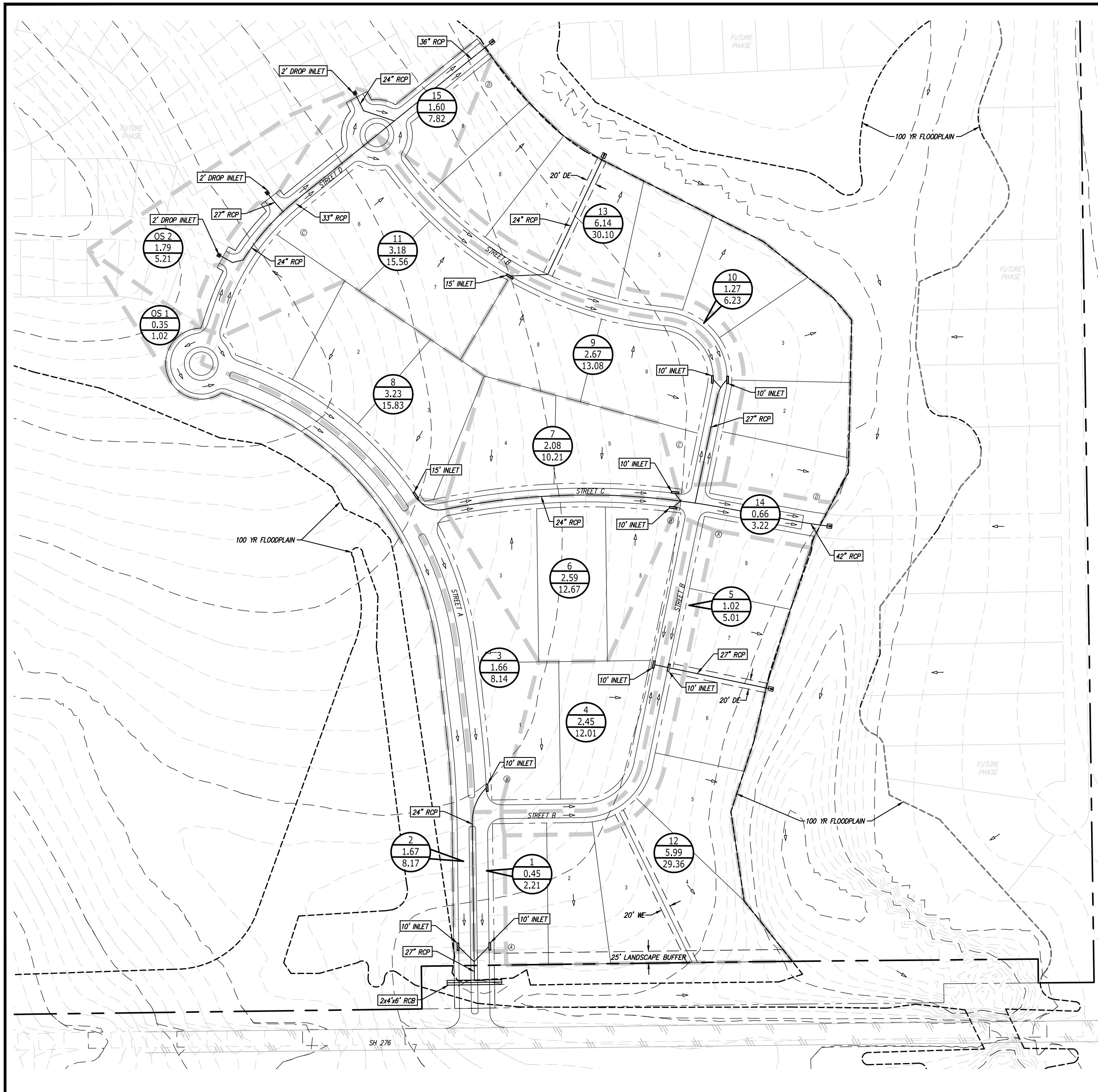
DISCOVERY LAKES, LLC.  
 15400 Knoll Trail Drive, Suite 230  
 Dallas, Texas 75248

Project No.: SBD20370  
 Date: Sept. 18, 2020  
 Drawn By: GSS  
 Scale: 1"=100'

CASE NO. P \_\_\_\_\_

SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\CAO\PRELIMINARY DESIGN\SBD20370-PRE-PLAT.dwg at Sep 18, 2020-1:26pm by gshoner



**Not Reviewed**  
**To be reviewed at the**  
**time of Engineering**  
**Submittal**

**LEGEND**

- DRAINAGE DIVIDE
- - - 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- - - EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I <sub>100</sub> (in/hr)	Runoff Coefficient C	Area (ac)	Q <sub>100</sub> (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
<b>TOTAL</b>				<b>39.72</b>	<b>190.34</b>	

Preliminary Drainage Area Map  
 31 Residential Lots

*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
 15400 Knoll Trail Drive, Suite 230  
 Dallas, Texas 75248

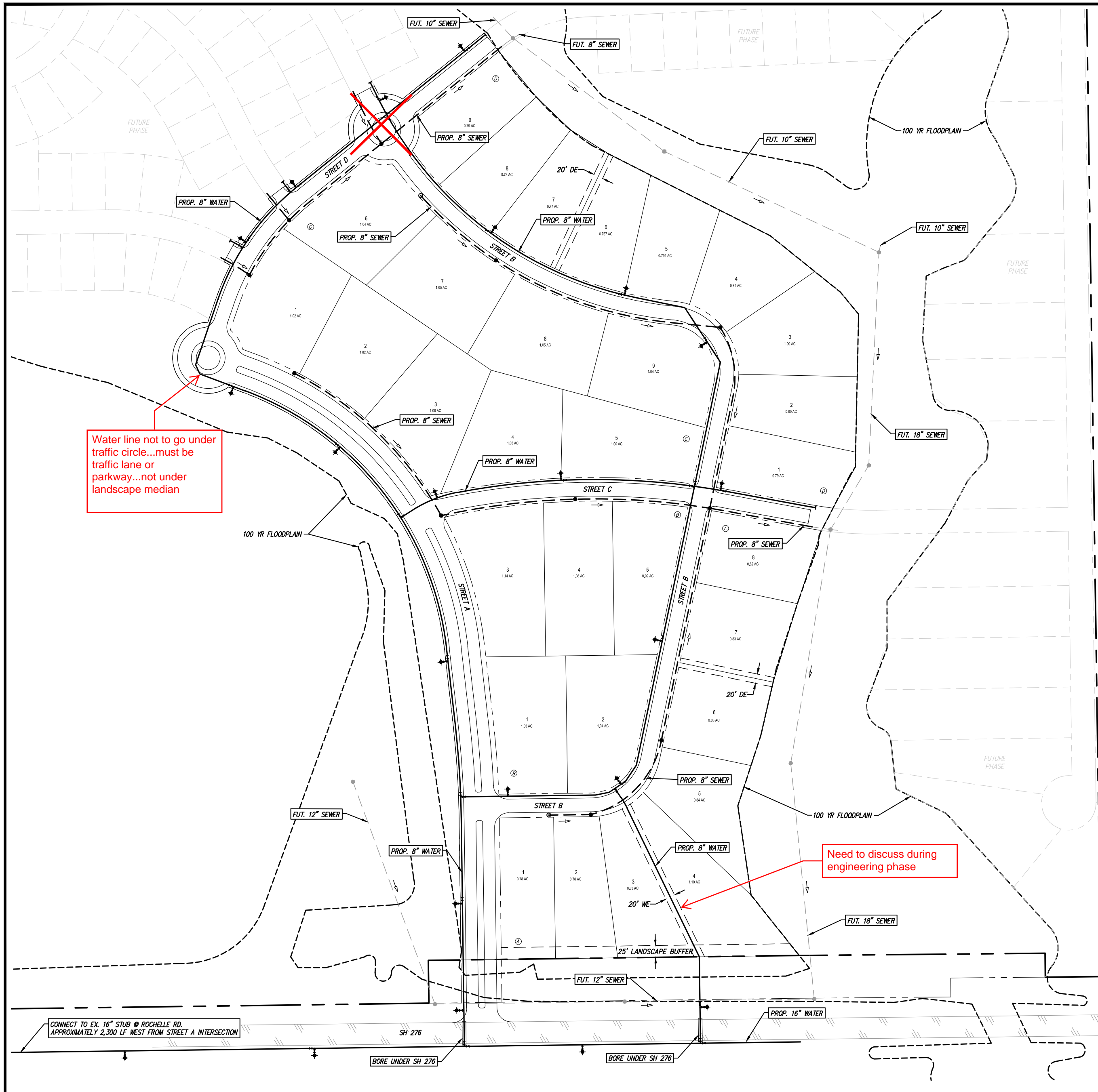
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



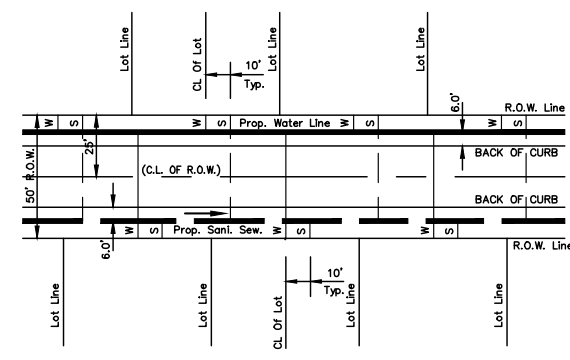
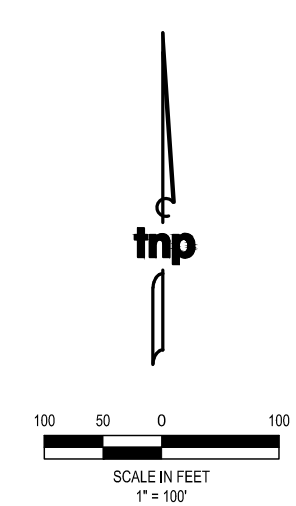
**teague nall & perkins**  
 825 Watters Creek Blvd., Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 TBPE Registration No. F-230  
 www.tnppinc.com

PROJECT INFORMATION  
 Project No.: SBD20370  
 Date: Sept. 18, 2020  
 Drawn By: CAS  
 Scale: 1"=100'  
 SHEET 1 of 1

Drawing: P:\PROJECTS\2020\07\04\PRELIMINARY DESIGN\31 RESIDENTIAL LOTS\PRELIMINARY DRAINAGE.dwg at Sep 18, 2020 11:44am by jrowell



NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL  
NTS

Water line not to go under traffic circle...must be traffic lane or parkway...not under landscape median

Need to discuss during engineering phase

Preliminary Water & Sewer Plan  
31 Residential Lots

Discovery Lakes Phase 1

OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

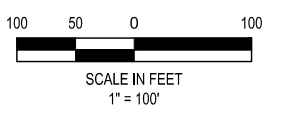
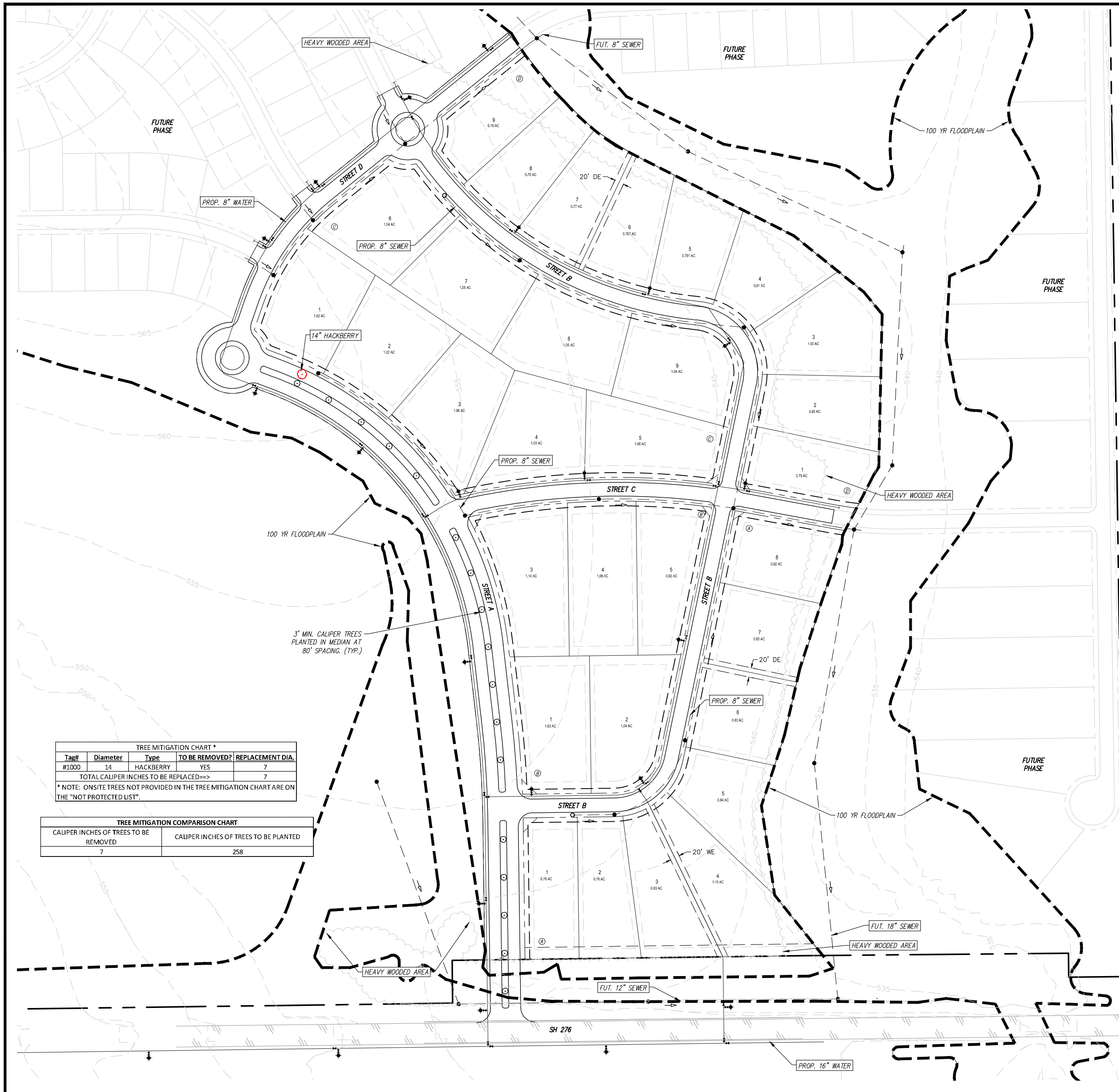
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

PROJECT INFORMATION  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: CAS  
Scale: 1"=100'  
SHEET 1 of 1

Drawing: P:\PROJECTS\2020\07\04\PRELIMINARY DESIGN\31RESIDENTIAL\PRELIMINARY WATER & SEWER PLAN.dwg, at Sep. 18, 2020 11:44am by jhwa



LEGEND	
	PROP. WATER LINE
	PROP. FIRE HYDRANT ASSEMBLY
	PROP. VALVE
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	MAJOR CONTOUR
	BUILDING SETBACKS
	FLOOD PLAIN
	TREE LINE
	PROP. TREES
	TREES TO BE REMOVED

**TREE MITIGATION NOTE**

- THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2\*3\*31+186") + (2\*3\*12+72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).
- EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".
- ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

Not Reviewed  
To be reviewed at the  
time of Engineering  
Submittal

TREE MITIGATION CHART *				
Tax#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED=> 7				

\* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

Treescape Plan  
31 Residential Lots

### Discovery Lakes Phase 1

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnppinc.com

**PROJECT INFORMATION**  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: CAS  
Scale: 1"=100'  
SHEET 1 of 1

Drawing: P:\PROJECTS\2020\07\04\PRELIMINARY DESIGN\2020\07\04\PRE-TREESCAPE PLAN.dwg at Sep. 18, 2020 4:12pm by calwin



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-040

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup> (200+36.42\*15=\$746.30)
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None	
Proposed Zoning	PD-78	Proposed Use	Single Family Residential	
Acreage	36.42	Lots [Current]	1	Lots [Proposed]
				31

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

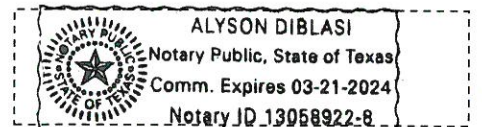
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17<sup>th</sup> day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17<sup>th</sup> day of September, 20 20.

Owner's Signature

*[Signature]*  
Alyson DiBlasi

Notary Public in and for the State of Texas



My Commission Expires 03-21-2024

0 200 400 800 1,200 1,600 Feet

P2020-040- PHASE 1 OF THE DISCOVERY LAKES ADDITION  
PRELIMINARY PLAT - LOCATION MAP = 

CARRINGTON

WESTMINSTER

LI

AG

PD-78

S. ROCHELL  
S. SPRINGER

AMANDA

STATE HIGHWAY 276

PINEBLUFF

SF-10

ROCHELL

PD-66

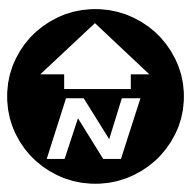
DOWELL



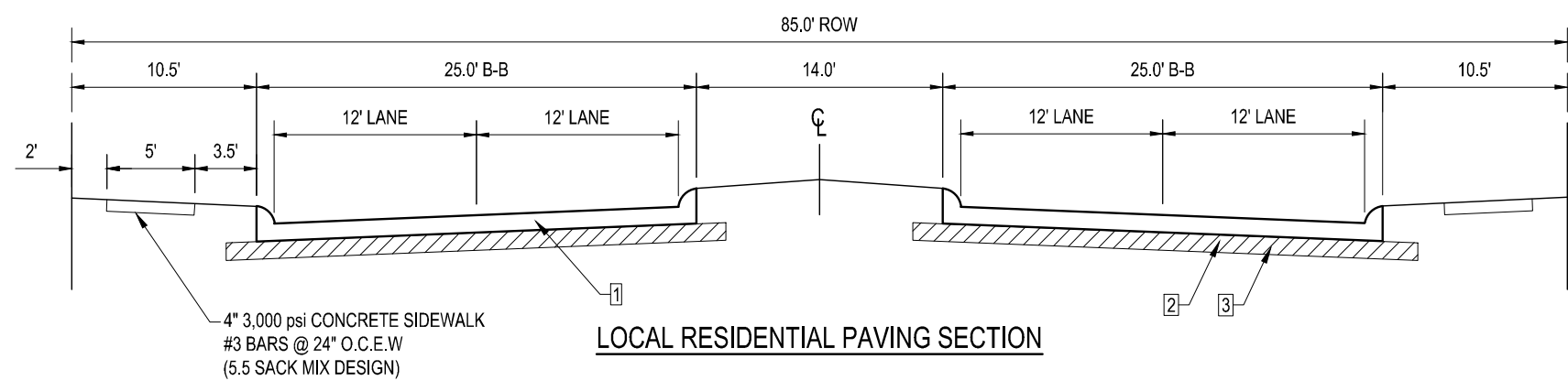
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

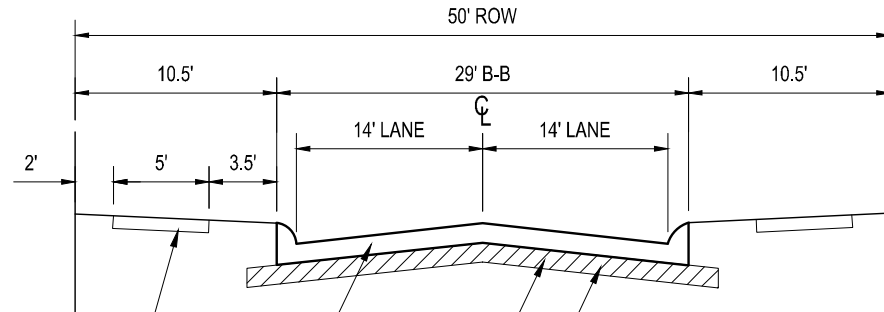
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LOCAL RESIDENTIAL PAVING SECTION



LOCAL RESIDENTIAL SECTION

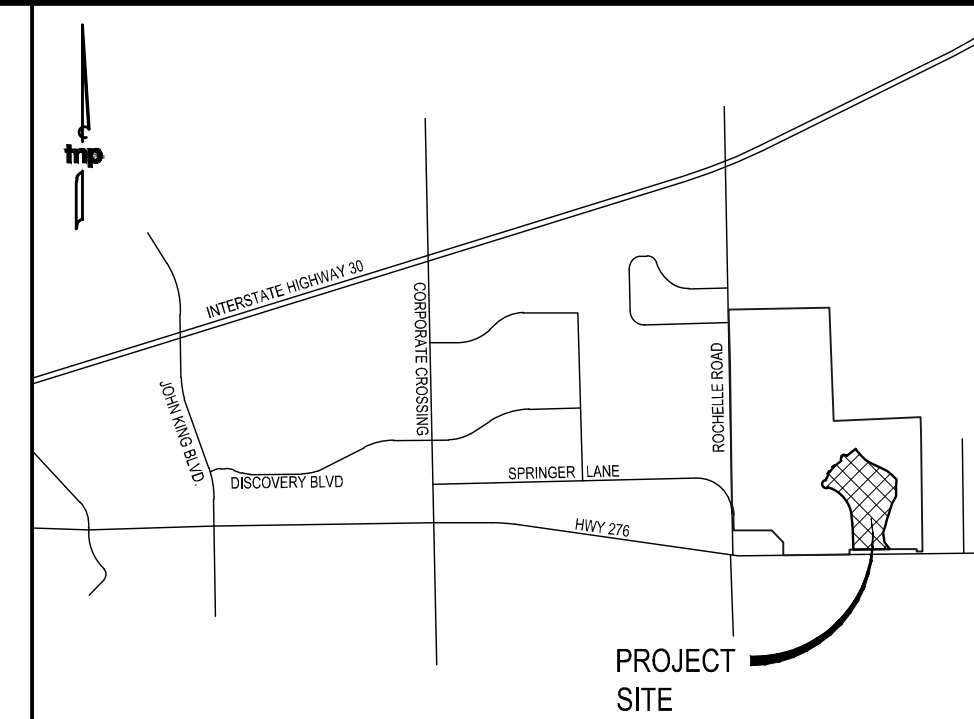
NOTES:  
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- ① 6" 3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- ② WHERE THE PLASTICITY INDEX OF THE NATURAL SOILS IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- ③ SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

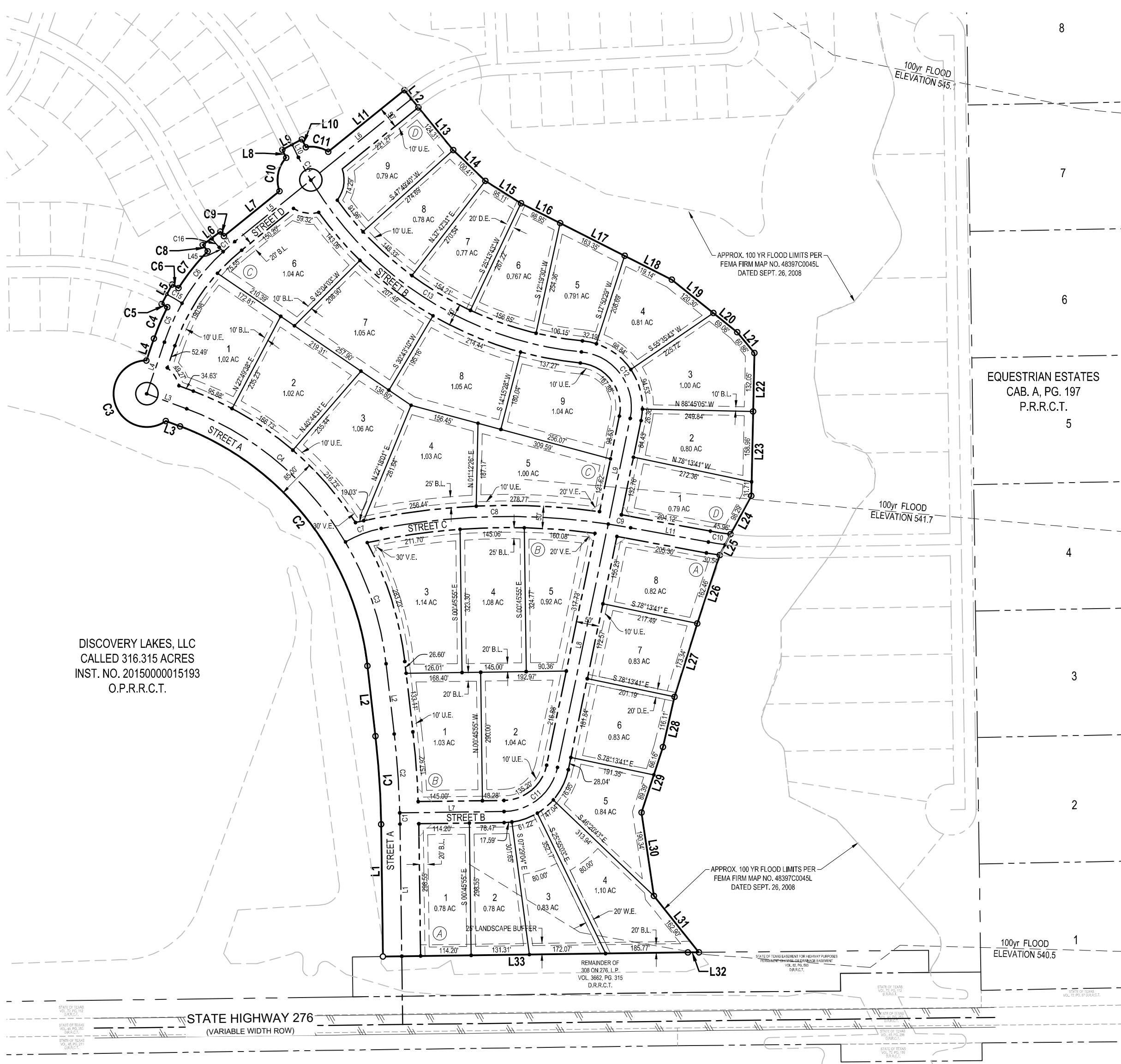
LINE #	BEARING	LENGTH
L1	N00°45'55"W	288.42
L2	N06°34'23"W	159.71
L3	N69°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'37"E	50.00
L6	N52°57'47"E	50.00
L7	N51°02'57"E	161.37
L8	N26°30'25"W	20.00
L9	N61°45'29"E	50.02
L10	S26°30'25"E	20.00
L11	N51°02'57"E	221.27
L12	S38°57'03"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41
L15	S57°49'57"E	95.11
L16	S63°08'31"E	98.95
L17	S63°08'31"E	163.35

LINE #	BEARING	LENGTH
L18	S63°08'31"E	119.14
L19	S51°14'19"E	120.30
L20	S51°14'19"E	69.06
L21	S39°31'46"E	60.86
L22	S01°14'55"W	132.05
L23	S01°14'55"W	158.96
L24	S28°27'00"W	98.29
L25	S27°15'07"W	53.17
L26	N18°13'31"E	162.46
L27	N17°10'03"E	173.34
L28	N13°02'35"E	116.11
L29	N18°04'38"E	89.39
L30	N08°25'52"W	190.34
L31	N38°34'29"W	162.90
L32	S89°29'06"W	25.00
L33	S89°14'07"W	688.35

CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1967.50	5°48'28"	159.44	N 03°40'28" W	159.35
C2	657.50	62°54'02"	721.82	N 38°01'24" W	686.11
C3	75.00	214°23'01"	280.63	N 17°45'49" W	143.30
C4	520.84	8°28'11"	76.99	N 23°06'02" E	76.92
C5	500.00	1°41'50"	14.81	N 60°47'28" W	14.81
C6	550.00	1°42'58"	16.47	S 60°48'54" E	16.47
C7	503.20	12°05'31"	106.20	N 38°26'50" E	106.00
C8	800.00	1°18'35"	18.29	N 37°41'30" W	18.29
C9	750.00	0°59'45"	13.04	S 37°32'05" E	13.04
C10	75.00	61°45'28"	80.84	N 11°23'57" E	78.98
C11	75.00	40°20'22"	52.80	S 78°35'30" E	51.72



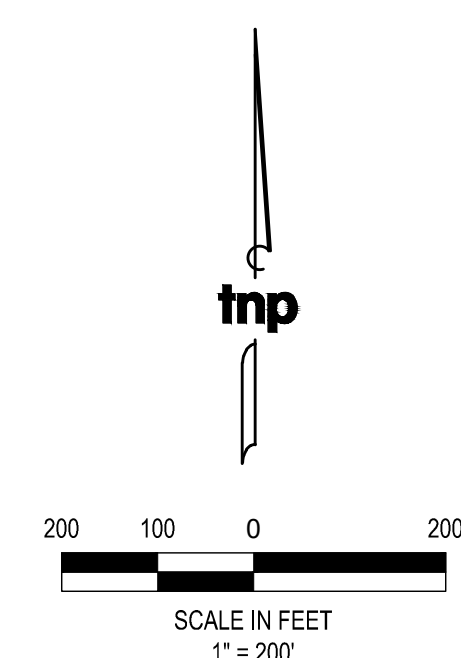
VICINITY MAP  
N.T.S.



LINE #	LENGTH	BEARING
L1	288.42	N00°45'55"W
L2	159.71	N06°34'23"W
L3	96.43	N69°28'25"W
L4	123.20	N18°53'58"E
L5	220.91	N51°02'57"E
L6	291.98	N51°02'57"E
L7	235.32	N89°14'05"E
L8	561.29	N11°46'19"E
L9	243.60	N11°46'19"E
L10	32.19	S26°30'25"E
L11	178.52	S79°35'02"E
L45	13.20	S42°54'31"E

CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2043.92	0°42'16"	25.13	N 01°07'13" W	25.13
C2	2002.49	5°08'38"	178.62	N 04°01'40" W	178.56
C3	700.00	23°52'32"	291.70	N 18°30'39" W	289.59
C4	700.00	39°01'30"	476.78	N 49°57'40" W	467.62
C5	500.00	11°03'56"	96.57	N 24°25'56" E	96.42
C6	500.00	17°07'35"	149.46	N 38°31'41" E	148.90
C7	250.00	19°54'26"	86.86	N 69°14'35" E	86.43
C8	1525.00	19°20'58"	515.01	N 88°52'17" E	512.56
C9	1525.00	1°55'29"	51.23	S 80°29'30" E	51.22
C10	725.00	3°01'22"	38.25	N 81°05'43" W	38.25
C11	125.00	77°27'46"	169.00	N 50°30'12" E	166.42
C12	125.00	96°13'37"	209.93	N 36°20'29" W	186.12
C13	800.00	53°45'20"	750.57	N 57°34'38" W	723.34
C14	800.00	4°11'32"	58.54	N 28°36'12" W	58.52
C15	525.00	4°21'38"	39.95	N 59°27'35" W	39.94
C16	250.00	5°43'53"	25.01	S 40°02'35" E	25.00
C17	500.00	3°57'29"	34.54	N 49°04'13" E	34.53

	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102,930/718 = 33.5%



**PRELIMINARY PLAT**  
*Discovery Lakes Phase 1*  
**LOT 1, BLOCK A**  
31 RESIDENTIAL LOTS  
1,586,455.20 SQUARE FEET  
36.42 ACRES GROSS

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

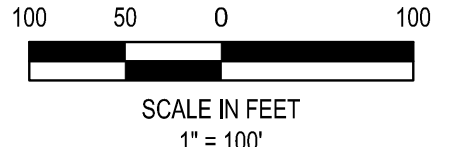
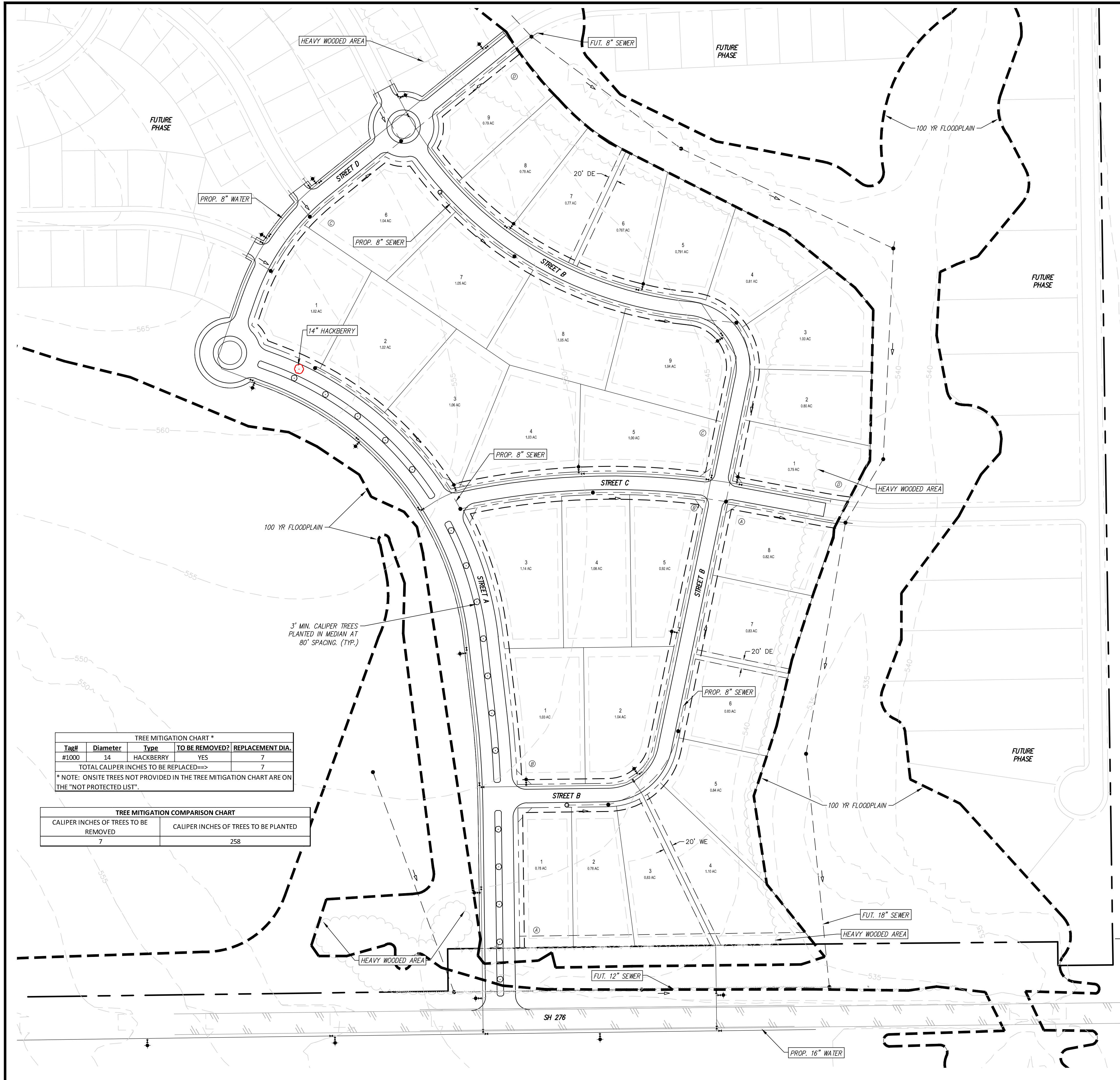
**OWNER**  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

**PROJECT INFORMATION**  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: GS9  
Scale: 1"=100'  
SHEET 1 of 1

**SURVEYOR**  
TEAGUE NALL AND PERKINS, INC.  
825 Watters Creek Boulevard, Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
www.tnpsc.com  
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381  
GBPE: PEF007431; TBAE: BR 2673

CASE NO. P \_\_\_\_\_

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\SBD20370-PRE-PLAT.dwg at Sep 18, 2020-11:26pm by gshaner



LEGEND	
	PROP. WATER LINE
	PROP. FIRE HYDRANT ASSEMBLY
	PROP. VALVE
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	MAJOR CONTOUR
	FLOOD PLAIN
	TREE LINE
	PROP. TREES
	TREES TO BE REMOVED

**TREE MITIGATION NOTE**

1. THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT. IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2\*3\*31=186") + (2\*3\*12=72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE B, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).

2. EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

3. ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED=>				7

\* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

**Treescape Plan**  
31 Residential Lots

*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

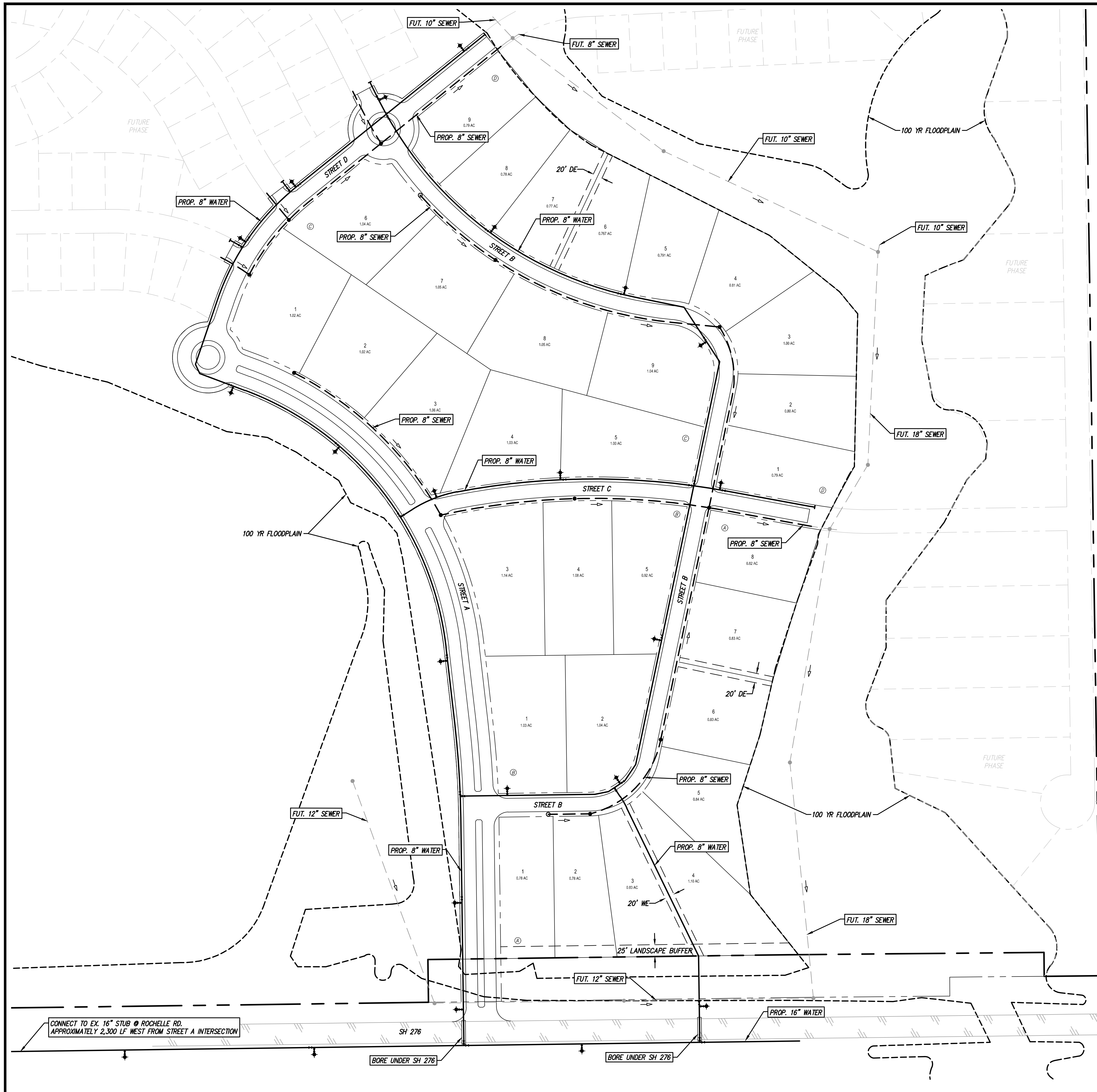
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



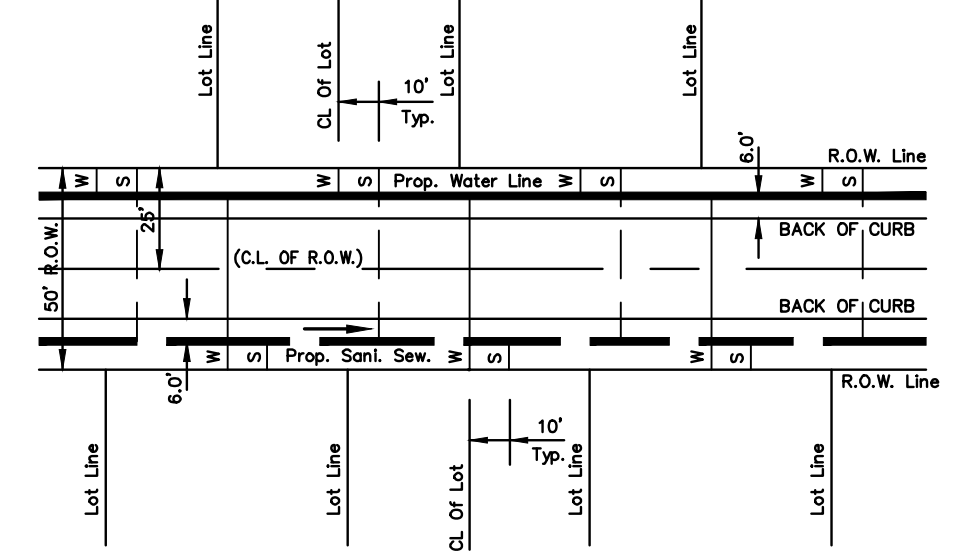
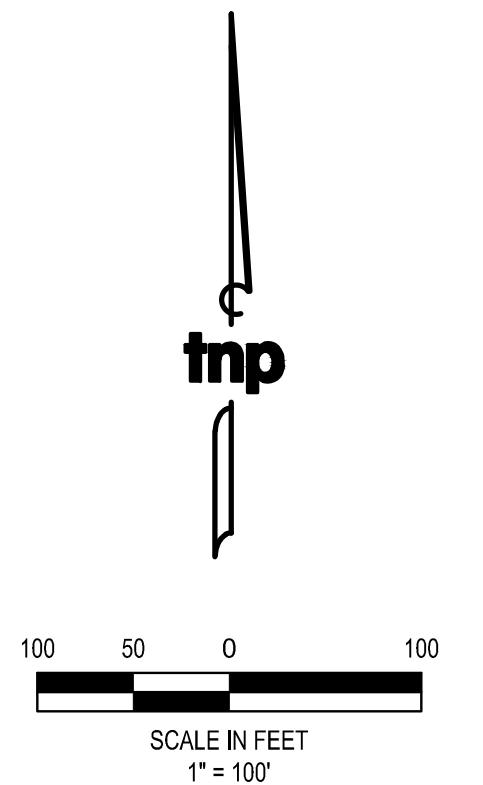
**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpsc.com

PROJECT INFORMATION  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: CAS  
Scale: 1"=100'  
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheets\SBD20370-PRE-TREESCAPE.dwg, 18-Sep-20, 1:12pm by casbn



NOTE: PER PD-78 ALL TYPE A LOTS W/ MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



Preliminary Water & Sewer Plan  
31 Residential Lots

*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

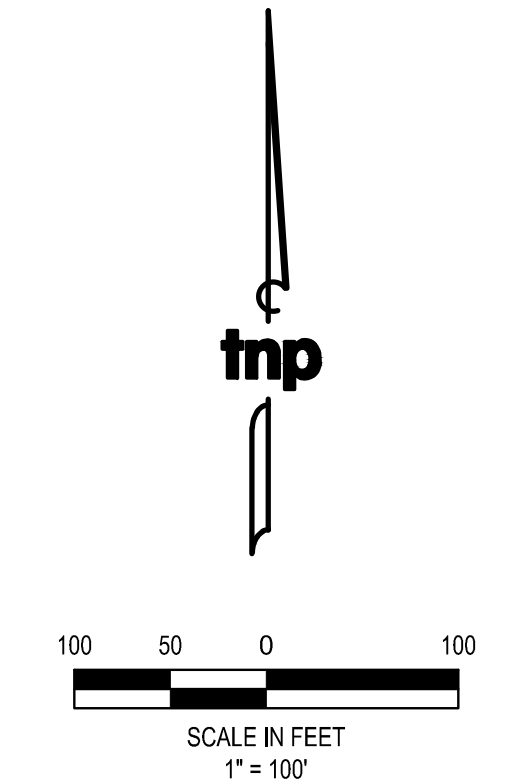
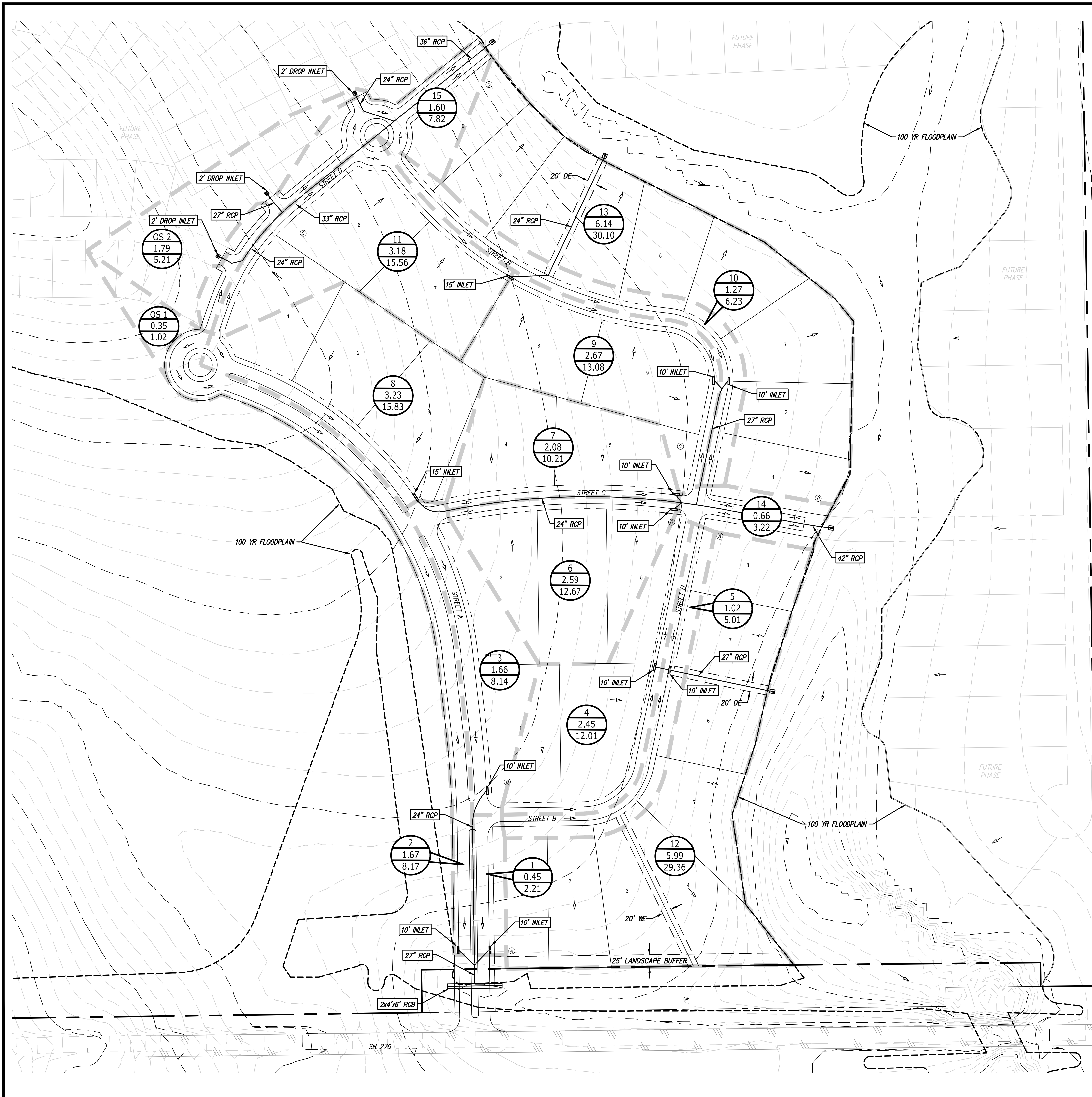
PROJECT INFORMATION  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: CAS  
Scale: 1"=100'  
SHEET 1 of 1

CONNECT TO EX. 16" STUB @ ROCHELLE RD.  
APPROXIMATELY 2,300 LF WEST FROM STREET A INTERSECTION

BORE UNDER SH 276

BORE UNDER SH 276

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheets\SBD20370-PRE-WATER & SEWER PLAN.dwg at Sep 18, 2020 11:44am by jrowell



**LEGEND**

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I <sub>100</sub> (in/hr)	Runoff Coefficient C	Area (ac.)	Q <sub>100</sub> (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
<b>TOTAL</b>				<b>39.72</b>	<b>190.34</b>	

Preliminary Drainage Area Map  
31 Residential Lots

*Discovery Lakes Phase 1*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

PROJECT INFORMATION  
Project No.: SBD20370  
Date: Sept. 18, 2020  
Drawn By: CAS  
Scale: 1"=100'  
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\AD\PRELIMINARY DESIGN\Sheets\SBD20370-PRC-DRAINAGE.dwg at Sep 18, 2020 11:44am by jlowell

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: SP2020-025  
PROJECT NAME: Site Plan for Ellis Center, Phase 2  
SITE ADDRESS/LOCATIONS: 1203 SIGMA CT, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Discuss and consider a request Harper J. Kuper of SVEA Industrial II, LLC for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: SP2020-025; Site Plan for Ellis Center Phase Two

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email [hlee@rockwall.com](mailto:hlee@rockwall.com).

M.3 For reference, include the case number (SP2020-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Light Industrial (LI) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. Verify the total lot acreage. (Subsection 03.04.B, of Article 11)
2. Indicate the wall lengths of all buildings on the site. (Subsection 03.04. B, of Article 11)
3. Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. (Subsection 0304. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. Parking is 1/300 not 3/1000. Make the correction on the parking table. (Table 5, of Article 6)
6. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Roof mounted must not be visible from the street or adjacent properties. Utilize a taller parapet for screening. (Subsection 01.05. C, of Article 05)

M.6 Landscape Plan:

1. Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (Subsection

05.03. B, of Article 08)

2. Indicate the locations and dimensions of the required landscape buffers. (Subsection 05.01, of Article 08)
3. Identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05)
4. Large trees shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. Pay attention to the west side of your property. (Subsection 05.05, of Article 08)
5. Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. (Subsection 03.01. E, of Article 09)
6. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01. F, of Article 09)
7. Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. (Subsection 03.01. G, of Article 09)

M.7 Photometric and Lighting Plan:

1. The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Subsection 03.03. G, of Article 07)
2. Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07)
3. Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. (Subsection 01.05. C, of Article 05)
2. The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof. (Subsection 07.03, of Article 05)

I.9 Please notify staff if no variances/exceptions are being requested and that all comments will be addressed. If none are being requested and all comments are addressed then this site plan may be handled administratively.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 6, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 13, 2020 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 13, 2020.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Dumpster to drain to an oil/water separator and then to the storm lines.

M - Must have detention. Manning's "c-value" is for any new impervious areas. Detention is for a 0.35 to 0.9 C-value.

M - Mandatory to show detention area on site plan.

M - Show ' wide sidewalk extension along street frontage.

General Items:

- Engineering review fees apply (i)
- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (i)
- Fire lane easement to be on plat. (i)
- No trees within 5' of public utilities. (i)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Replat is necessary. Each lot must meet minimum frontage requirements. (i)
- Will need to plat the cross access easement since you are crossing property lines. Parking agreement required to be filed (i)
- Must meet all Standards of Design and Construction (i)

Roadway/Paving Items:

- Fire lane to be 24' wide with 20' radii (i)
- Parking to be 20'x9' (i)

Water & Wastewater Items:

- Water and Sewer impact fees apply for additional/upsizing meters. (i)

Drainage & Detention Items;

- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Will need to replat for drainage and detention easement
- No vertical walls allowed in detention. (i)

Landscape Items;

- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.(i)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments

09/21/2020: Private fire service main shall comply with NFPA 24. Piping that runs under the building to the fire riser shall be reviewed for compliance.

The location of the fire department connection (FDC) shall be reviewed for compliance with local requirements.

FDC shall be facing and visible from the fire lane.

FDC must be within 100-feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

09/23/2020: SP2020-025

Considerations:

- Consider ground wash lighting or directional lights in the grass areas on the North and East edges of the parking lots to eliminate any shadows or areas that a person might be capable of hiding. Specifically those areas adjacent to the new construction and between the new parking lot and businesses on Industrial Blvd. Lighting should run all the way to and up Sigma Court to the East entrance.
- Consider directional lighting at the front of business (West Side) where the wrought iron fence is in place. Lighting in the drainage area may not be possible, but at the North-West corner where the drainage does not exist lighting could be installed.
- Consider replacing all exiting exterior lighting building, specifically above doorway's that are not designated to be upgraded on the lighting plan. Use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) to provide a light of sight for anyone who may be hiding inside the area.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for the rear and South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business.
- Considering clearing brush especially on the South side of the business and trimming existing trees up to 7' and any additional bushes trimmed down to 3'.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

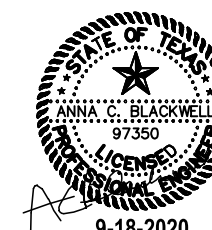
The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Denied

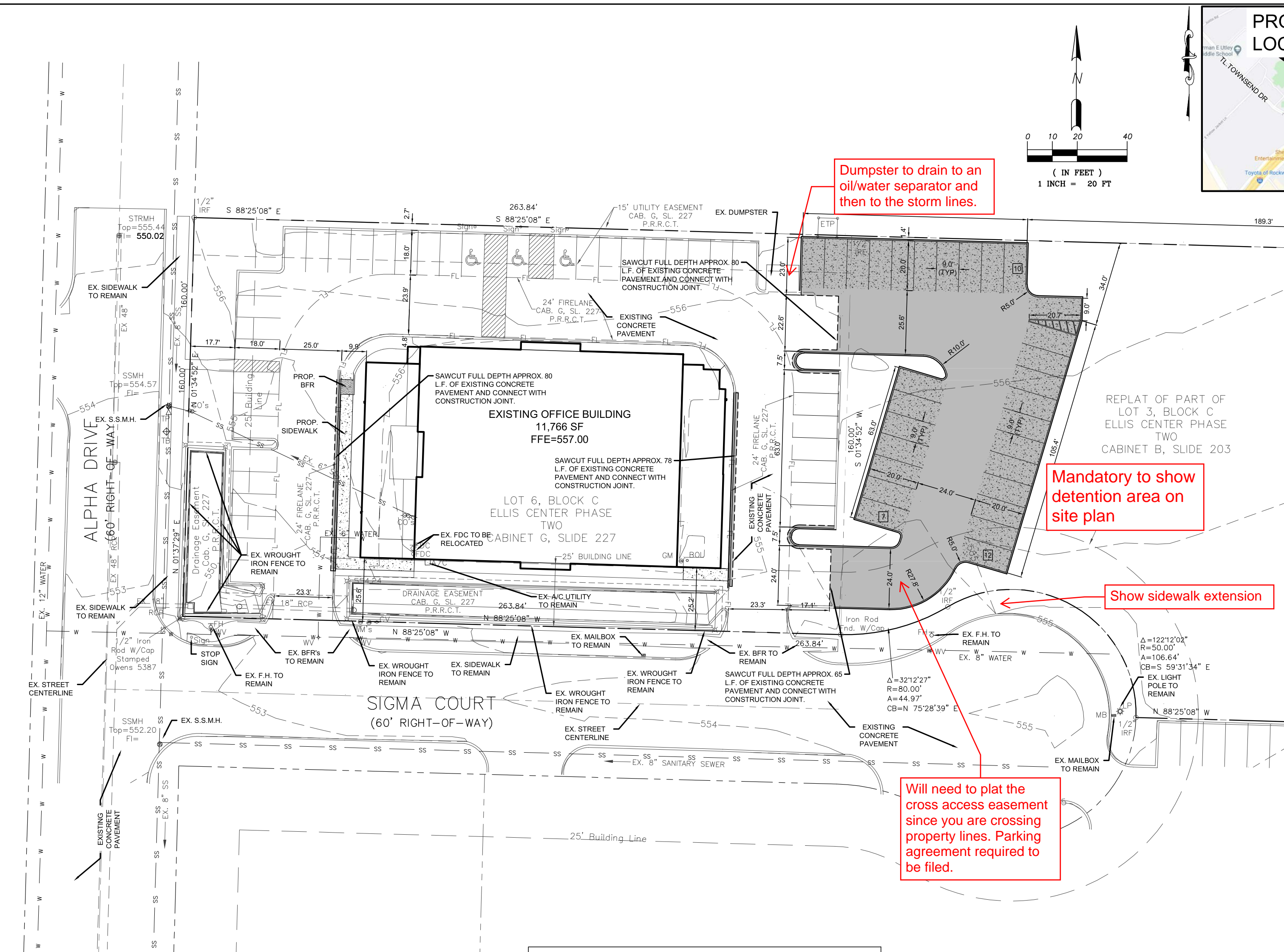
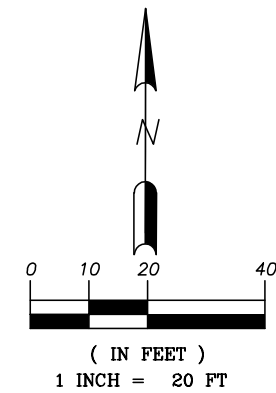
09/21/2020: Please provide tree mitigation calculations for the trees being removed with building additions.



NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION



LOCATION MAP  
N.T.S. 1/2" Iron Rod W/Cap Stamped



- General Items:**
- Engineering review fees apply (i)
  - 4% Engineering inspection fees (i)
  - Impact fees. (i)
  - Min 20' utility easements. (i)
  - No structures in easements. (i)
  - Fire lane easement to be on plat. (i)
  - No trees within 5' of public utilities. (i)
  - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
  - Replat is necessary. Each lot must meet minimum frontage requirements. (i)
  - Must meet all Standards of Design and Construction

- Roadway/Paving Items:**
- Fire lane to be 24' wide with 20' radii
  - Parking to be 20'x9' (i)
  - 5' sidewalk (2' off ROW) along all new improved frontage (M)

- Water & Wastewater Items:**
- Water and Sewer impact fees apply for additional/upsizing meters. (i)

- Drainage & Detention Items:**
- Must have detention. Manning's "c-value" is for any new impervious areas. Detention is for a 0.35 to 0.9 C-value. (M)
  - Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
  - Will need to replat for drainage and detention easement
  - No vertical walls allowed in detention. (i)

- Landscape Items:**
- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter. (i)

Dumpster to drain to an oil/water separator and then to the storm lines.

Mandatory to show detention area on site plan

Show sidewalk extension

Will need to plat the cross access easement since you are crossing property lines. Parking agreement required to be filed.

**LEGEND**

- EXISTING CURB
- PROPOSED CURB
- PARKING SPACES IN A ROW
- PROPOSED 6" REINFORCED, MEDIUM DUTY CONCRETE PAVEMENT
- PROPOSED 5" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
- PROPOSED SIDEWALK PAVEMENT

**KEY NOTES**

- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 2% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
- APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
- ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
- REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**SITE DEVELOPMENT DATA**

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
SITE ACREAGE:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (3 PER 1,000 SF GFA):	36 SPACES
EXISTING PARKING:	38 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	67 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (18' - 6" HEIGHT)

PREPARED BY:  
  
**CARRILLO ENGINEERING, LLC**  
 TEXAS BOARD OF PROFESSIONAL ENGINEERS  
 REGISTRATION NO. F-15893  
 301 COMMERCE STREET, SUITE 1410  
 FORT WORTH, TEXAS 76102  
 PHONE NO.: 817-697-4996  
 CONTACT: ANNA C. BLACKWELL, P.E.

OWNER / DEVELOPER:  
**SVEA INDUSTRIAL II, LLC**  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 PHONE: 830-431-0326  
 EMAIL: j.kuper@sveare.com  
 CONTACT: HARRY J. KUPER

**SITE PLAN SIGNATURE BLOCK**

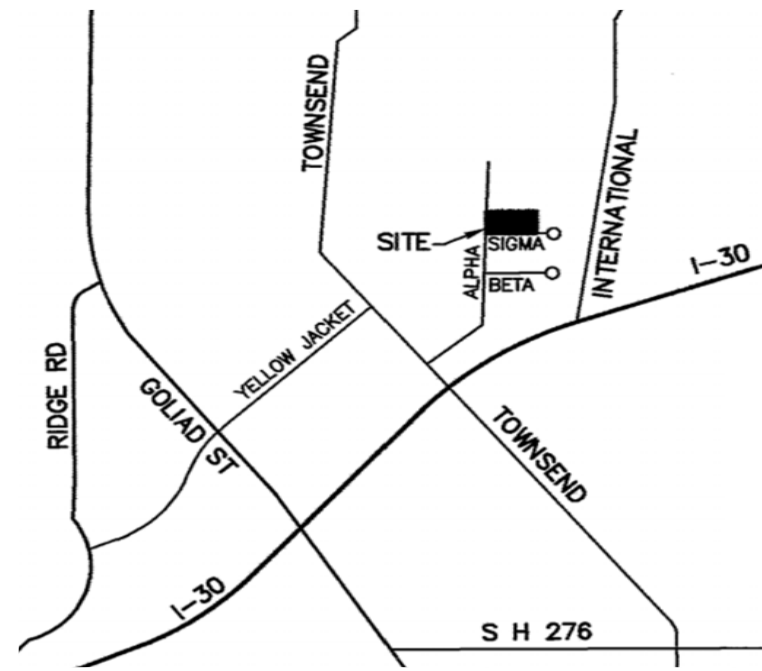
APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, \_\_\_\_\_ day of \_\_\_\_\_

PLANNING & ZONING COMMISSION CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

**ROCKWALL DFPS**  
 ELLIS CENTRE #2 ADDITION  
 BLOCK C, LOT 3A-R  
 1203 SIGMA CT,  
 ROCKWALL, TX 75087  
 09/18/2020  
 ISSUE DATE

**SITE PLAN**  
**SP**



VICINITY MAP

**SITE PLAN LEGEND:**

- NEW FLATWORK
- NEW PAVEMENT, CONCRETE CURB AND PARKING STRIPING (IF APPLICABLE)
- NEW LANDSCAPING

**GENERAL NOTES:**  
 1. ALL EXISTING SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO WORK.

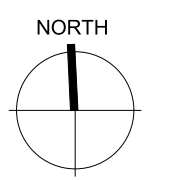
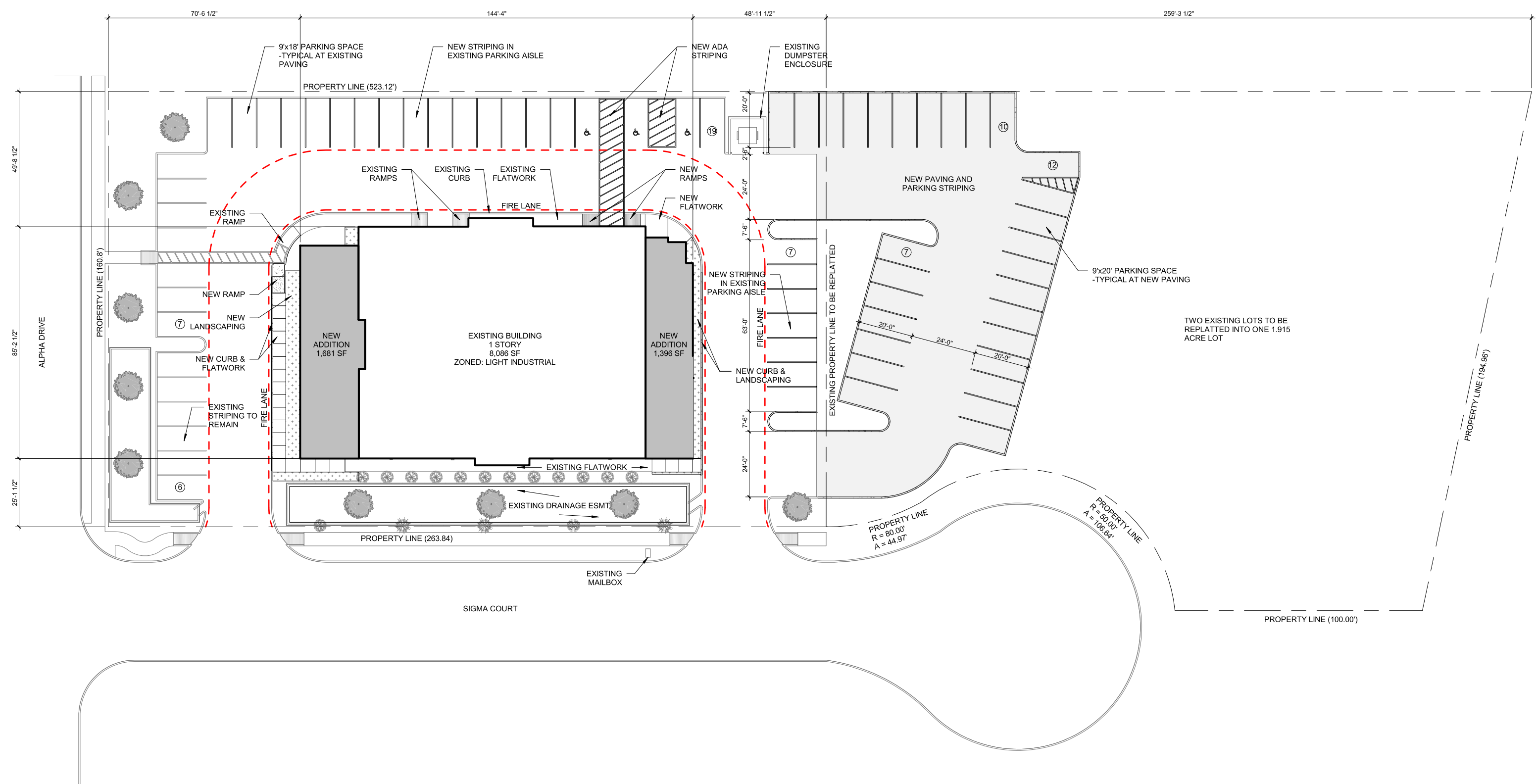
**PARKING REQUIREMENTS:**  
 CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 6, TABLE 5: PARKING REQUIREMENT SCHEDULE:  
 OFFICE BUILDING REQUIRED = 1 PER 300 SF  
 11,766 SF / 300 SF = 39.22 (40) SPACES REQUIRED  
 2 HANDICAP SPACES REQUIRED  
 DFPS REQUIREMENT = 68  
 PROVIDED:  
 39 EXISTING SPACES TO REMAIN (SOME RE-STRIPED)  
 29 NEW SPACES  
 68 SPACES PROVIDED (3 ADA SPACES)

**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**

RICHARD WILLIAMS  
 SEPTEMBER 18, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9644  
 www.owtarchitects.com

**ROCKWALL DFPS**

1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**ARCHITECTURAL SITE PLAN**

**A1.00**

**SITE PLAN | 1**  
 SCALE: 3/64" = 1'-0" A1.00

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326  
 PROJECT CASE #: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

PLANT MATERIAL SCHEDULE						
QUANTITY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	SPREAD	CONT.
<b>TREES</b>						
3	CEDAR ELM	ULMUS CRASSIFOLIA	4"	12'	4'	45 GAL
4	LACEBARK ELM	ULMUS PARVIFOLIA	4"	13'	5'	66B
<b>ACCENT TREES</b>						
5	MEXICAN PLUM	PRUNUS MEXICANA	-	48" MIN	48"	5 GAL
<b>SHRUBS &amp; LARGE PERENNIALS</b>						
9	DWARF WAX MYRTLE	MYRTICA CERIFERA	-	36" MIN	36" MIN	5 GAL
<b>ORNAMENTAL GRASSES</b>						
175 SF	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	-	12"	12"	4" POT
<b>SMALL PERENNIALS &amp; GROUNDCOVER</b>						
30 SF	BERKELEY SEDGE	CAREX DIVULSA	-	6"	12"	4" POT
<b>TURF GRASS</b>						
5,193 SF	BERMUDA GRASS SEED	CYNODON DACTYLON	HYDRO-SEED APPLICATION			

NOTE: DIMENSIONS OF SOD PLACEMENT ARE TYPICAL. CONTRACTOR TO PROVIDE SOD AT ALL DISTURBED AREAS EVEN IF NOT SPECIFICALLY DIMENSIONED ON PLANS.

Add note: No trees to be within 10' of a public water and sewer line if 10" and larger or 5' from water and sewer if less than 10" in diameter

### PLANT SYMBOL LEGEND

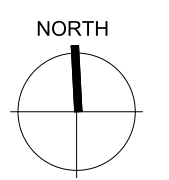
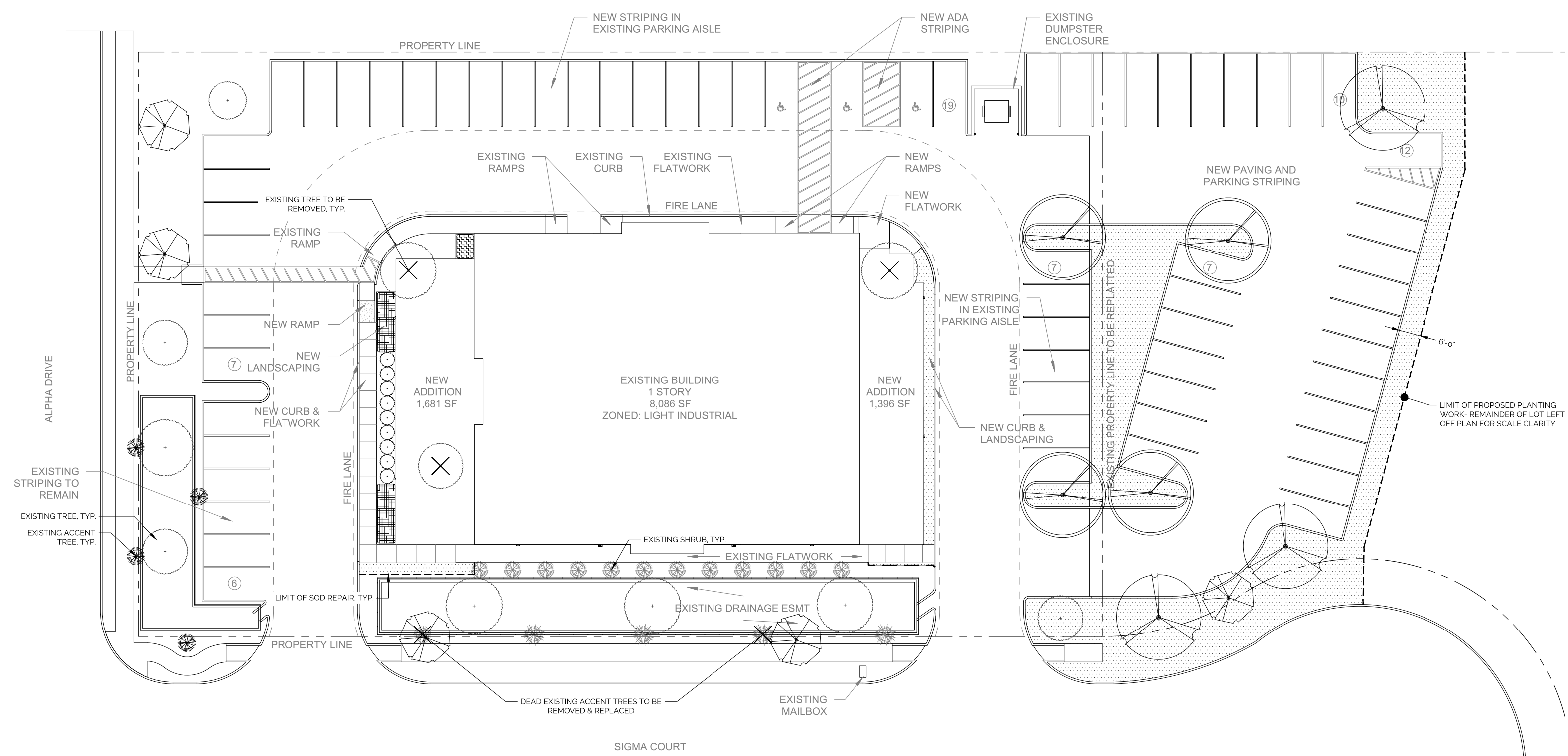
- TREES**
- CEDAR ELM
- LACEBARK ELM
- ACCENT TREES**
- MEXICAN PLUM
- SHRUBS / LARGE PERENNIALS**
- DWARF WAX MYRTLE
- ORNAMENTAL GRASSES**
- MEXICAN FEATHER GRASS
- SMALL PERENNIALS / G.C. / VINES**
- BERKELEY SEDGE
- TURF**
- TIFTUF BERMUDA TURF (COMMON AREAS)

PROJECT LANDSCAPE DATA TABLE				
TYPE	REQUIREMENT	CITY LANDSCAPE REQUIREMENTS		
		AREA / MEASUREMENT	REQUIRED	PROVIDED
GENERAL	15% OF GROSS SITE AREA IN LIGHT INDUSTRIAL DISTRICTS SHALL BE LANDSCAPE	82,665 SF	12,400 SF	39,297 SF
	100% OF TOTAL REQ. LANDSCAPE AREA SHALL BE LOCATED IN FRONT OF AND ALONG SIDE OF BLDG. WITH STREET FRONTAGE	12,400 SF	12,400 SF	38,739 SF
	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25SF UNLESS IT IS WITHIN 10 FEET OF A BLDG. ON SAME LOT.	-	YES	YES
	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUNDCOVER, GRASSES, SHRUBS, BERMS, AND TREES.	-	YES	YES
	DETENTION BASINS: THERE SHALL BE A MINIMUM OF 1 CANOPY TREE PER 750SF, AND 1 ACCENT TREE OF DETENTION AREA.	2,908 SF	4 CANOPY TREES 4 ACCENT TREES	5 EXISTING CANOPY TREES 9 TREES (7 EXISTING ACCENT TREES)
	PARKING LOT LANDSCAPING: WHEN PARKING AND MANEUVERING SPACE EXCEEDS 20,000SF, 1 LARGE CANOPY TREE FOR EVERY 10 PARKING SPACES SHALL BE PLANTED INTERNAL TO THE PARKING AREAS.	28,577 SF 68 PARKING SPACES	7 CANOPY TREES	7 TREES (1 EXISTING)
BUFFER	PARKING LOT LANDSCAPING: NO REQUIRED PARKING SPACES MAY BE LOCATED MORE THAN 80 FEET FROM THE TRUNK OF A CANOPY TREE.	-	YES	YES
	ALL LANDSCAPE BUFFERS AND PUBLIC R.O.W. LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH SOD GRASS.	-	YES	YES
	MINIMUM 10' WIDE LANDSCAPE BUFFER ADJACENT TO RIGHT-OF-WAY ALONG ENTIRE LENGTH OF ABUTTING FRONTAGE SHALL INCORPORATE GROUNDCOVER, A BUILT-UP BERM, AND SHRUBBERY TOTALING A MINIMUM HEIGHT OF 30".	-	YES	YES
	R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 CANOPY TREE PER 50LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (6 EXISTING) R.O.W. ALPHA DRIVE: 4 EXISTING TREES
	R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 ACCENT TREE PER 50LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (4 EXISTING) R.O.W. ALPHA DRIVE: 4 TREES (2 EXISTING)



September 18, 2020  
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
2020-007-00  
SEPTEMBER 18, 2020

LANDSCAPE PLAN | 1  
SCALE: 1/16" = 1'-0" | L1.00

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**L1.00**

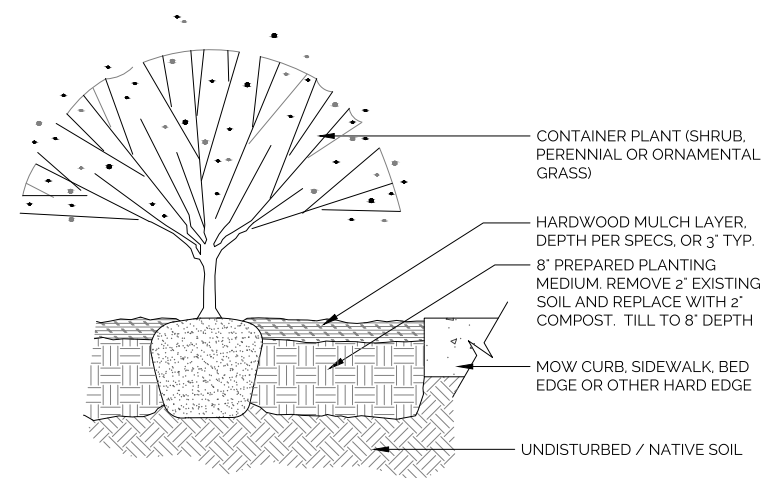


# Valley Quest DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

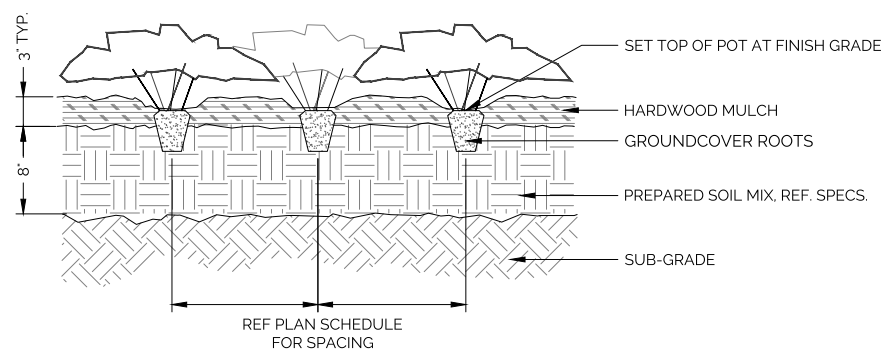
September 18, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



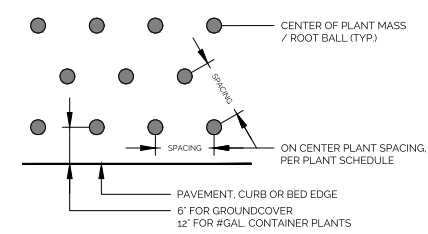
## 1 CONTAINER PLANTING

1/2"-1'-0"



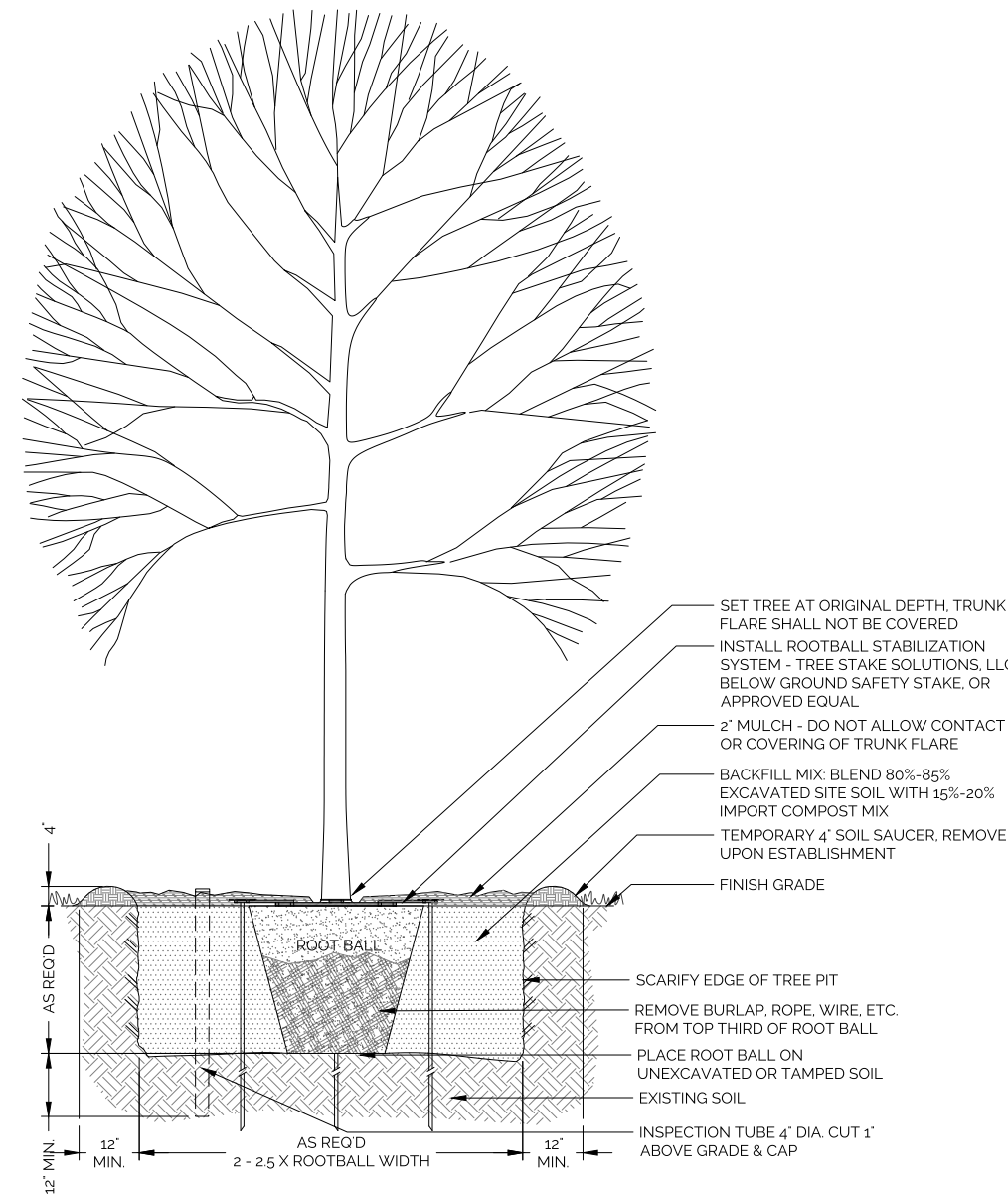
## 2 GROUNDCOVER PLANTING

1 1/2"-1'-0"



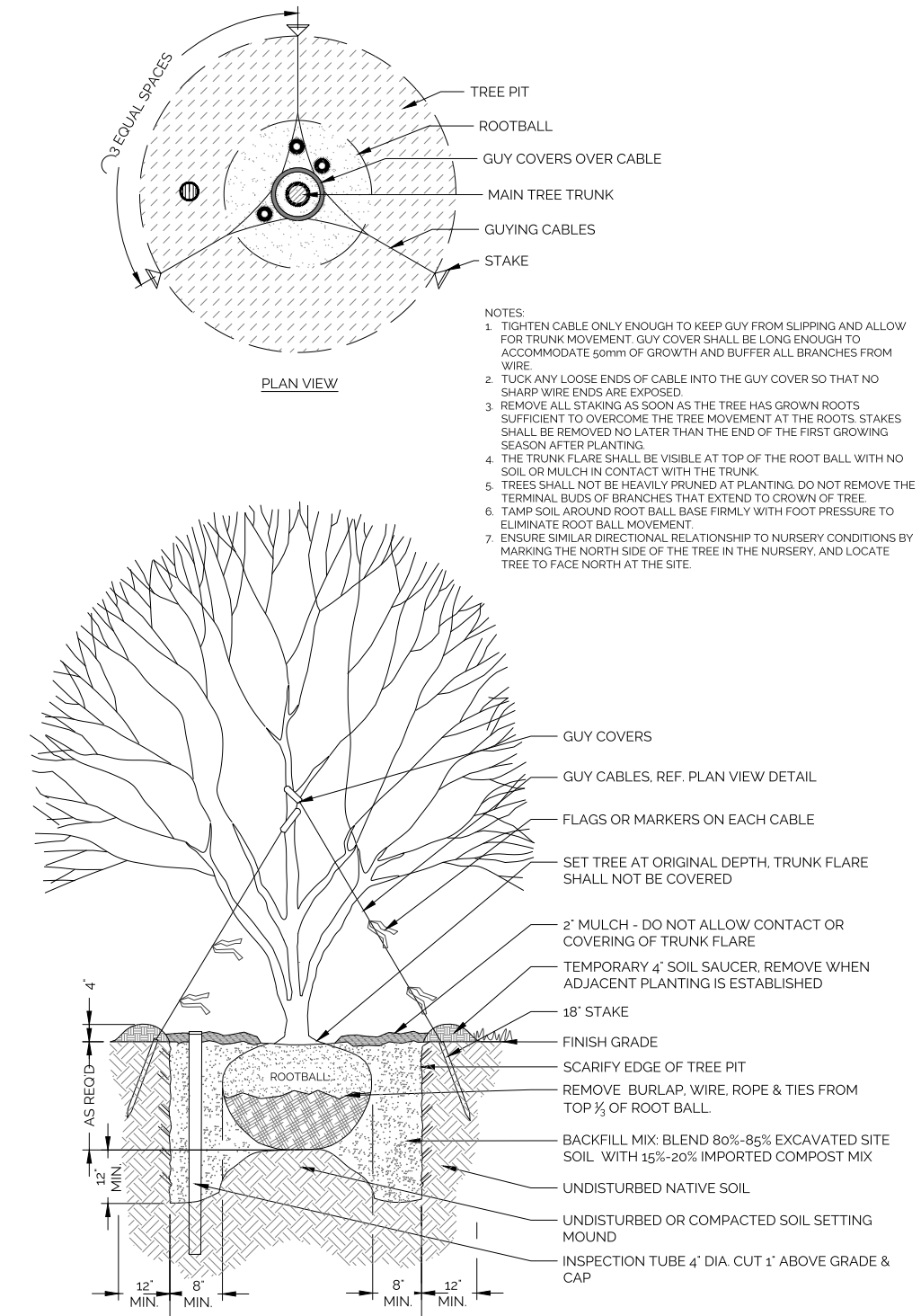
## 3 PLANT SPACING

1/4"-1'-0"



## 4 SHADE TREE PLANTING

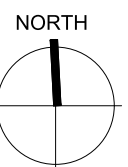
1/2"-1'-0"



## 5 MULTI-STEM TREE PLANTING

1/2"-1'-0"

Revision Schedule		
Rev. #	Revision Description	Revision Date



### OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844

www.owtarchitects.com

### ROCKWALL DFPS

1203 SIGMA CT,  
ROCKWALL, TX 75087

2020-007-00

SEPTEMBER 18, 2020

### LANDSCAPE DETAILS

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

# L5.00



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-025

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1203 Sigma Ct, Rockwall, Texas, 75087

Subdivision Ellis Center Phase Two

Lot 3A-R Block C

General Location .2 miles north of TL Townsend Dr and I-30 Frontage Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Office Building

Proposed Zoning Light Industrial

Proposed Use Office Building

Acreage 1.915

Lots [Current] 2

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SVEA Industrial II, LLC

Applicant

Contact Person Harry J Kuper

Contact Person

Address 1614 Lavca Street

Address

City, State & Zip Austin, Texas 78701

City, State & Zip

Phone 830-431-0326

Phone

E-Mail j.kuper@SVEARE.COM

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Harry J Kuper [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$\_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Owner's Signature

Harry Kuper

Notary Public in and for the State of Texas

SEE ATTACHED ACKNOWLEDGEMENT

My Commission Expires

**ALL-PURPOSE ACKNOWLEDGMENT**

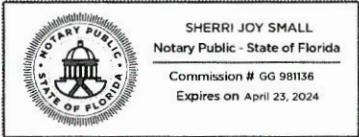
State/Commonwealth of FLORIDA )  
 )  
 City  County of Manatee )

On 09/16/2020 before me, Sherri Joy Small,  
*Date* *Notary Name*

personally appeared Harry J Kuper  
*Name(s) of Signer(s)*

- personally known to me -- OR --
- proved to me on the basis of the oath of \_\_\_\_\_ -- OR --  
*Name of Credible Witness*
- proved to me on the basis of satisfactory evidence: passport  
*Type of ID Presented*

to be the individual(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by proper authority, and that by his/her/their signature(s) on the instrument, the individual(s), or the person(s) or entity upon behalf of which the individual(s) acted, executed the instrument for the purposes and consideration therein stated.



WITNESS my hand and official seal.  
Notary Public Signature: *Sherri Joy Small*  
Notary Name: Sherri Joy Small  
Notary Commission Number: GG 981136  
Notary Commission Expires: 04/23/2024  
*Notarized online using audio-video communication*

**DESCRIPTION OF ATTACHED DOCUMENT**

Title or Type of Document: Application  
Document Date: 9/16/2020 Number of Pages (w/ certificate): 2  
Signer(s) Other Than Named Above: NA

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Harry Kuper

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: SELF

**Capacity(ies) Claimed by Signer(s)**

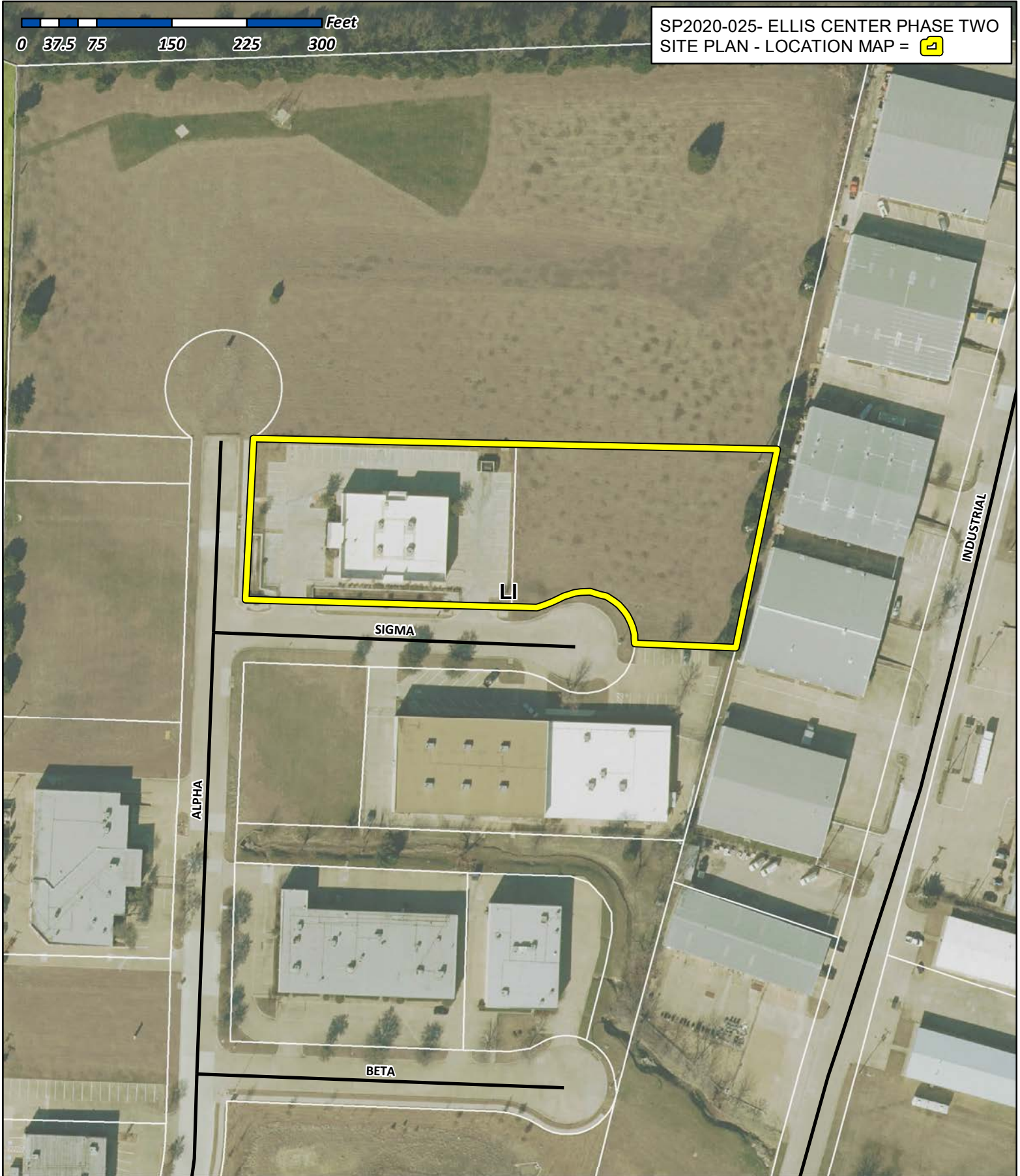
Signer's Name: \_\_\_\_\_

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

0 37.5 75 150 225 300 Feet

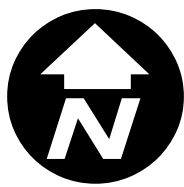
SP2020-025- ELLIS CENTER PHASE TWO  
SITE PLAN - LOCATION MAP = 



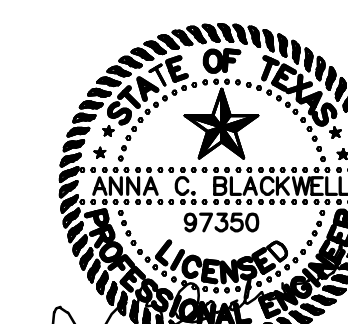
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

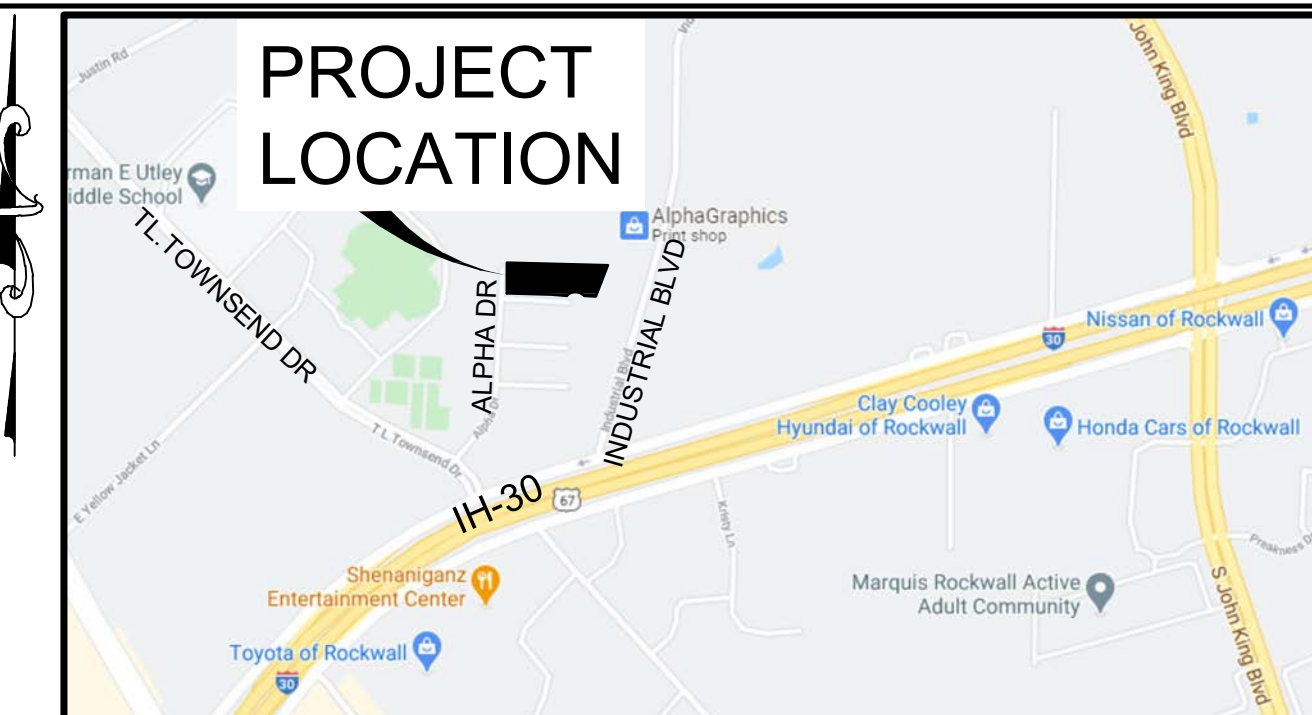
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



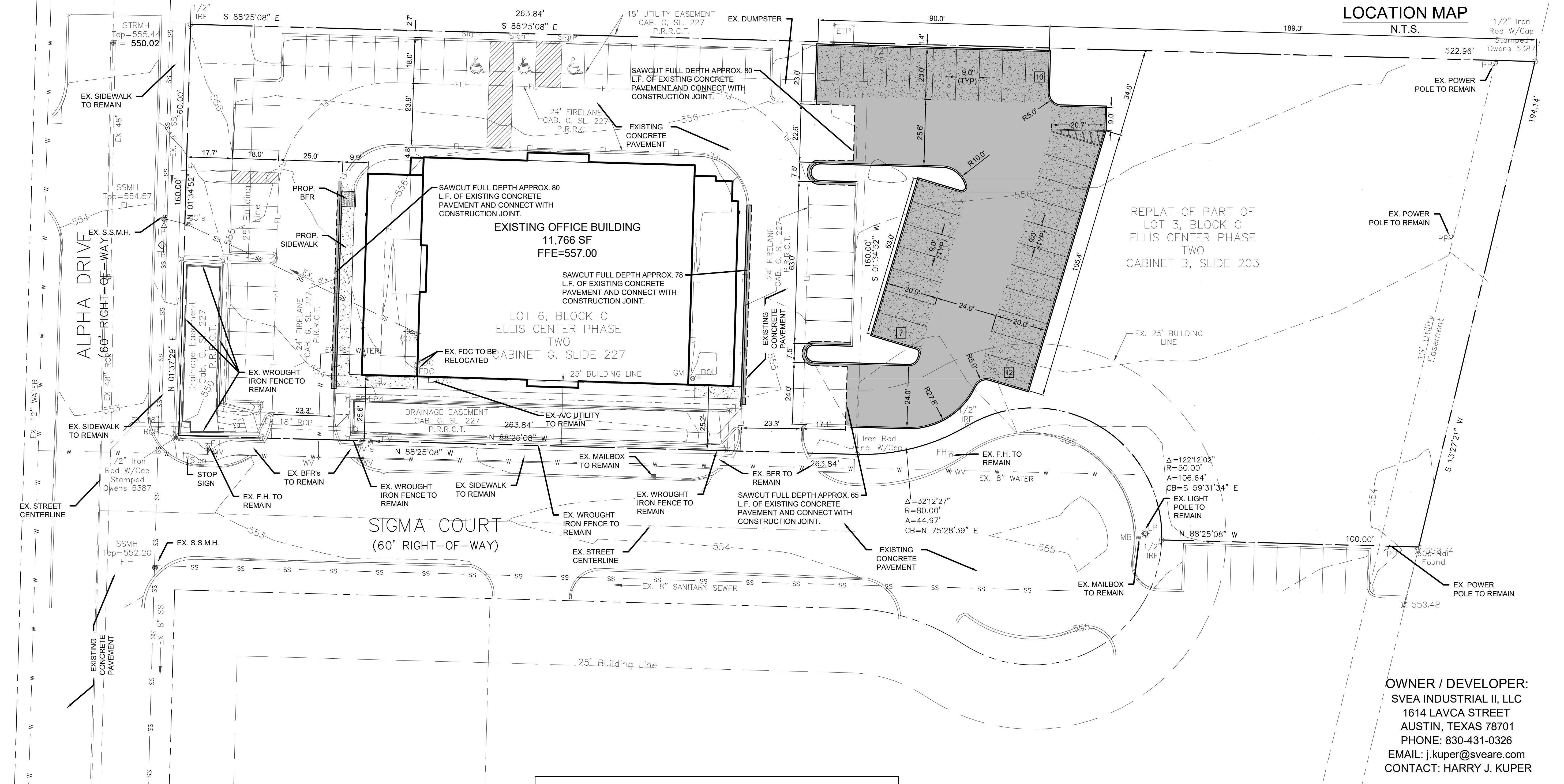
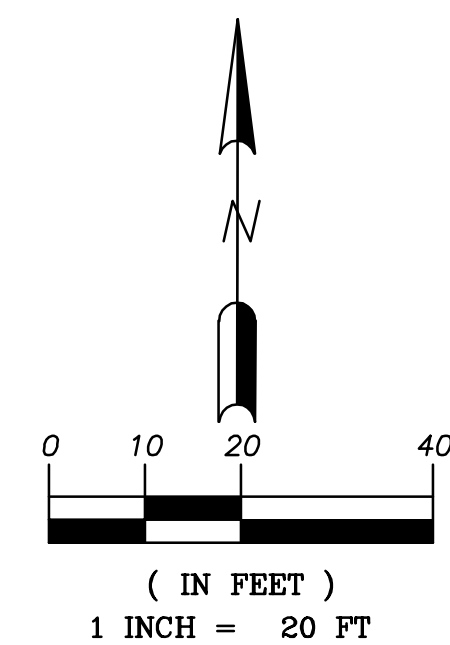
NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION



9-18-2020



LOCATION MAP  
N.T.S.



**LEGEND**

	EXISTING CURB
	PROPOSED CURB
	PARKING SPACES IN A ROW
	PROPOSED 6" REINFORCED, MEDIUM DUTY CONCRETE PAVEMENT
	PROPOSED 5" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK PAVEMENT

- KEY NOTES**
1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  2. APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  3. ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**SITE DEVELOPMENT DATA**

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
SITE ACREAGE:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (3 PER 1,000 SF GFA):	36 SPACES
EXISTING PARKING:	38 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	67 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (18' - 6" HEIGHT)

PREPARED BY:

CARRILLO ENGINEERING, LLC  
TEXAS BOARD OF PROFESSIONAL ENGINEERS  
REGISTRATION NO. F-15893  
301 COMMERCE STREET, SUITE 1410  
FORT WORTH, TEXAS 76102  
PHONE NO.: 817-697-4996  
CONTACT: ANNA C. BLACKWELL, P.E.

**SITE PLAN SIGNATURE BLOCK**

APPROVED: \_\_\_\_\_  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, \_\_\_\_\_ day of \_\_\_\_\_

PLANNING & ZONING COMMISSION CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

OWNER / DEVELOPER:  
SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
PHONE: 830-431-0326  
EMAIL: j.kuper@sveare.com  
CONTACT: HARRY J. KUPER



Carrillo Engineering, LLC

301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102  
Phone 817-697-4996 - Firm Registration #F-15893

**OWT ARCHITECTS**

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**

ELLIS CENTRE #2 ADDITION  
BOCK C, LOT 3A-R  
1203 SIGMA CT,  
ROCKWALL, TX 75087

09/18/2020  
ISSUE DATE

**SITE PLAN**

**SP**



**EXTERIOR FINISHES**

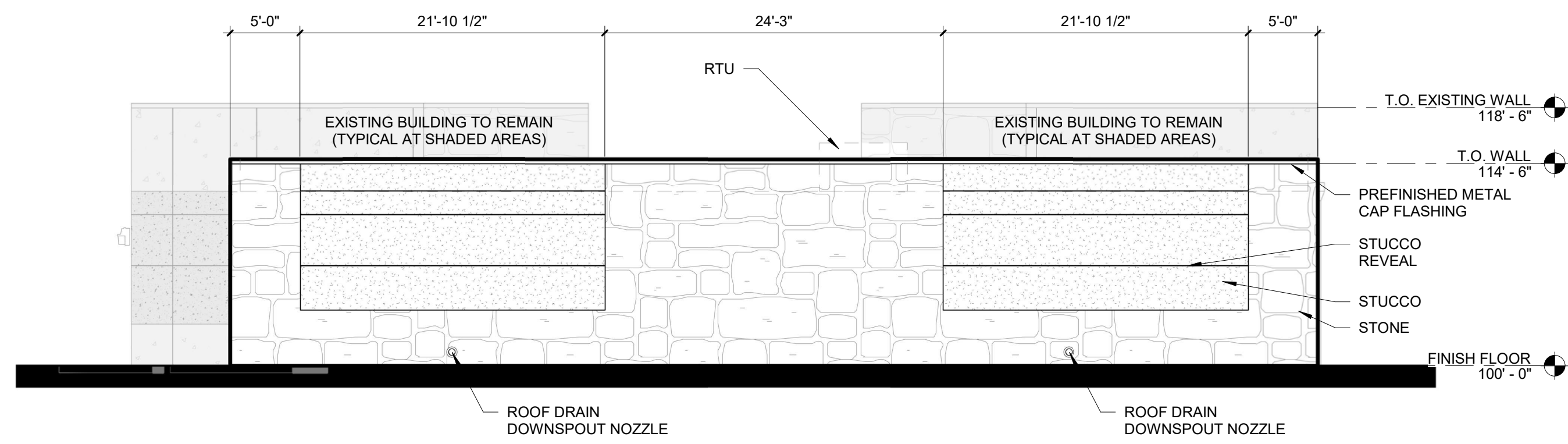
**BASIS OF DESIGN:**  
**STONE:** ELDORADO STONE - ROUGH CUT, COLOR = LOIRE VALLEY  
**STUCCO:** PAREX - MEDIUM TEXTURE, COLORS = PACIFIC SAND AND VIEJO  
**STOREFRONT:** ALUMINUM, COLOR = CLEAR ANODIZED  
**PARAPET COPING:** BERRIDGE - COLOR = BURGUNDY  
 \*THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**MASONRY CALCULATIONS**

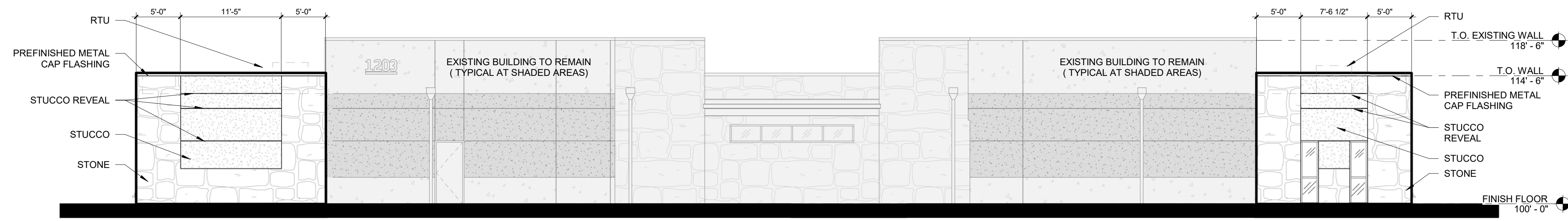
**NORTH: 480 SF**  
 STUCCO = 162 (33.7%)  
 STONE = 318 (66.3%)  
**SOUTH: 540 SF**  
 STUCCO = 189 (35%)  
 STONE = 351 (65%)  
**EAST: 885 SF**  
 STUCCO = 403 (45.5%)  
 STONE = 482 (54.5%)  
**WEST: 1,135 SF**  
 STUCCO = 462 (40.7%)  
 STONE = 673 (59.3%)  
**TOTAL: 3,040 SF**  
 STUCCO = 1,216 (40%)  
 STONE = 1,824 (60%)  
 \*TOTALS AND PERCENTAGES DO NOT INCLUDE GLAZING SQUAREFOOTAGES.

**GENERAL ELEVATION NOTES**

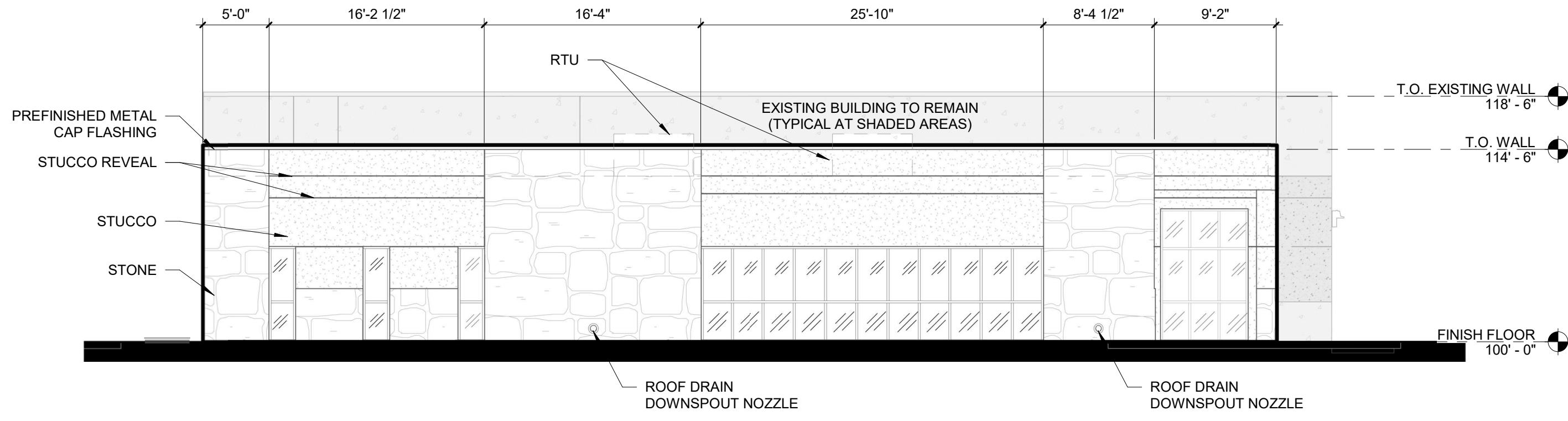
1. NEW HORIZONTAL STUCCO CONTROL JOINTS ARE TO MATCH THE HEIGHT OF EXISTING CONTROL JOINTS.



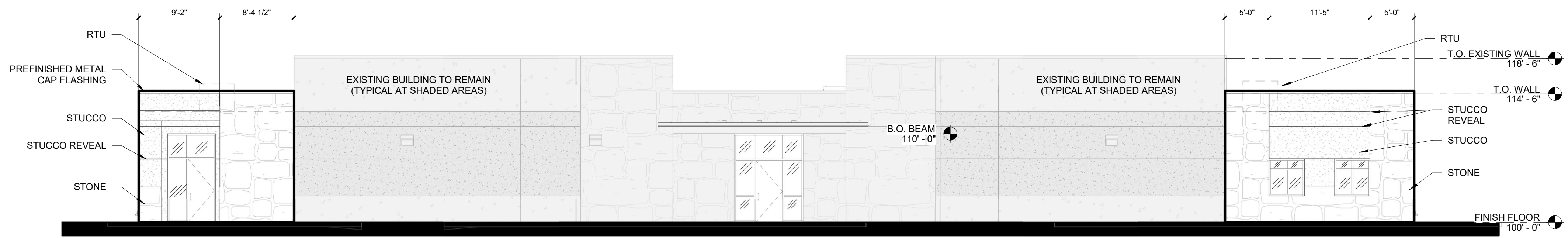
**WEST ELEVATION | 4**  
 SCALE: 1/8" = 1'-0" A3.00



**SOUTH ELEVATION | 3**  
 SCALE: 1/8" = 1'-0" A3.00



**EAST ELEVATION | 2**  
 SCALE: 1/8" = 1'-0" A3.00



**NORTH ELEVATION | 1**  
 SCALE: 1/8" = 1'-0" A3.00

SEPTEMBER 18, 2020  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OBLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OBLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OBLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OBLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date

**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9844  
 www.owtarchitects.com

**ROCKWALL DFPS**  
 1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**EXTERIOR ELEVATIONS**  
**A3.00**

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326  
 PROJECT CASE #: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_



1203

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE # \_\_\_\_\_

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS

COPING: BERRIDGE - COLOR = BURGUNDY

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = PACIFIC SAND

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = VIEJO



STONE: ELDORADO STONE -  
ROUGH CUT, COLOR = LOIRE VALLEY

STOREFRONT: ALUMINUM,  
COLOR = CLEAR ANODIZED

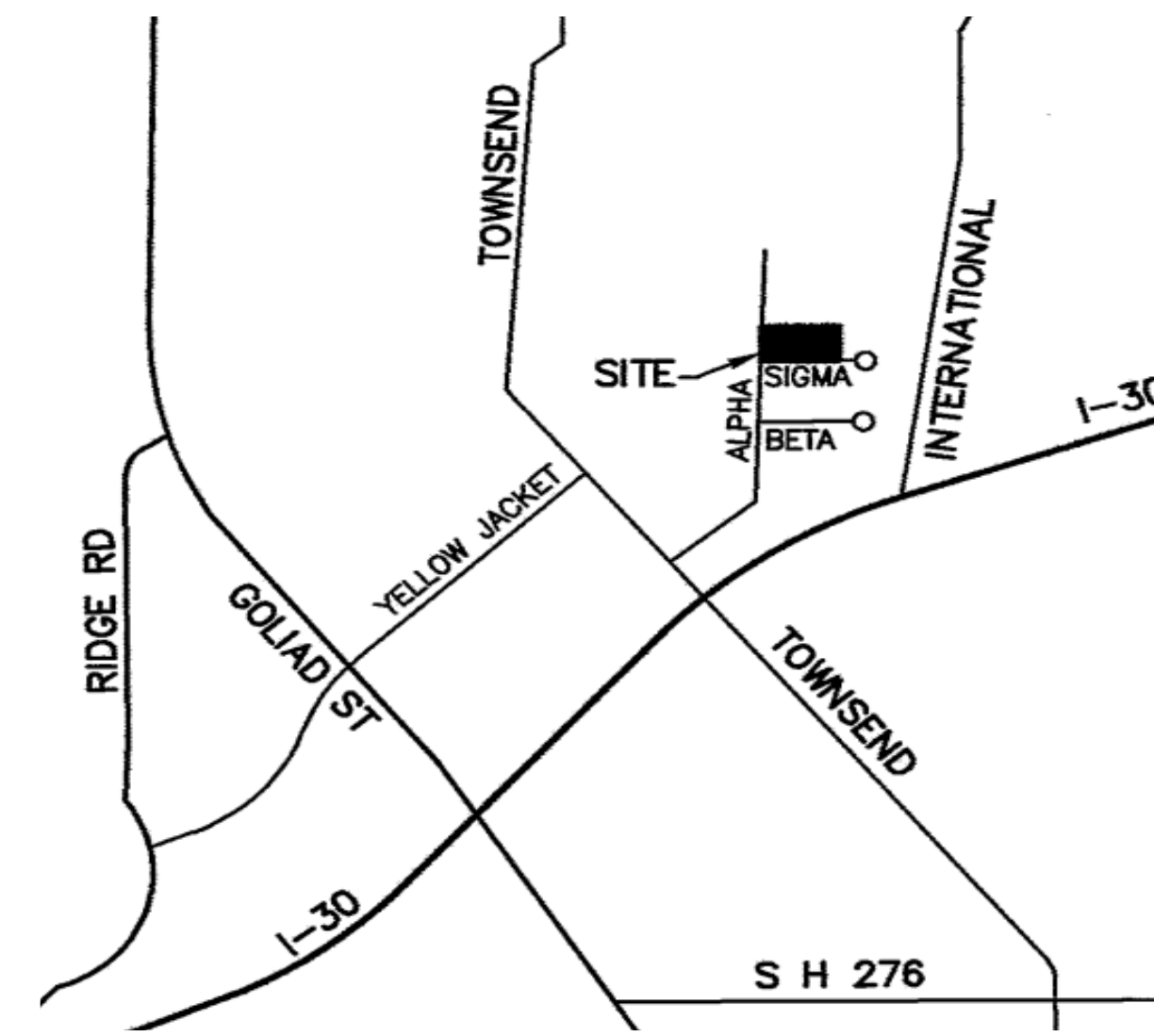
**NOTES:**

- THIS SHEET TO BE REPLACED WITH PHYSICAL SAMPLE COLOR BOARD ONCE ITEMS ARRIVE.
- THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**SVEA INDUSTRIAL II, LLC**  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

**OWT ARCHITECTS**  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

**ROCKWALL DFPS**  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #: \_\_\_\_\_



VICINITY MAP

**SITE PLAN LEGEND:**

- NEW FLATWORK
- NEW PAVEMENT, CONCRETE CURB AND PARKING STRIPING (IF APPLICABLE)
- NEW LANDSCAPING

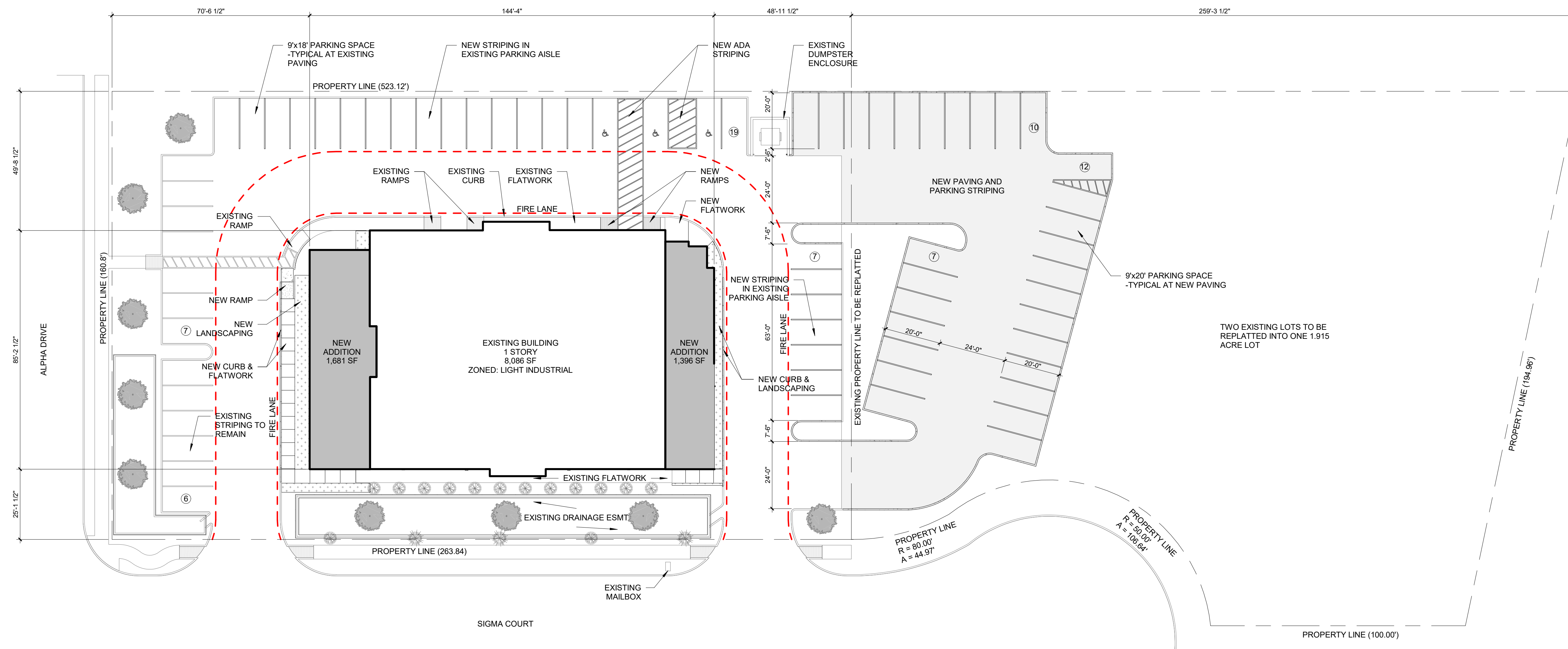
**GENERAL NOTES:**  
1. ALL EXISTING SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO WORK.

**PARKING REQUIREMENTS:**  
CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 6, TABLE 5: PARKING REQUIREMENT SCHEDULE:  
OFFICE BUILDING REQUIRED = 1 PER 300 SF  
11,788 SF / 300 SF = 39.22 (40) SPACES REQUIRED  
2 HANDICAP SPACES REQUIRED  
DFPS REQUIREMENT = 68  
PROVIDED:  
39 EXISTING SPACES TO REMAIN (SOME RE-STRIPED)  
29 NEW SPACES  
68 SPACES PROVIDED (3 ADA SPACES)

**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**

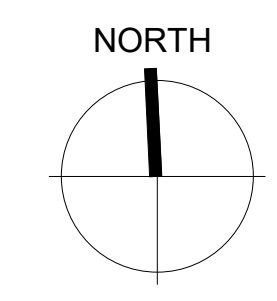
RICHARD WILLIAMS  
SEPTEMBER 18, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY ONLY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. ONLY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF ONLY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO ONLY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



Revision Schedule

Rev. #	Revision Description	Revision Date
--------	----------------------	---------------



**OWT ARCHITECTS**

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844

www.owtarchitects.com

**ROCKWALL DFPS**

1203 SIGMA CT,  
ROCKWALL TX 75087

2020-007-00

SEPTEMBER 18, 2020

**ARCHITECTURAL SITE PLAN**

**A1.00**

**SITE PLAN | 1**  
SCALE: 3/64" = 1'-0" | A1.00

SVEA INDUSTRIAL II, LLC  
1614 LAVACA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

PLANT MATERIAL SCHEDULE								
QUANTITY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	SPREAD	CONT.	REMARKS	
<b>TREES</b>								
3	CEDAR ELM	ULMUS CRASSIFOLIA	4'	12'	4'	46 GAL.	FULL & MATCHED, STRAIGHT TRUNK	
4	LACEBARK ELM	ULMUS PARVIFOLIA	4'	13'	5'	88B	FULL & MATCHED, STRAIGHT TRUNK	
<b>ACCENT TREES</b>								
5	MEXICAN PLUM	PRUNUS MEXICANA	-	48" MIN.	48"	5 GAL.	SPACING AS INDICATED ON PLANS	
<b>SHRUBS &amp; LARGE PERENNIALS</b>								
9	DWARF WAX MYRTLE	MYRICA CERIFERA	-	36" MIN.	36" MIN.	5 GAL.	36" O.C. TRIANGULAR SPACING, OR AS INDICATED ON PLANS	
<b>ORNAMENTAL GRASSES</b>								
175 sf	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	-	12"	12"	4" POT	18" O.C. TRIANGULAR SPACING, OR AS INDICATED ON PLANS	
<b>SMALL PERENNIALS &amp; GROUND COVER</b>								
30 SF	BERKELEY SEDGE	CAREX DIVULSA	-	6"	12"	4" POT	12" O.C. TRIANGULAR SPACING	
<b>TURF GRASS</b>								
5,193 SF	BERMUDA GRASS SEED	CYNODON DACTYLON						HYDRO-SEED APPLICATION

NOTE: DIMENSIONS OF SOD PLACEMENT ARE TYPICAL. CONTRACTOR TO PROVIDE SOD AT ALL DISTURBED AREAS EVEN IF NOT SPECIFICALLY DIMENSIONED ON PLANS.

**PLANT SYMBOL LEGEND**

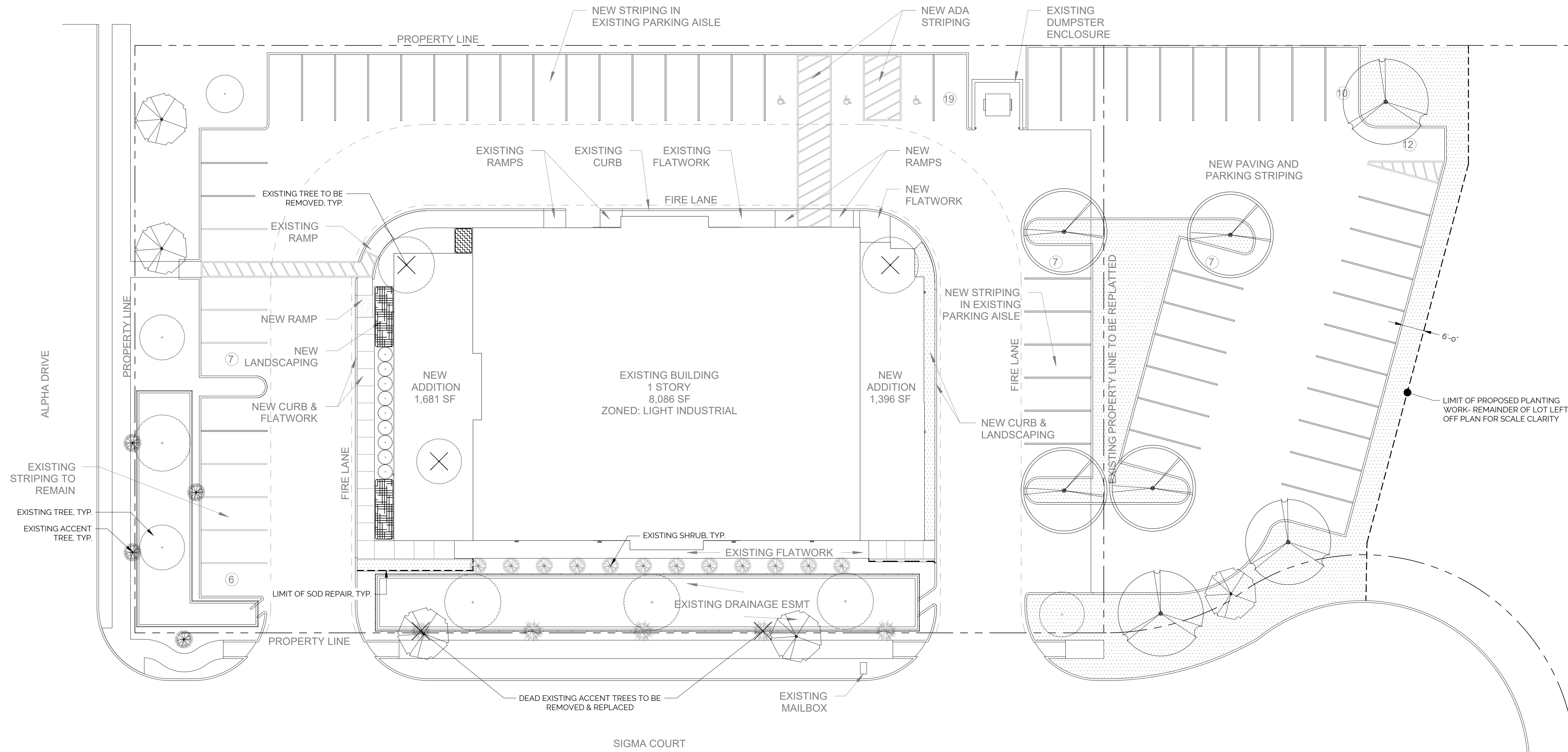


PROJECT LANDSCAPE DATA TABLE				
CITY LANDSCAPE REQUIREMENTS				
TYPE	REQUIREMENT	AREA / MEASUREMENT	REQUIRED	PROVIDED
GENERAL	15% OF GROSS SITE AREA IN LIGHT INDUSTRIAL DISTRICTS SHALL BE LANDSCAPE	82,665 SF	12,400 SF	39,297 SF
	100% OF TOTAL REQ. LANDSCAPE AREA SHALL BE LOCATED IN FRONT OF AND ALONG SIDE OF BLDG. WITH STREET FRONTAGE	12,400 SF	12,400 SF	38,739 SF
	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25SF UNLESS IT IS WITHIN 10 FEET OF A BLDG. ON SAME LOT.	-	YES	YES
	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND TREES.	-	YES	YES
	DETENTION BASINS: THERE SHALL BE A MINIMUM OF 1 CANOPY TREE PER 750SF, AND 1 ACCENT TREE OF DETENTION AREA.	2,908 SF	4 CANOPY TREES 4 ACCENT TREES	5 EXISTING CANOPY TREES 9 TREES (7 EXISTING ACCENT TREES)
	PARKING LOT LANDSCAPING: WHEN PARKING AND MANEUVERING SPACE EXCEEDS 20,000SF, 1 LARGE CANOPY TREE FOR EVERY 10 PARKING SPACES SHALL BE PLANTED INTERNAL TO THE PARKING AREAS.	28,577 SF 68 PARKING SPACES	7 CANOPY TREES	7 TREES (1 EXISTING)
BUFFER	PARKING LOT LANDSCAPING: NO REQUIRED PARKING SPACES MAY BE LOCATED MORE THAN 80 FEET FROM THE TRUNK OF A CANOPY TREE.	-	YES	YES
	ALL LANDSCAPE BUFFERS AND PUBLIC R.O.W. LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH SOD GRASS.	-	YES	YES
	MINIMUM 10' WIDE LANDSCAPE BUFFER ADJACENT TO RIGHT-OF-WAY ALONG ENTIRE LENGTH OF ABUTTING FRONTAGE SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM, AND SHRUBBERY TOTALING A MINIMUM HEIGHT OF 30'.	-	YES	YES
	R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 CANOPY TREE PER 50LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (6 EXISTING) R.O.W. ALPHA DRIVE: 4 EXISTING TREES
	R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 ACCENT TREE PER 50LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (4 EXISTING) R.O.W. ALPHA DRIVE: 4 TREES (2 EXISTING)



September 18, 2020  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OBLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS ELECTRONIC FORMS OBLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ACCTIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OBLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OBLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

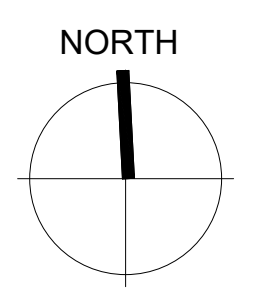
Revision Schedule		
Rev. #	Revision Description	Revision Date



LANDSCAPE PLAN 1  
 SCALE: 1/16" = 1'-0" L1.00

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326

PROJECT CASE #:  
 SIGNATURE:



**OWT ARCHITECTS**  
 509 PECAN STREET SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9644  
 www.owtarchitects.com

**ROCKWALL DFPS**

1203 SIGMA CT,  
 ROCKWALL, TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**LANDSCAPE PLAN**

**L1.00**

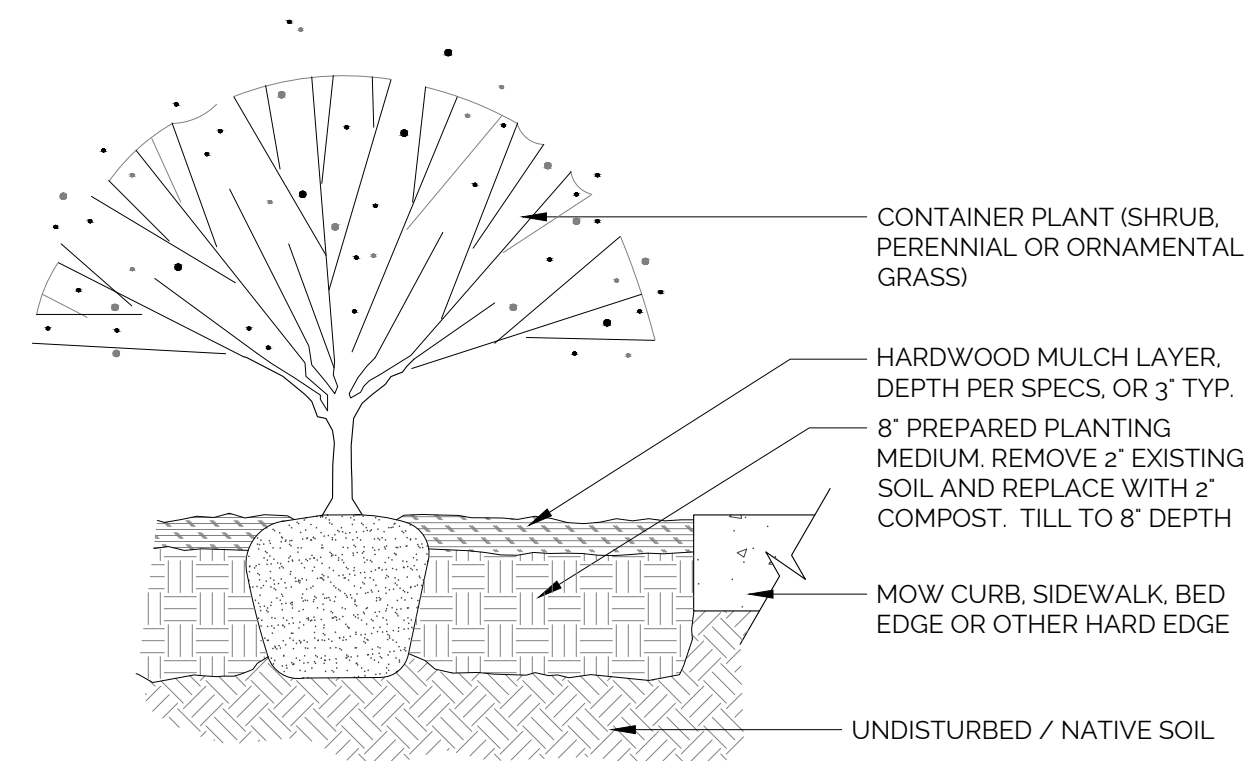


# Valley Quest DESIGN

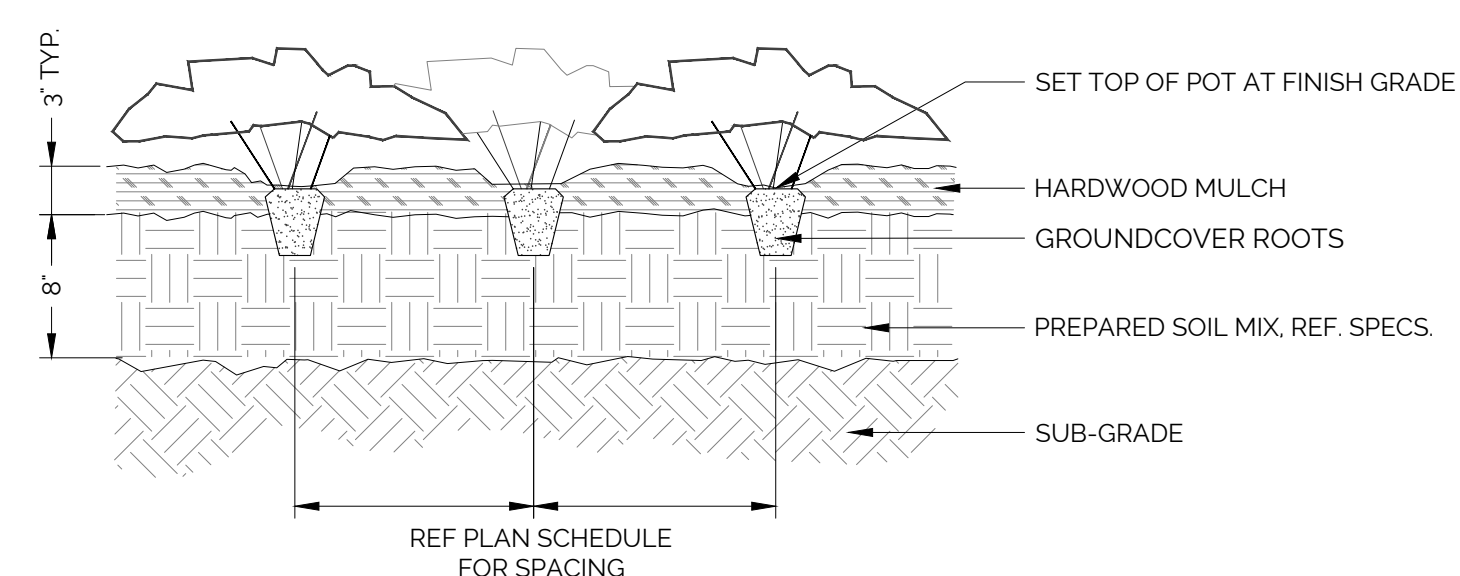
LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

September 18, 2020

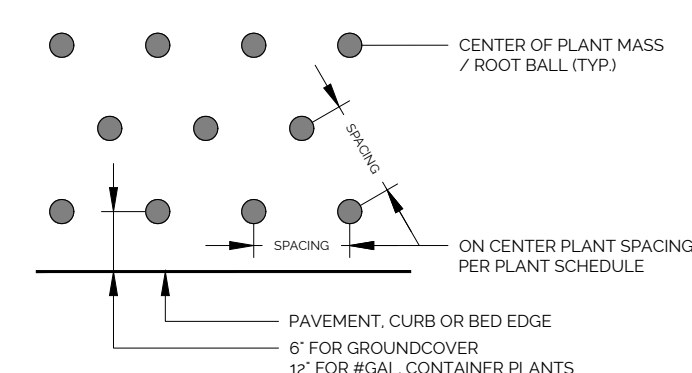
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



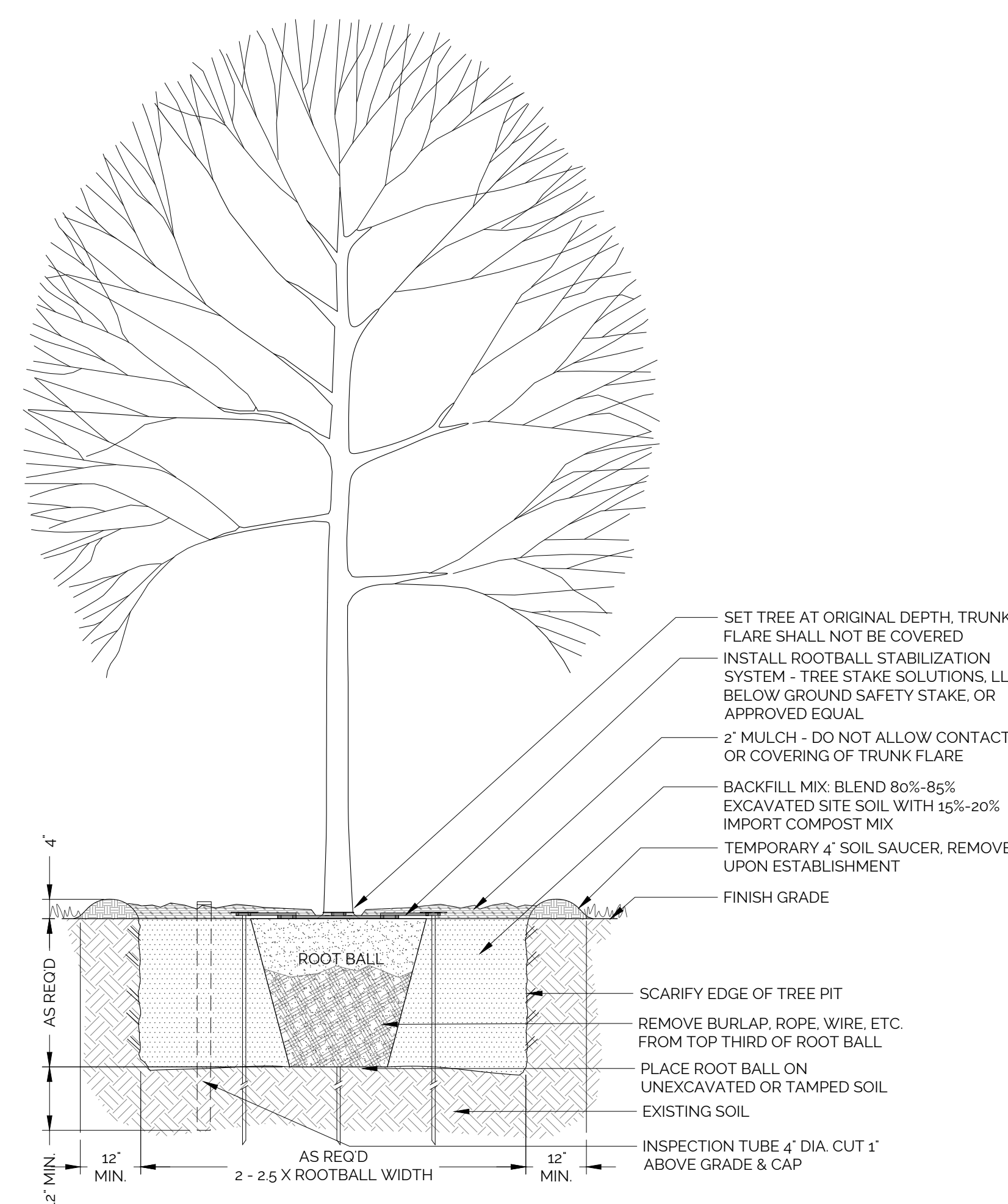
## 1 CONTAINER PLANTING 1'-1'-0"



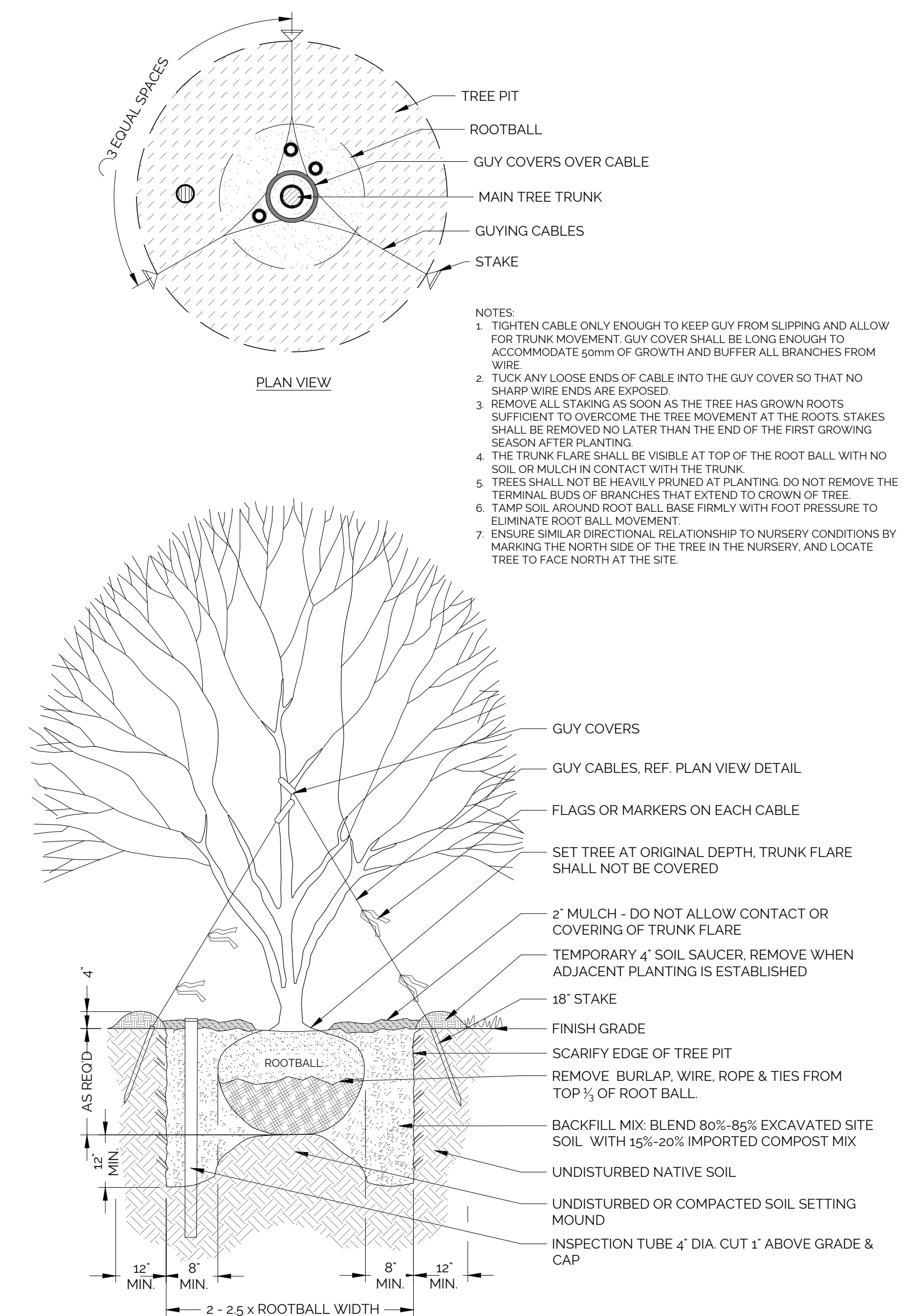
## 2 GROUNDCOVER PLANTING 1 1/2'-1'-0"



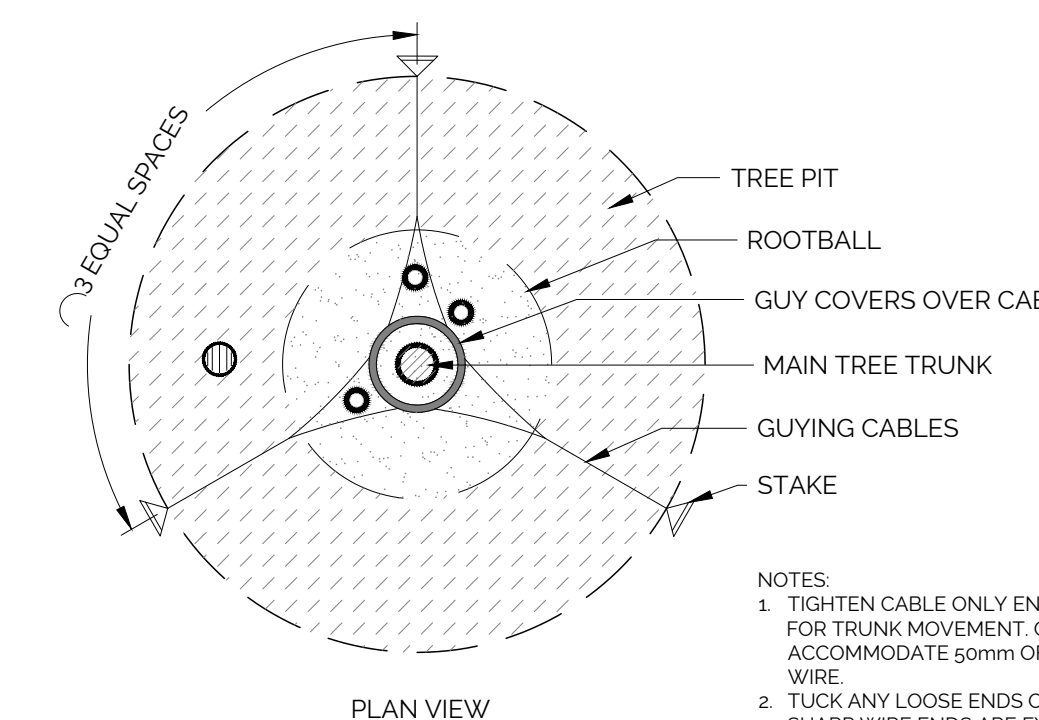
## 3 PLANT SPACING 1/4'-1'-0"



## 4 SHADE TREE PLANTING 1/2'-1'-0"

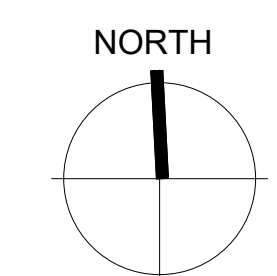


## 5 MULTI-STEM TREE PLANTING 1/2'-1'-0"



- NOTES:
- TIGHTEN CABLE ONLY ENOUGH TO KEEP GUY FROM SLIPPING AND ALLOW FOR TRUNK MOVEMENT. GUY COVER SHALL BE LONG ENOUGH TO ACCOMMODATE 50mm OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
  - TUCK ANY LOOSE ENDS OF CABLE INTO THE GUY COVER SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
  - REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN ROOTS SUFFICIENT TO OVERCOME THE TREE MOVEMENT AT THE ROOTS. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
  - THE TRUNK FLARE SHALL BE VISIBLE AT TOP OF THE ROOT BALL WITH NO SOIL OR MULCH IN CONTACT WITH THE TRUNK.
  - TREES SHALL NOT BE HEAVILY PRUNED AT PLANTING. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO CROWN OF TREE.
  - TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE TO ELIMINATE ROOT BALL MOVEMENT.
  - ENSURE SIMILAR DIRECTIONAL RELATIONSHIP TO NURSERY CONDITIONS BY MARKING THE NORTH SIDE OF THE TREE IN THE NURSERY, AND LOCATE TREE TO FACE NORTH AT THE SITE.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

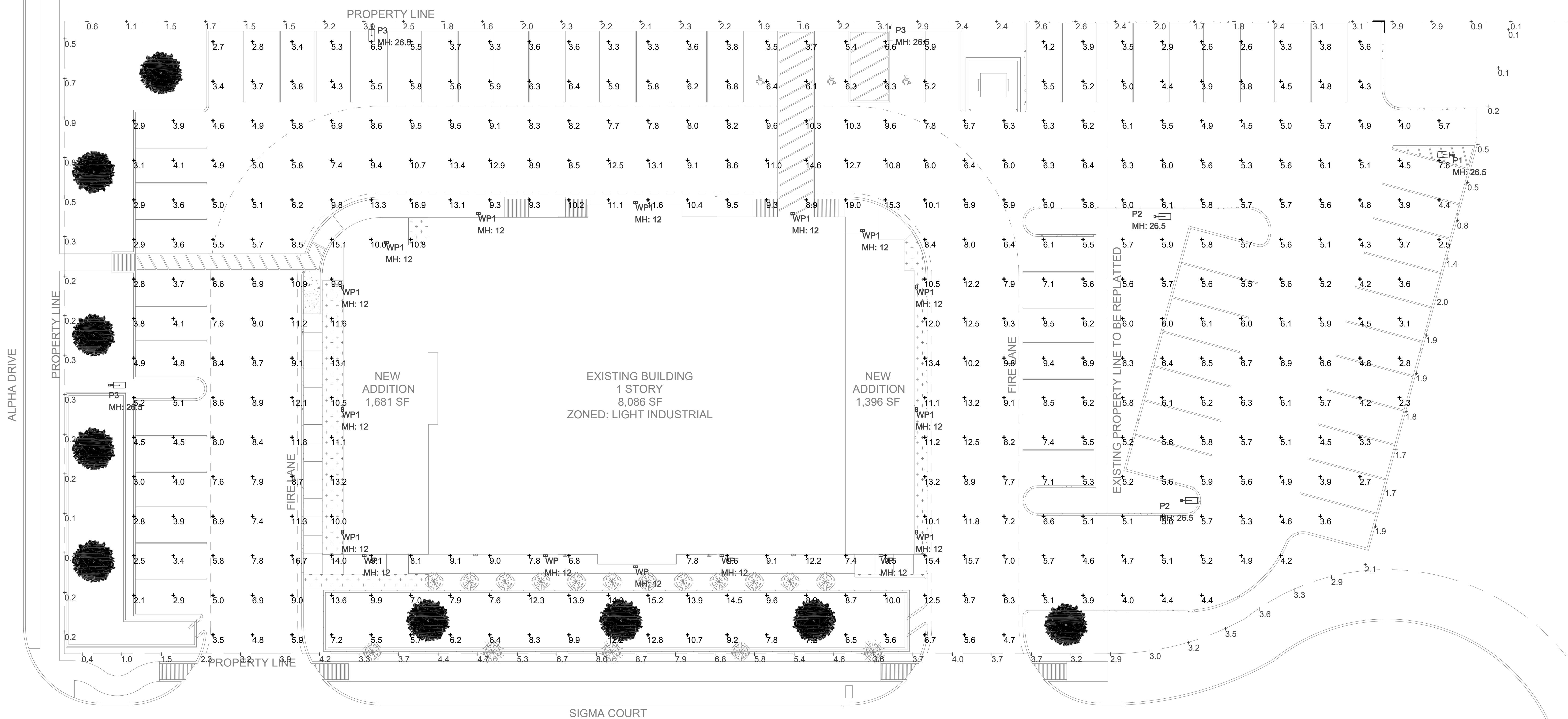
**ROCKWALL DFPS**  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
2020-007-00  
SEPTEMBER 18, 2020

**LANDSCAPE  
DETAILS**  
**L5.00**

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326  
PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_



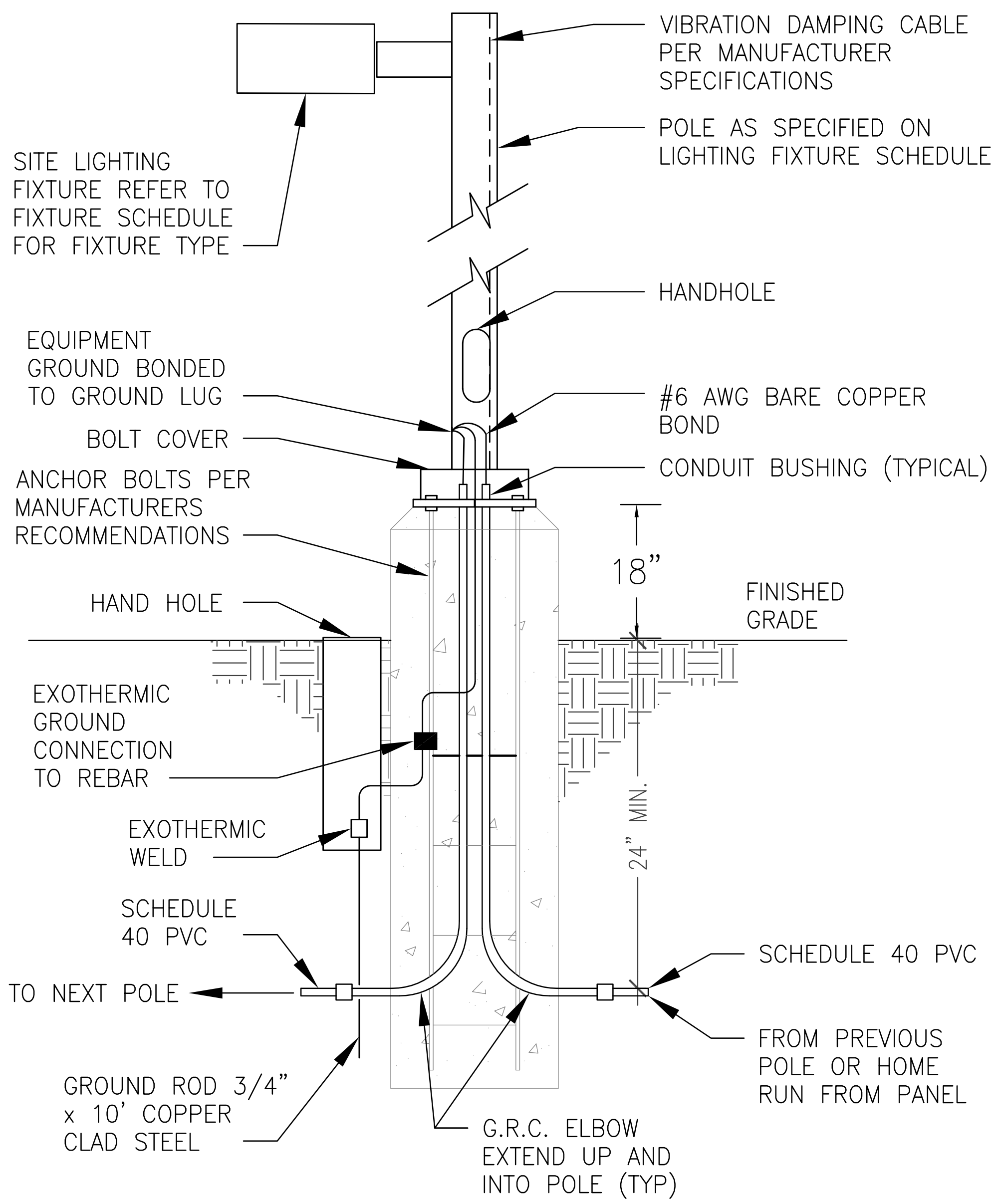
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY COLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. COLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF COLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO COLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



LIGHTING PHOTOMETRIC SITE PLAN  
SCALE: 1/16"=1'-0"

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
[Symbol]	1	P1	SINGLE	0.912	GLEON-AF-04-LED-E1-SL3-HSS	225	225	20984
[Symbol]	2	P2	SINGLE	0.912	GLEON-AF-06-LED-E1-SNG	333	666	37566
[Symbol]	3	P3	SINGLE	0.912	GLEON-AF-04-LED-E1-SL2-HSS	225	675	20344
[Symbol]	5	WP	SINGLE	0.912	GWC-AF-02-LED-E1-T4W	113	565	12619
[Symbol]	11	WP1	SINGLE	0.912	GWC-AF-02-LED-E1-T4FT	113	1243	12784

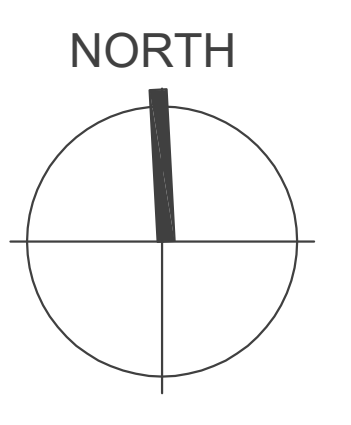
Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISpclLr	PISpctb	CALC HT
PROPERTY LINE	Illuminance	Fc	2.35	8.7	0.1	23.50	87.00	10	N.A.	N.A.
SITE CAL PTS	Illuminance	Fc	7.05	19.0	2.1	3.36	9.05	10	10	0



1 POLE BASE/MOUNTING DETAIL  
NTS

**CLARK ENGINEERING ASSOCIATES**  
CONSULTING ENGINEERS  
8704 BALTUSROL DR.  
FLOWER MOUND, TEXAS 75022  
214-926-7840 FAX: 817-567-0068  
TEXAS REGISTRATION NO. 43525

Revision Schedule		
Rev. #	Revision Description	Revision Date



OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

SVEA INDUSTRIAL II, LLC  
1614 LAVACA STREET  
AUSTIN, TEXAS 78701  
803.431.0326  
PROJECT CASE #:  
SIGNATURE:

E3.1