

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 9, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **OPEN FORUM**

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) **CONSENT AGENDA**

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the August 26, 2025 Planning and Zoning Commission meeting.

(2) **P2025-028 (HENRY LEE)**

Consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Final Plat for Phase 1 of the Southside Hills Subdivision consisting of 284 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-205 [S. Goliad Street] south of the intersection of SH-205 and FM-549, and take any action necessary.

(3) **P2025-029 (ANGELICA GUEVARA)**

Consider a request by Javier Silva of JMS Custom Homes, LLC for the approval of a Replat for Lots 7 & 8, Block J, Sanger Addition being a 0.23-acre tract of land identified as a portion of Lot 2, Block J, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 803 & 805 Sam Houston Street, and take any action necessary.

(4) **P2025-030 (BETHANY ROSS)**

Consider a request by Nick Keran of Urban Strategy on behalf of Sherif Sharawi of Rockwall Steel Co., Inc. for the approval of a Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition being a 55.192-acre tract of land identified as Lot 2, Block A, Industrial Boulevard Addition and Tract 3 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the east side of Industrial Boulevard north of the IH-30 Frontage Road, and take any action necessary.

(5) **SP2025-036 (HENRY LEE)**

Discuss and consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Site Plan for Phase 1 of the Southside Hills Subdivision consisting of 284 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-205 [S. Goliad Street] south of the intersection of SH-205 and FM-549, and take any action necessary.

(IV) **PUBLIC HEARING ITEMS**

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

- (6) **Z2025-050 (RYAN MILLER)**
Hold a public hearing to discuss and consider a Text Amendment to Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) for the purpose of establishing requirements that relate to an applicant's failure to appear at a public hearing, and take any action necessary.
- (7) **Z2025-051 (RYAN MILLER)**
Hold a public hearing to discuss and consider a Text Amendment to Article 12, *Enforcement*, of the Unified Development Code (UDC) for the purpose of establishing an expiration date for building permits that are dormant or show little progress towards completion, and take any action necessary.
- (8) **Z2025-052 (RYAN MILLER)**
Hold a public hearing to discuss and consider a Text Amendment to Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) for the purpose of making changes to the boundary and development requirements of the Southside Residential Neighborhood Overlay (SRO) District, and take any action necessary.
- (9) **Z2025-053 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a *Carwash* on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.
- (10) **Z2025-054 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Stephen B. Duncan for the approval of a Specific Use Permit (SUP) for a *Carport and Accessory Building* on a one (1) acre parcel of land identified as Lot 18, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2389 Saddlebrook Lane, and take any action necessary.
- (11) **Z2025-055 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a PD Development Plan for *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.
- (12) **Z2025-056 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.368-acre tract of land identified as a Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 308 Harborview Drive, and take any action necessary.
- (13) **Z2025-057 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Residence Hotel* on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.
- (14) **Z2025-058 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Leonard and Debra Lynskey for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* that exceeds the maximum size on a 0.445-acre parcel of land identified as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310 Sarah Drive, and take any action necessary.
- (15) **Z2025-059 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.

(16) **Z2025-060 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Anthony Rendon on behalf of Marcelino Rendon for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.570-acre parcel of land identified as Lot 1 of the Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 710 Hartman Street, and take any action necessary.

(17) **Z2025-061 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change from Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District for a 2.56-acre parcel of land identified as [1] Lot 1A, 2A, 1B, 2B & 1C and a portion of Lots 3 & 4, Block H, Sanger Addition, [2] Lots 1 & 2, Block A, M & M Johnson Addition, [3] Lots 1 & 2, Block A, Rios Buffington Addition, and [4] Lots 1 & 2, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, bounded by E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street, and take any action necessary.

(V) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(18) **P2025-027 (HENRY LEE) [THE APPLICANT HAS TABLED THIS CASE TO SEPTEMBER 30, 2025]**

Discuss and consider a request by Joshua Ince of Kirkman Engineering on behalf of Kris Ramji of Slate Commercial for the approval of a Preliminary Plat for Lots 1-8 & 2X, Block 1, Rockwall Retail Addition being an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action necessary.

(19) **SP2025-029 (HENRY LEE) [THE APPLICANT HAS TABLED THIS CASE TO SEPTEMBER 30, 2025]**

Discuss and consider a request by Pene Sherman of P. Sherman Construction on behalf of Adam Mitchell for the approval of a Site Plan for an existing Office/Warehouse building on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 IH-30, and take any action necessary.

(20) **SP2025-033 (BETHANY ROSS) [THE APPLICANT HAS TABLED THIS CASE TO SEPTEMBER 30, 2025]**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kim Timpa for the approval of a Site Plan for an Office Building on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District land uses, addressed as 906 S. Goliad Street [SH-205], and take any action necessary.

(21) **SP2025-034 (BETHANY ROSS)**

Discuss and consider a request by Trey Peavy of RTT PCI, LLC for the approval of an Amended Site Plan for Outside Storage in conjunction with an existing Manufacturing Building on a 12.00-acre parcel of land identified as Lot 3, Block B, Rockwall Technology Park, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 2975 Discovery Boulevard, and take any action necessary.

(22) Hold an election to elect a Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of Article 02, Development Review Authority, of the Unified Development Code (UDC), and take any action necessary.

(VI) **DISCUSSION ITEMS**

(23) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- MIS2025-012: Special Request for 203 Lynn Drive **(DENIED)**
- Z2025-049: Text Amendment to Article 06, Parking and Loading, of the UDC **(1ST READING; APPROVED)**
- Z2025-044: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 5405 Ranger Drive **(2ND READING; APPROVED)**
- Z2025-045: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 606 Ross Street **(2ND READING; APPROVED)**

(VII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 3, 2025 at 5:00 PM, and remained so posted for at least three (3) business days preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
AUGUST 26, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC*
4 *USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

I. CALL TO ORDER

8 **Chairman. Dr. Jean Conway called the meeting to order at 6:00PM. Commissioners present were Ross Husting, John Hagaman, Carin Brock, Ellis**
9 **Bentley, Douglas Roth and David Schoen. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee,**
10 **Senior Planner Bethany Ross, City Engineer Amy Williams and Civil Engineer Madelyn Price. Staff absent were Assistant City Engineer Jonathan**
11 **Browning, Planning Technician Angelica Guevara and Planning Coordinator Melanie Zavala,**

II. APPOINTMENTS

15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
16 the agenda requiring architectural review.

18 **Director of Planning and Zoning Ryan Miller advised staff would provide ARB recommendations when staff presents the case.**

III. OPEN FORUM

22 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*
23 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*
24 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*
25 *Act.*

27 **Chairman Dr. Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.**

29 **Stan Jeffus**
30 **2606 Cypress Drive**
31 **Rockwall, TX 75087**

33 **Mr. Jeffus reminded everyone about the 13th Annual 9/11 Memorial Run, taking place on Saturday, September 13th, at the track near the library and**
34 **courthouse. The event features a 3.43-mile run in honor of the 343 New York City firefighters who lost their lives on 9/11. Participants will also**
35 **complete 23 push-ups to honor the 23 NYPD officers and 37 sit-ups in remembrance of the 37 Port Authority officers who died in the line of duty.**

37 **Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time; there being no one indicating such, Chairman Dr.**
38 **Conway closed the open forum.**

IV. CONSENT AGENDA

42 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*
43 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

45 2. Approval of the Minutes for the August 12, 2025 Planning and Zoning Commission meeting.

47 3. Approval of the Minutes for the July 24, 2025 joint Planning and Zoning Commission/City Council meeting.

4. SP2025-031 (BETHANY ROSS)

50 Discuss and consider a request by Michael Williamson for the approval of a Site Plan for an existing Manufacturing Building on a 1.9510-acre tract of land
51 identified as Tract 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District,
52 addressed as 626 National Drive, and take any action necessary.

54 **Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Roth seconded the motion which was approved by a vote**
55 **of 7-0.**

V. PUBLIC HEARING ITEMS

59 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*
60 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*
61 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*
62 *to three (3) minutes out of respect for the time of other citizens.*

5. Z2025-049 (RYAN MILLER)

65 Hold a public hearing to discuss and consider a *Text Amendment* to Article 06, *Parking and Loading*, and Article 13, *Definitions*, of the Unified Development
66 Code (UDC) for the purpose of defining the residential garage orientations permitted in the City of Rockwall, and take any action necessary.
67

68 Director of Planning and Zoning, Ryan Miller, provided a brief summary regarding the proposed case. Staff is bringing forward a proposed Text
69 Amendment intended to define garage configurations that are already permitted within the City of Rockwall, as currently addressed in two separate
70 articles of the Unified Development Code (UDC). Specifically, Article 6 outlines permitted garage types, which include J-Swing and recessed front
71 entry configurations. In addition to consolidating existing provisions, staff is proposing updates to the definitions related to garage orientation within
72 both the UDC and Planned Development Districts (PDs) throughout the City. These definitions include front entry garages, recessed front entry, side
73 entry, and J-Swing configurations. The purpose of this amendment is to provide greater clarity for builders by standardizing the terminology used
74 in City ordinances. Staff has identified instances in which builders have interpreted the definitions of J-Swing and side entry garages differently.
75 This amendment aims to eliminate such discrepancies and ensure consistent application of the regulations.
76

77 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.
78

79 Bob Wacker
80 309 Featherstone Drive
81 Rockwall, TX 75087
82

83 Mr. Wacker came forward and explained the definitions were misleading.
84

85 Director of Planning and Zoning Ryan Miller explained staff was defining what is allowed in Article 6 if you build in a straight zoning district not a
86 Planned Development District, but in Planned Development district they also have other garage configurations that are referenced. In the definition
87 section they are providing definitions that cover not only what is allowed by the zoning code but also what is allowed in those Planned Development
88 Districts. Each of those categories are a category that have been used in the Planned Development District that has no definition.
89

90 Chairman Dr. Conway asked if anyone who wished to come forward at this time, there being no one indicating such, Chairman Dr. Conway closed
91 the Public Hearing and brought the item back for discussion or action.
92

93 Commissioner Roth asked if this would be a clarification for the definitions, and if it would affect any of the existing projects.
94

95 Director of Planning and Zoning Ryan Miller explained that it wouldn't be changing anything just defining the orientations that are already permitted.
96

97 Commissioner Hustings made a motion to approve Z2025-049. Commissioner Schoen seconded the motion which passed by a vote of 7-0.
98

99 VI. ACTION ITEMS

100 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
101 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
102
103

104 6. SP2025-035 (HENRY LEE)

105 Discuss and consider a request by Tom Bader of Rockwall Artisan Home on behalf of Shanon Zais for the approval of an *Amended Site Plan* for *Minor Waiver*
106 to the color requirements of the Downtown (DT) District for a 0.057-acre tract of land identified as a portion of Lot 1 & 6, Block L, Rockwall OT Addition, City
107 of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 218 E. Rusk Street, and take any action necessary.
108

109 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. He explained that the Downtown District has a different
110 set of requirements compared to other districts, as it is more design-focused. Among these requirements are specific guidelines related to building
111 colors. For example, accent colors covering less than 1% of the building façade are allowed, except for fluorescent colors, which are prohibited.
112 Additionally, black, gold, and stark white are not permitted as accent colors. In this case, the applicant is proposing to repaint the top band of the
113 building which is currently a muted brown, consistent with the Unified Development Code (UDC) to black. They are also requesting to paint the
114 support posts of the canopy black, but no changes are being made to the canopy itself or the brick. Under the UDC, any variance to the color
115 requirements is classified as a minor waiver and must be reviewed by the Planning and Zoning Commission, which will then forward a
116 recommendation to the City Council.
117

118 Commissioner Roth asked if the awning would be changing color.
119

120 Chairman Dr. Conway asked if this would be less than 1% of the building.
121

122 Senior Planner Henry Lee explained 1% is what is permitted as an accent color. In this case it is greater than the 1%.
123

124 Commissioner Roth made a motion to approve SP2025-036. Commissioner Brock seconded the motion which passed by a vote of 7-0.
125

126 7. MIS2025-011 (ANGELICA GUEVARA)

127 Discuss and consider a request by Matthew Johnson for the approval of a *Miscellaneous Case* for an *Exception* to the parking requirements for an existing
128 *Office Building* on 0.80-acre parcel of land identified as Lot 1, Block A, Barrett Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
129 Development District 69 (PD-69) for limited Residential Office (RO) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District,
130 addressed as 1203 N. Goliad Street [SH-205], and take any action necessary.
131

132 Director of Planning and Zoning Ryan Miller provided a brief summary regarding the applicant's request. The applicant is seeking a variance from
133 the current parking requirements in order to establish a medical office. The original parking plan was designed for retail or office use, which
134 requires a parking ratio of 1 space per 250–300 square feet. However, medical offices require a higher parking ratio of 1 space per 200 square feet.
135 Currently, the site provides eight (8) parking spaces, but under the medical office requirement, eleven (11) spaces are needed resulting in a
136 deficiency of three (3) spaces. In their letter, the applicant indicated plans to add sixteen (16) to eighteen (18) additional parking spaces in the
137 future, though it was not specified whether these would be located on-site. Staff reviewed the application and confirmed that the applicant has an
138 open pre-application meeting on file, which includes a plan showing that the additional 16–18 spaces will be shared with an adjacent property.
139 The applicant is requesting a variance for the three (3) parking spaces in order to obtain a Certificate of Occupancy and begin operations.
140

141 Matthew Johnson
142 1203 N. Goliad
143 Rockwall, TX 75087
144

145 Mr. Johnson came forward and explained he intends to open it for a medical office space.

146
147 Commissioner Schoen asked what the plan was in the future for the parking lot.

148
149 Commissioner Bentley asked when they would start the new parking.

150
151 Commissioner Hustings asked if they had a current agreement with the adjacent property owner to share parking.

152
153 Commissioner Brock asked what the plan was to control the parking and traffic flow if this variance gets granted.

154
155 Commissioner Brock asked if this would get denied if the applicant would have to go through the process again with the extra parking.

156
157 Director of Planning and Zoning Ryan Miller explained he would have to get a site plan and then he would need to go through the engineering
158 process.

159
160 Commissioner Hustings made a motion to approve MIS2025-011. Commissioner Brock seconded the motion which passed by a vote of 4-3 with
161 Commissioner Hagaman, Bentley and Schoen dissenting.
162

163 8. MIS2025-012 (HENRY LEE)

164 Discuss and consider a request by Tammy Underwood for the consideration of a *Special Request* to the *Manufactured Home Replacement* requirements of
165 Planned Development District 75 (PD-75) to allow a new *Manufactured Home* on a 0.1650-acre parcel of land identified as Lot 976A of the Rockwall Lake
166 Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses,
167 addressed as 203 Lynn Drive, and take any action necessary.
168

169 Senior Planner Henry Lee provided a brief summary of the applicant's request. Planned Development District 75 (PD-75) allows for a one-time
170 replacement of a manufactured or mobile home if it meets specific requirements, including a concrete foundation, a minimum roof pitch of 3:12,
171 and 90% masonry exterior materials such as Hardie board or lap siding. The new home must also be newer and larger than the one it replaces.
172 In this case, the applicant removed the previous home without a demolition permit. After reviewing the proposed replacement and working with
173 the applicant and manufacturer, staff determined that the new home met all PD-75 requirements. Staff allowed the home to be placed on the
174 property, with the understanding that Hardie board would be added after delivery due to shipping concerns. On August 15, 2025, the applicant
175 submitted a Special Request to allow Smart Board siding instead of Hardie board, citing issues with shipping and installation. Staff noted that
176 the shipping issue had been addressed and that Hardie board is widely used in town without reported problems.
177

178 Director of Planning and Zoning Ryan Miller explained these requirements have been in place since they established the Lake Rockwall Estates
179 in 2009. There are multiple manufactured homes that have Hardie board on them that have met the one-time replacement in the past.

180
181 Commissioner Roth asked if there are any in Lake Rockwall Estates that have been approved without the Hardie board.

182
183 Director of Planning and Zoning Ryan Miller explained he is not aware of any that have been approved under the one-time replacement that
184 haven't met the requirements.
185

186 Director of Planning and Zoning Ryan Miller explained that in 2009 when it was annexed they went through and cataloged everything in the Lake
187 Rockwall Estates subdivision. That was through the annexation process. Through the zoning requirements the one-time replacement referred to
188 any property that had a mobile home at the time of annexation was allowed a one-time replacement of that mobile home. There have been several
189 go through in the past when they become dilapidated. They go out and verify the size and age of the manufactured home through the permitting
190 process, then they're allowed to remove it and then they bring in a new manufactured home that is required to be larger and newer than the
191 previous and that is the one-time replacement.
192

193 Commissioner Bentley asked if they're voting on the material.

194
195 Commissioner Hustings asked if the agreement to install the Hardie board held, would they still being see this.
196

197 Tammy Underwood
198 203 Lynn Drive
199 Rockwall, TX 75032

200 Mrs. Underwood came forward and formally expressed her apologies for not obtaining the required permit. She explained that she had initially
201 believed it was the responsibility of the removal contractor to apply for the permit. Since then, she has been informed of the correct procedure
202 and now understands that it was her responsibility to ensure the permit was obtained.
203

204 Chairman Dr. Conway asked what the Smart Sighting material is.
205

206 Director of Planning and Zoning Ryan Miller explained it was OSB board.
207

208 Commissioner Bentley asked if there would be any changes to that ordinance.
209

210 Commissioner Hustings made a motion to approve MIS2025-012. Commissioner Brock seconded the motion which passed by a vote of 7-0.
211

212 VII. DISCUSSION ITEMS
213

214 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
215 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
216 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
217 *following cases is September 9, 2025.*
218
219

220 9. Z2025-050 (RYAN MILLER)

221 Hold a public hearing to discuss and consider a Text Amendment to Article 11, *Development Applications and Review Procedures*, of the Unified
222 Development Code (UDC) for the purpose of establishing requirements that relate to an applicant's failure to appear at a public hearing, and take any action
223 necessary.
224

225 Director of Planning and Zoning, Ryan Miller, provided a brief summary regarding the applicant's request. He highlighted a recurring issue with
226 applicants failing to attend their scheduled hearings. To address this, the proposed language would grant the Council the authority to deny a
227 case without having to hear it, specifically citing the failure of an applicant to appear at any city meeting as sufficient grounds for denial. This
228 change would formalize the practice, allowing the Council to deny cases when applicants are absent.
229

230 Commissioner Brock asked if it gets denied would it be denied for a year.
231

232 Director of Planning and Zoning Ryan Miller explained that if they do "denial without prejudice" would be a way to allow them to bring back an
233 application.
234

235 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
236

237 10. Z2025-051 (RYAN MILLER)

238 Hold a public hearing to discuss and consider a Text Amendment to Article 12, *Enforcement*, of the Unified Development Code (UDC) for the purpose of
239 establishing an expiration date for building permits that are dormant or show little progress towards completion, and take any action necessary.
240

241 Director of Planning and Zoning Ryan Miller provided a summary regarding this case. Outlining recent issues with building permits for single-
242 family homes. Specifically, he noted instances where construction would begin, but little to no substantial progress would be made over extended
243 periods sometimes exceeding a year. In these cases, minimal work was performed merely to keep the permit active and avoid expiration, as the
244 International Building Code allows permits to remain valid if six-month period of inactivity occurs. To address this, the City Attorney drafted
245 language for a proposed text amendment. This amendment states that any building permit issued on or after October 6, 2025, shall expire within
246 six months if no substantial progress is made, as determined by the Building Official, and if no expiration date was originally included. Permits
247 that expire under this provision would then be subject to code enforcement actions. For existing outstanding permits, a two-year grace period
248 from the ordinance adoption date will be provided to reach substantial completion. The Building Official may grant extensions, and a relief
249 process will be available through an appeal to the Board of Adjustments. As a quasi-judicial body, any further appeal of the Board's decision
250 must be made through the court system.
251

252 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
253

254 11. Z2025-052 (RYAN MILLER)

255 Hold a public hearing to discuss and consider a Text Amendment to Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of Article
256 05, *District Development Standards*, of the Unified Development Code (UDC) for the purpose of making changes to the boundary and development
257 requirements of the Southside Residential Neighborhood Overlay (SRO) District, and take any action necessary.
258

259 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the case, which involved a review of the Southside
260 Neighborhood Residential Overlay District and recommendations to better align it with the district's stated intent. The first recommendation
261 proposes adjusting the district boundaries to remove commercial properties, as the overlay was intended as a neighborhood preservation tool
262 and did not apply specific requirements to commercial uses. The second recommendation is to eliminate the reduced development standards
263 within the overlay district and instead apply the standards of the underlying Single-Family 7 (SF-7) zoning district. Staff found minimal differences
264 between the two sets of standards and noted that the SF-7 standards are now more reflective of current development trends in the area.
265

266 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
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12. **Z2025-053 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a *Carwash* on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

Senior Bethany Ross provided a brief summary regarding the applicant's request. The applicant is requesting a Specific Use Permit (SUP) for a carwash within the Scenic Overlay District. This case was previously approved in 2018; however, the applicant encountered site-related issues, and the SUP has since expired. As part of the original SUP approval, the applicant was required to implement a three-tiered screening along the southern property lines. Accordingly, that requirement has been retained in the draft ordinance.

Dub Douphrate
2325 Ridge Road
Rockwall, TX 75087

Mr. Douphrate came forward and provided additional details in regard to the applicants request.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

13. **Z2025-054 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Stephen B. Duncan for the approval of a Specific Use Permit (SUP) for a *Carport and Accessory Building* on a one (1) acre parcel of land identified as Lot 18, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2389 Saddlebrook Lane, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. The applicant is requesting a Specific Use Permit (SUP) for an accessory building that exceeds the maximum SF as well as a carport on the front of the accessory structure. This is not an abnormal request in the Saddlebrook subdivision.

Stephen Duncan
2389 Saddlebrook Lane
Rockwall, TX 75087

Mr. Duncan came forward and provided additional details in regards to his request.

Commissioner Hagaman asked if this would be a living quarter.

Commissioner Hustings asked if there will be concrete later on.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

14. **Z2025-055 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a PD Development Plan for *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

Senior Planner Henry Lee provided a brief summary regarding the applicant's request. Before the applicant can proceed with a site plan, a Planned Development (PD) plan must first be approved; therefore, this request is being brought forward. Staff noted that the applicant is proposing a private sports court with dedicated lighting, intended for use by a medical office. Additionally, while the proposed building elevations are acceptable and will be included in the ordinance, staff clarified that, based on the submitted materials, do not currently meet the City's articulation standards.

Lisa Deaton
1301 S. Goliad
Rockwall, TX 75087

Mrs. Deaton came forward and expressed the reason for the sports court would be for therapy sessions.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

15. **Z2025-056 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.368-acre tract of land identified as a Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 308 Harborview Drive, and take any action necessary.

334 Director of Planning and Zoning Ryan Miller provided a brief summary regarding the applicant's request. The applicant is requesting a Specific
335 Use Permit (SUP) for a residential infill project. There are two non-conforming elements associated with the request: the roof pitch, which is
336 proposed at 2:12 instead of the required 3:12, and the garage orientation, which is located one foot behind the front façade of the building.
337

338 Nahomi Anaya
339 5225 Maple Avenue
340 Dallas, TX 75235
341

342 Mrs. Anaya came forward and expressed she has been working through comments with staff.
343

344 Commissioner Bentley asked what material was being used for the roof
345

346 Mrs. Anaya explained it was composite shingle.
347

348 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
349

350 16. Z2025-057 (BETHANY ROSS)

351 Hold a public hearing to discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Conor Keilty, AIA of Structured REA-Rockwall
352 Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as
353 Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549
354 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.
355

356 Senior Planner Bethany Ross provided a brief summary regarding the applicant's request. The applicant is requesting a Specific Use Permit (SUP)
357 for a residence hotel. In this case, building elevations will not be finalized at this stage, as they do not currently meet the requirements of the
358 Overlay District standards. Compliance with these standards will be reviewed at the time of site plan submittal.
359

360 Kiew Kam
361 1782 W. McDermott Drive
362 Allen, TX 75013
363

364 Mr. Kam came forward and provided additional details in regard to the applicant's request.
365

366 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
367

368 17. Z2025-058 (ANGELICA GUEVARA)

369 Hold a public hearing to discuss and consider a request by Leonard and Debra Lynskey for the approval of a Specific Use Permit (SUP) for an Accessory
370 Structure that exceeds the maximum size on a 0.445-acre parcel of land identified as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition, City of
371 Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310
372 Sarah Drive, and take any action necessary.
373

374 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. The applicant is requesting a covered
375 porch building that exceeds the 500 SF. The proposed structure meets all the requirements in the UDC.
376

377 Dave Ramey
378 2310 Sarah Drive
379 Rockwall, TX 75087
380

381 Mr. Ramey came forward and provided additional details in regards to the applicants request.
382

383 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.
384
385

386 18. Z2025-059 (HENRY LEE)

387 Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural
388 (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R.
389 Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV)
390 District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.
391

392 Senior Planner Henry Lee provided a brief summary regarding the applicant's request. The applicant is requesting a zoning change from
393 Agricultural to a Planned Development District, with a base zoning of Single-Family 1 District. This case may appear familiar, as it was submitted
394 during the last development cycle. However, the applicant withdrew the request at that time due to their absence from the scheduled work session.
395 Since then, staff has been actively working with the applicant to address comments and refine the proposal.
396

397 William Solomon
398 4512 Legacy Drive
399 Plano, TX 75024
400

401 Mr. Solomon came forward and provided additional details in regard to the applicants request.

402 Chairman Dr. Conway asked what size the lots were.

403
404 Director of Planning and Zoning Ryan Miller explained they were minimums of an acre.

405
406 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

407
408 19. **Z2025-060 (BETHANY ROSS)**

409 Hold a public hearing to discuss and consider a request by Anthony Rendon on behalf of Marcelino Rendon for the approval of a Specific Use Permit (SUP)
410 for an Accessory Structure on a 0.570-acre parcel of land identified as Lot 1 of the Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-
411 Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 710 Hartman Street, and take any action necessary.

412
413 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a detached garage that
414 exceeds the maximum size for a detached garage in a single-family 7 district. This did go through the Historic Board and was approved with the
415 recommendation that the applicant match the color of the main structure.

416
417
418 Marcelino Rendon
419 710 Hartman
420 Rockwall, TX 75087

421
422 Mr. Rendon came forward and provided additional details in regards to the applicant's request.

423
424 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

425
426 20. **Z2025-061 (RYAN MILLER)**

427 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change from Multi-Family 14 (MF-14) District to a
428 Single-Family 7 (SF-7) District for a 2.56-acre parcel of land identified as [1] Lot 1A, 2A, 1B, 2B & 1C and a portion of Lots 3 & 4, Block H, Sanger Addition, [2]
429 Lots 1 & 2, Block A, M & M Johnson Addition, [3] Lots 1 & 2, Block A, Rios Buffington Addition, and [4] Lots 1 & 2, Block A, RHDC Addition, City of Rockwall,
430 Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, bounded by
431 E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street, and take any action necessary.

432
433 Director of Planning and Zoning Ryan Miller provided a brief summary regarding the applicant's request. This is a City initiated zoning change,
434 proposing a reclassification from Multi-Family 14 (MF-14) to Single-Family 7 (SF-7). The change is intended to better align with the character of
435 the district and the existing development pattern within the majority of the block. Rezoning to SF-7 not only supports the goals of the
436 Comprehensive Plan but also more accurately reflects the current land uses in the area. If approved, the existing duplex and triplex structures will
437 become legally non-conforming; however, they will be allowed to remain.

438
439 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

440
441
442 21. **P2025-027 (HENRY LEE)**

443 Discuss and consider a request by Joshua Ince of Kirkman Engineering on behalf of Kris Ramji of Slate Commercial for the approval of a Preliminary Plat for
444 Lots 1-8 & 2X, Block 1, Rockwall Retail Addition being an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of
445 Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-
446 Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard
447 and SH-276, and take any action necessary.

448
449 Senior Planner Henry Lee explained they have requested to table for two weeks therefore they will comeback at the end of September. They have
450 a few lots that do not have frontage that will need to be incorporated into lots that do have frontage.

451
452 22. **P2025-028 (HENRY LEE)**

453 Discuss and consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Final Plat for Phase 1 of the Southside Hills Subdivision consisting
454 of 284 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No.
455 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) and limited General Retail (GR)
456 District land uses, located on the east side of SH-205 [S. Goliad Street] south of the intersection of SH-205 and FM-549, and take any action necessary.

457
458 Senior Planner Henry Lee explained this will go to Parks Board and will return on the Consent Agenda.

459
460 Larry Corsen
461 8222 Douglas Avenue
462 Dallas, TX 75225

463
464 Mr. Corsen came forward and explained he has been working with staff to address comments.

465
466 23. **P2025-029 (ANGELICA GUEVARA)**

467 Discuss and consider a request by Javier Silva of JMS Custom Homes, LLC for the approval of a Replat for Lots 7 & 8, Block J, Sanger Addition being a 0.23-
468 acre tract of land identified as a portion of Lot 2, Block J, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District,
469 situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 803 & 805 Sam Houston Street, and take any action necessary.

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Director of Planning and Zoning Ryan Miller explained this will go to Parks Board and will be on the Consent Agenda at the next meeting.

24. SP2025-033 (BETHANY ROSS)

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kim Timpa for the approval of a Site Plan for an *Office Building* on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District land uses, addressed as 906 S. Goliad Street [SH-205], and take any action necessary.

Senior Planner Bethany Ross provided a brief summary in regard to the applicant's request. ARB did look at this and recommended the applicant front both Bourn street and Goliad to get frontage on Goliad.

Dub Douphrate
2235 Ridge Road
Rockwall, TX 75087

Mr. Douphrate came forward and provided additional details in regards to the applicant's request.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

25. SP2025-034 (BETHANY ROSS)

Discuss and consider a request by Trey Peavy of RTT PCI, LLC for the approval of an Amended Site Plan for *Outside Storage* in conjunction with an existing *Manufacturing Building* on a 12.00-acre parcel of land identified as Lot 3, Block B, Rockwall Technology Park, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 2975 Discovery Boulevard, and take any action necessary.

Senior Planner Bethany Ross provided a brief summary in regard to the applicant's request. The applicant is requesting an amended site plan for outside storage. Staff did suggest to the applicant to add some trees along the area to allow for better screening of the outside storage.

Trey Peavy
13182 S. FM 148
Scurry, TX 75158

Mr. Peavy came forward and provided additional details in regard to the applicant's request.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

26. SP2025-036 (HENRY LEE)

Discuss and consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Site Plan for Phase 1 of the Southside Hills Subdivision consisting of 284 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-[205 S. Goliad Street] south of the intersection of SH-205 and FM-549, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. Staff is working through comments with the applicant. In addition, they did show a primary entry at 205 and secondary at FM-549.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on September 9, 2025.

27. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2025-023: Replat for Lots 1 & 2, Block A, Webb Addition (APPROVED)
- P2025-025: Final Plat for Lots 1 & 2, Block A, West Street Addition (APPROVED)
- P2025-026: Final Plat for Lots 1 & 2, Block A, Gentry Addition (APPROVED)
- Z2025-044: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 5405 Ranger Drive (1ST READING; APPROVED)
- Z2025-045: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 606 Ross Street (1ST READING; APPROVED)
- Z2025-047: Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation for 2071 Summer Lee Drive, Suite R103 (WITHDRAWN)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced case at the City Council meeting.

VIII.ADJOURNMENT

Chairman Dr. Conway adjourned the meeting at 8:42 PM

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2025.

Dr. Jean Conway, Chairman

Attest:

538
539
540

Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Brian Cramer; CCD – Rockwall LLC
CASE NUMBER: P2025-028; *Final Plat for Phase 1 of the Southside Hills Subdivision*

SUMMARY

Consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Final Plat for Phase 1 of the Southside Hills Subdivision consisting of 284 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-205 [S. Goliad Street] south of the intersection of SH-205 and FM-549, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a Final Plat for a 262.94-acre tract of land (*i.e. Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80*) for the purpose of establishing Phase 1 of the Southside Hills Subdivision, which will consist of 284 single-family residential lots, six (6) open space lots, one (1) lift station, and one (1) public park (*i.e. Lots 1-73, Block A; Lots 1-18, Block B; Lots 1-8, Block C; Lots 1-14, Block D; Lots 1-23, Block E; Lots 1-23, Block F; Lots 1-19, Block G; Lots 1-12, Block H; Lots 1-26; Block I; Lots 1-21, Block J; Lots 1-2, Block K; Lots 1-21, Block L; Lots 1-11, Block M; Lots 1-21, Block O, Southside Hills Phase 1 Subdivision*). Staff should note that in conjunction with the final plat, the applicant has submitted a PD Site Plan [Case No SP2025-036].
- ☑ Background. The subject property is a 264.51-acre tract of land that was annexed into the City on November 4, 2010 by *Ordinance No. 10-27 [Case No. A2010-001]*. At the time of annexation, the subject property was zoned as an Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), at that time there was an existing 8,567 SF single-family home, a 1,568 SF mobile home, a 61,200 SF metal building, and various other commercial buildings situated on the property. On December 18, 2021, the applicant -- *Brian Cramer of Corson Cramer Development* -- submitted an application requesting to change the zoning [Case No. Z2021-057] of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and limited Commercial (C) District land uses, which was ultimately withdrawn. Following this submittal, the applicant submitted a subsequent application on May 20, 2022. This application was requesting to change the zoning [Case No. Z2022-028] of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and limited Commercial (C) District land uses. The applicant also withdrew this request on June 20, 2022. The applicant submitted a third and final zoning request [Case No. Z2022-039] to change the zoning on the subject property from Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and limited Commercial (C) District land uses on August 19, 2022. This case was approved by the City Council on October 3, 2022 through the adoption of *Ordinance No. 22-51*, which established Planned Development District 99 (PD-99). On January 21, 2025, the City Council approved a preliminary plat [Case No. P2024-042] and master plat [Case No. P2024-043] that established the preliminary lot layout and the phasing lines for the proposed subdivision and commercial areas associated with Planned Development District 99 (PD-99).
- ☑ Parks Board. Per the zoning ordinance for Planned Development District 99 (PD-99) [*Ordinance No. 22-51*], the Southside Hills Subdivision is not required to pay pro-rata equipment fees or cash-in-lieu of land fees; however, a fully amenitized 11.60-acre park must be developed and dedicated to the City of Rockwall. Normally the park improvements would be approved at the time of Master Plat; however, at the January 7, 2025 Parks Board meeting, the Board agreed to delay the approval of the park improvements until the PD Site Plan. That being said, as part of the Tree Mitigation

Settlement Agreement [Case No. MIS2025-008], the City Council approved the amenities that shall be provided in the park. On September 8, 2025, the Parks Board approved the proposed amenity locations.

- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.
- Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.

CONDITIONS OF APPROVAL

If City Council chooses to approve of a Final Plat for Phase 1 of the Southside Hills Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks Board recommendations as outlined above in this case memo; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5565 Hwy FM 549, Rockwall, TX

SUBDIVISION LOT BLOCK

GENERAL LOCATION West of SH 205 & South of FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-99

CURRENT USE

Ag

PROPOSED ZONING

PROPOSED USE

Single Family

ACREAGE 192.58 Ac.

LOTS [CURRENT] 0

LOTS [PROPOSED] 284 sf, 6 OS, 1 Lift Station, 1 Park & 1 Amenity Center = 293 Lots Total

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CCD - Rockwall LLC

APPLICANT Same

CONTACT PERSON Jason Wight

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

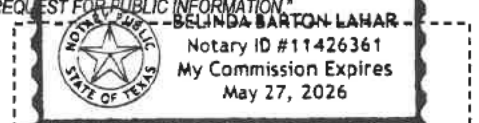
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Wight [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 4151.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF August, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF August, 2025

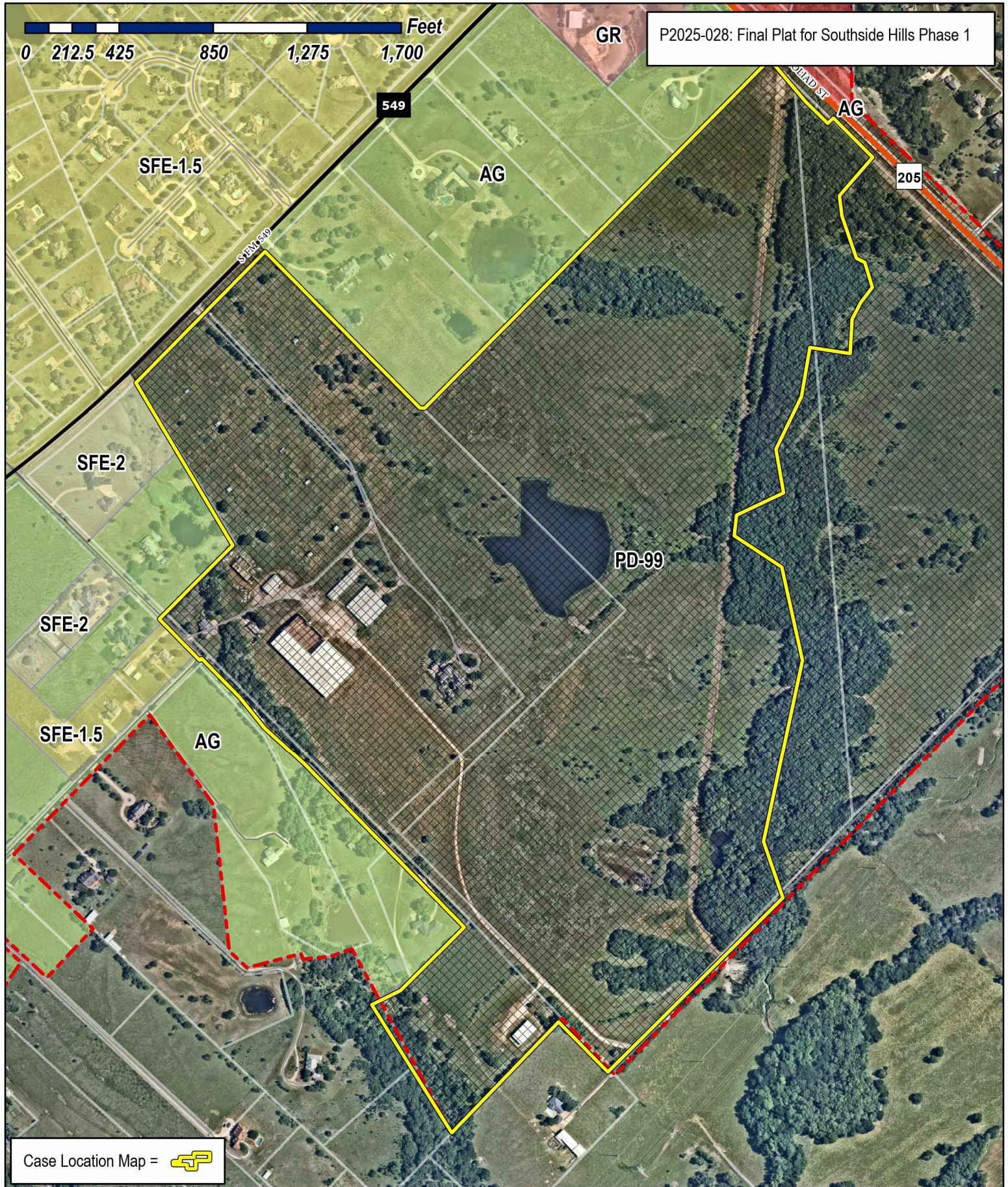
OWNER'S SIGNATURE



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Belinda Lahar

MY COMMISSION EXPIRES 5-27-2026

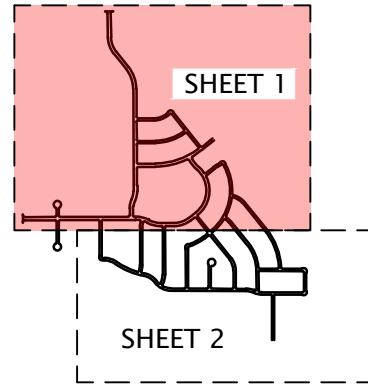


City of Rockwall

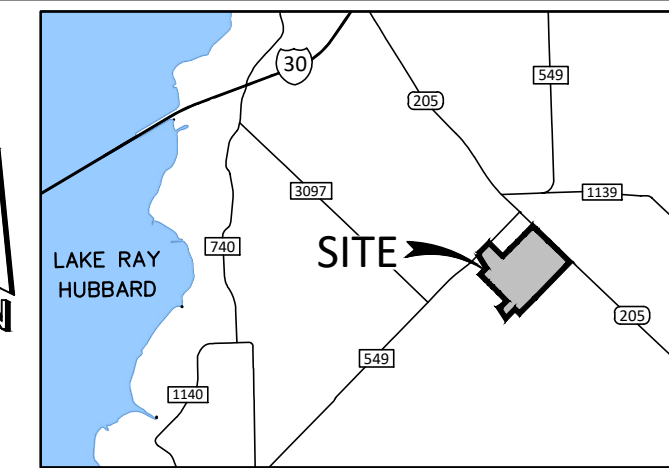
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





KEY MAP



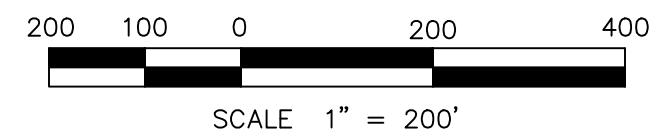
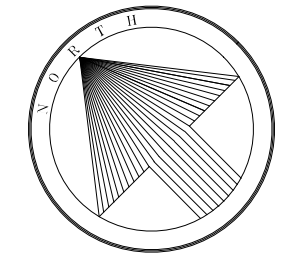
VICINITY MAP
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)

AC Acre
 BL Building Line
 C1 Curve No.
 <CM> Control Monument
 DE Drainage Easement
 DUE Drainage Utility Easement
 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VE Visibility Easement
 SE Sidewalk Easement

D.R.R.C.T. = Deed Records of Rockwall County, Texas
 P.R.R.C.T. = Plat Records of Rockwall County, Texas



FINAL PLAT SOUTHSIDE HILLS-PH 1

LOTS 1-73, BLOCK A; LOTS 1-18, BLOCK B;
 LOTS 1-8, BLOCK C; LOTS 1-14, BLOCK D;
 LOTS 1-23, BLOCK E; LOTS 1-23, BLOCK F;
 LOTS 1-19, BLOCK G; LOTS 1-12, BLOCK H;
 LOTS 1-26, BLOCK I; LOTS 1-21, BLOCK J;
 LOTS 1-2, BLOCK K; LOTS 1-21, BLOCK L;
 LOTS 1-11, BLOCK M; LOTS 1-21, BLOCK O;
 192.58 ACRES OR 8,388,777.55 SF
 284 SINGLE FAMILY LOTS, 6 OPEN SPACES,
 1 LIFT STATION, 1 PARK & 1 AMENITY CENTER
 SITUATED WITHIN
 W.W. FORD SURVEY, ABSTRACT NO. 80
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2025-028

F.M. 549
RIGHT-OF-WAY

MATCH LINE - SHEET 2 OF 4

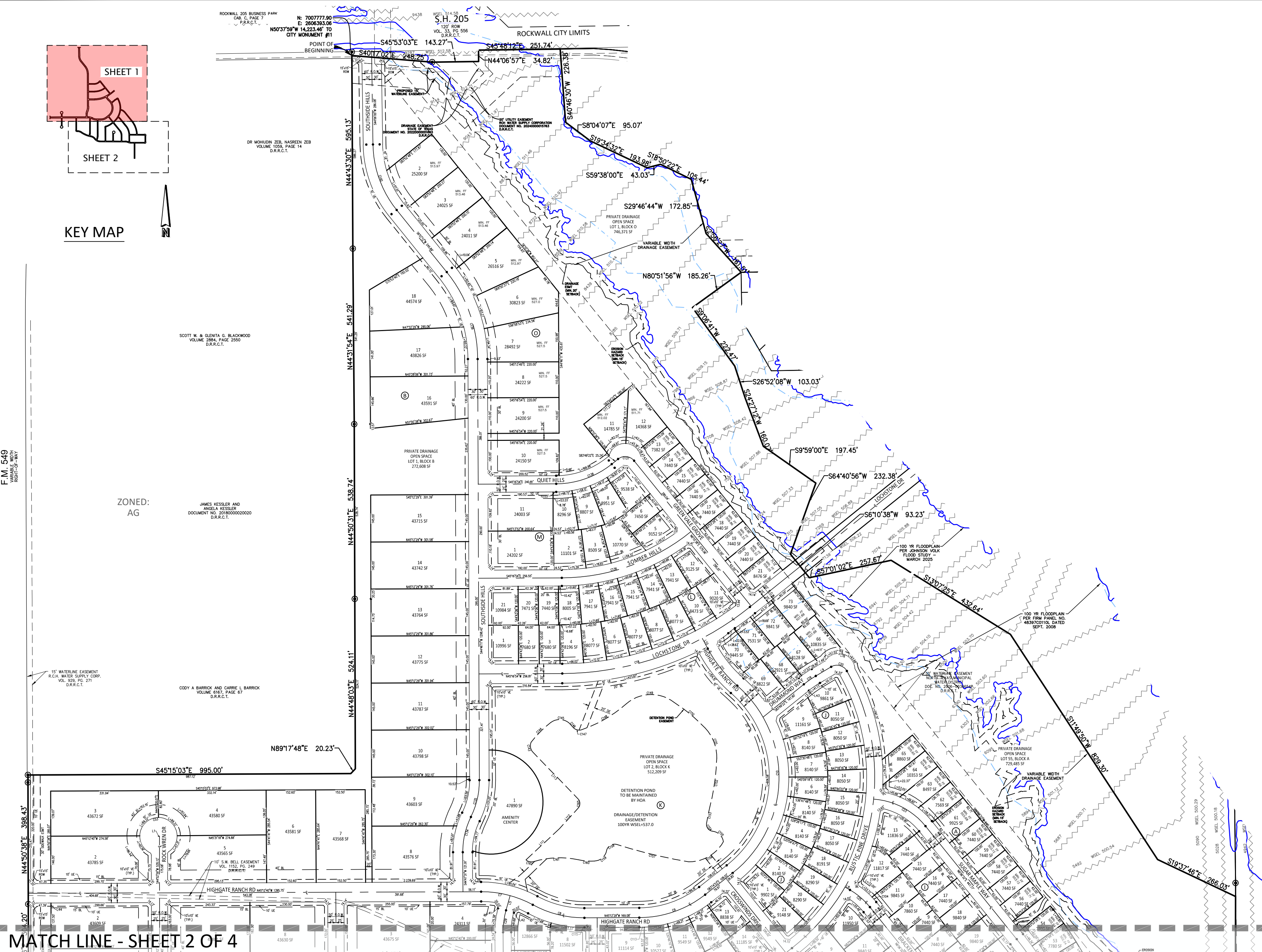
- GENERAL NOTES:**
- PRIVATE OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
 - FLOODPLAIN, PRIVATE DRAINAGE, OPEN SPACE LOTS SHALL BE MAINTAINED, REPAIRED & REPLACED BY THE HOA.

Owner/Applicant:
 Corson Cramer Development
 4925 Greenville Ave, Ste. 604
 Dallas, Texas 75206
 Phone: 214-734-5924

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE

JOHNSON VOLK
 CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

August 26, 2025 EXIST. ZONING: PD-99
 SHEET 1 OF 4 LAND USE: SF-10 & C



Line Table		
Line	Length	Direction
L1	2.73	S45° 07' 01"E
L2	1.85	S45° 07' 01"E
L3	14.32	N45° 12' 40"W
L4	46.44	S59° 52' 38"W
L5	47.23	S60° 29' 40"W
L6	25.00	N45° 12' 40"W
L7	108.02	N83° 14' 53"W
L8	17.35	S14° 42' 23"E
L9	55.15	S75° 51' 12"E
L10	35.94	S17° 01' 57"W
L14	56.80	N43° 55' 12"E
L15	26.33	S86° 40' 44"W
L16	23.00	S45° 42' 01"E
L26	16.11	N45° 12' 40"W
L27	14.32	N45° 12' 40"W
L28	5.34	S45° 12' 40"E
L29	11.19	S59° 52' 38"W
L30	11.01	S59° 52' 38"W
L31	11.64	S44° 47' 20"W
L32	13.10	S44° 44' 25"E
L33	11.69	S44° 47' 20"W
L34	13.46	S44° 54' 48"E
L35	14.58	S6° 06' 32"W
L36	4.32	S6° 06' 32"W
L37	15.99	N43° 45' 48"E
L38	21.17	S43° 55' 12"W
L41	1.19	S60° 29' 40"W
L42	1.19	S60° 29' 40"W
L43	13.30	N83° 49' 22"W
L44	137.50	N44° 52' 16"E
L45	25.58	N44° 52' 16"E
L50	14.58	N6° 06' 32"E
L52	57.83	N44° 05' 31"E
L54	135.19	S45° 09' 15"W
L55	5.43	S45° 15' 38"E
L56	73.77	S48° 39' 02"E
L57	45.30	S48° 39' 02"E

Line Table		
Line	Length	Direction
L58	6.32	N44° 47' 20"E
L59	12.86	S83° 53' 28"E
L60	17.88	N74° 44' 50"W
L61	25.00	S45° 42' 01"E
L62	25.00	S45° 42' 01"E
L63	12.51	S45° 59' 00"E
L64	51.74	N84° 36' 03"W
L111	141.52	S87° 59' 11"E
L112	84.68	N87° 19' 41"E
L113	201.09	N0° 54' 58"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C7	165.95	330.00	028°48'47"	164.21	N30° 48' 17"W
C8	165.93	330.00	028°48'35"	164.19	S30° 48' 11"E
C9	219.10	330.00	038°02'24"	215.09	S64° 13' 41"E
C10	659.33	375.00	100°44'18"	577.63	N46° 22' 58"E
C11	146.74	400.00	021°01'08"	145.92	S06° 31' 23"W
C18	625.58	930.00	038°32'27"	613.85	S64° 33' 08"E
C19	45.20	325.00	007°58'09"	45.17	N79° 50' 17"W
C20	55.91	35.00	091°31'18"	50.15	N30° 05' 33"W
C21	117.86	670.00	010°04'44"	117.71	S88° 17' 15"E
C22	44.48	35.00	072°48'42"	41.55	S81° 11' 41"W
C23	185.25	225.00	047°10'23"	180.06	N17° 28' 40"W
C24	551.69	830.00	038°05'02"	541.59	N25° 09' 03"E
C25	81.74	225.00	020°48'54"	81.29	N04° 17' 55"W
C26	358.73	540.00	038°03'46"	352.17	N25° 08' 25"E
C27	166.08	250.00	038°03'46"	163.04	N25° 08' 25"E
C28	156.70	250.00	035°54'47"	154.15	N62° 44' 44"E
C29	68.53	250.00	015°42'20"	68.31	S52° 38' 30"W
C30	65.83	250.00	015°05'18"	65.64	N52° 19' 59"E
C31	54.98	35.00	090°00'00"	49.50	S00° 12' 40"E
C32	153.32	250.00	035°08'19"	150.93	N27° 38' 30"W
C33	393.00	945.00	023°49'39"	390.17	S21° 59' 11"E
C34	179.69	250.00	041°10'54"	175.85	N13° 18' 33"W
C35	226.99	250.00	052°01'19"	219.27	S18° 43' 45"E
C36	106.12	250.00	024°19'17"	105.33	N32° 34' 46"W
C37	106.88	250.00	024°29'41"	106.07	S32° 39' 58"E
C38	54.98	35.00	089°59'46"	49.50	S89° 54' 41"E
C39	54.98	35.00	090°00'14"	49.50	N00° 05' 19"E
C40	82.89	500.00	009°29'54"	82.79	S88° 34' 19"E
C41	123.93	150.00	047°20'16"	120.44	N69° 39' 08"W
C42	242.63	500.00	027°48'13"	240.26	S30° 01' 05"W
C43	304.35	625.00	027°54'01"	301.35	N30° 03' 59"E
C44	54.98	35.00	090°00'00"	49.50	S00° 59' 00"E
C45	55.15	35.00	090°16'59"	49.62	N00° 50' 31"W
C46	358.57	325.00	063°12'51"	340.66	S13° 34' 02"W
C47	213.84	350.00	035°00'20"	210.53	N00° 32' 13"W
C48	274.67	250.00	062°56'57"	261.06	S14° 30' 32"E
C49	227.42	625.00	020°50'55"	226.17	S72° 49' 25"E
C53	89.32	57.50	089°00'13"	80.61	N89° 42' 46"W
C54	117.24	57.50	116°49'16"	97.96	S43° 11' 00"W
C55	3.89	57.50	003°52'18"	3.88	N76° 28' 13"W
C56	20.58	50.00	023°34'41"	20.43	S10° 45' 59"W
C57	20.73	225.00	005°16'42"	20.72	N12° 42' 42"W
C58	22.36	920.00	001°23'33"	22.36	S33° 12' 14"E
C59	5.03	275.00	001°02'50"	5.03	N45° 18' 45"E
C60	15.83	275.00	003°17'54"	15.83	S43° 05' 28"E
C62	34.13	225.00	008°41'29"	34.10	N40° 23' 40"W
C64	23.30	225.00	005°55'57"	23.29	S41° 56' 50"E
C68	60.63	50.00	069°28'27"	56.98	N71° 36' 56"E
C69	22.12	50.00	025°20'43"	21.94	N24° 12' 21"E
C70	12.09	50.00	013°51'11"	12.06	N71° 43' 17"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C71	62.06	50.00	071°07'15"	58.16	N29° 14' 03"E
C72	28.13	50.00	032°14'23"	27.76	N22° 26' 46"W
C73	34.82	50.00	039°54'17"	34.12	N58° 31' 06"W
C74	34.86	805.00	002°28'52"	34.86	N07° 20' 58"E
C75	12.08	695.00	000°59'46"	12.08	N47° 23' 13"E
C76	63.68	50.00	072°58'29"	59.46	N02° 24' 55"E
C91	38.76	300.00	007°24'07"	38.73	N47° 43' 03"E
C92	38.76	300.00	007°24'07"	38.73	S47° 43' 03"W
C94	32.13	50.00	036°49'16"	31.58	S68° 58' 57"E
C96	42.93	375.00	006°33'34"	42.91	N14° 45' 36"W
C97	18.99	375.00	002°54'03"	18.98	N10° 01' 48"W
C98	17.69	175.00	005°47'25"	17.68	N48° 52' 43"W
C99	12.43	275.00	002°35'24"	12.43	S15° 40' 15"W
C100	13.84	225.00	003°31'23"	13.83	S44° 13' 19"E
C101	0.77	275.00	000°09'40"	0.77	S45° 54' 10"E
C104	19.90	250.00	004°33'36"	19.89	N03° 49' 44"E
C105	33.50	565.00	003°23'49"	33.49	N07° 48' 26"E
C106	112.51	57.50	112°06'20"	95.40	N49° 56' 38"W
C107	23.49	50.00	026°54'50"	23.27	S34° 41' 22"W
C108	57.20	50.00	065°33'03"	54.13	S80° 55' 18"W
C109	23.87	50.00	027°21'04"	23.64	N52° 37' 38"W
C111	99.60	225.00	025°21'43"	98.79	S32° 03' 33"E
C112	3.59	275.00	000°44'55"	3.59	S06° 54' 26"W
C113	15.06	360.00	002°23'50"	15.06	S46° 24' 24"E
C114	14.48	360.00	002°18'19"	14.48	S82° 05' 43"E
C115	103.33	360.00	016°26'46"	102.98	S36° 59' 05"E
C116	28.52	50.00	032°40'34"	28.13	N53° 12' 07"W
C117	44.29	50.00	050°44'52"	42.85	N11° 29' 24"W
C118	11.84	205.00	003°18'30"	11.84	N16° 23' 08"W
C119	61.81	205.00	017°16'32"	61.58	N08° 19' 41"E
C120	17.85	395.00	002°35'24"	17.85	S15° 40' 15"W
C121	0.77	395.00	000°06'44"	0.77	S45° 55' 38"E
C128	19.31	480.00	002°18'19"	19.31	S82° 05' 43"E
C129	12.56	480.00	001°29'56"	12.56	S80° 11' 36"E
C130	28.85	105.00	015°44'35"	28.76	S52° 39' 37"W
C131	164.29	1280.00	007°21'14"	164.17	S27° 47' 25"E
C132	88.69	5866.43	000°51'59"	88.69	N45° 06' 38"E
C134	112.69	245.00	026°21'14"	111.70	S57° 58' 09"W
C135	117.39	255.00	026°22'35"	116.36	N57° 57' 28"E
C136	431.46	635.00	038°55'49"	423.21	S64° 44' 49"E
C137	54.98	35.00	090°00'00"	49.50	N38° 49' 22"W
C138	184.98	275.00	038°32'27"	181.52	S64° 33' 08"E
C139	290.06	430.00	038°38'59"	284.59	N25° 26' 42"E
C140	218.75	330.00	037°58'48"	214.77	S25° 06' 36"W
C141	53.95	57.50	053°45'25"	51.99	S71° 02' 24"E
C142	132.32	57.50	131°50'46"	104.99	N58° 13' 54"E
C143	33.40	28.55	067°01'28"	31.53	N34° 25' 42"E
C144	85.80	326.97	015°02'07"	85.56	N89° 45' 57"E
C145	66.82	44.93	085°12'22"	60.83	S40° 06' 49"E
C146	13.84	571.82	001°23'13"	13.84	S03° 10' 59"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C147	27.53	23.33	067°37'30"	25.96	S29° 56' 10"E
C148	160.61	406.94	022°36'46"	159.56	S75° 03' 18"E
C149	159.70	115.65	079°07'03"	147.31	S46° 48' 10"E
C150	124.92	521.28	013°43'50"	124.62	S05° 26' 03"E
C151	102.22	129.00	045°23'55"	99.56	S24° 07' 50"W
C152	151.68	702.82	012°21'54"	151.38	S53° 00' 45"W
C153	52.21	520.57	005°44'47"	52.19	S56° 19' 18"W
C154	33.77	20.87	092°43'21"	30.20	S07° 05' 14"W
C155	50.01	37.48	076°26'17"	46.38	S01° 03' 18"E
C156	130.12	121.51	061°21'29"	123.99	N75° 06' 32"W
C157	227.35	1633.78	007°58'22"	227.16	N31° 24' 55"W
C158	41.82	24.91	096°10'00"	37.08	N75° 30' 44"W
C159	53.02	40.06	075°49'56"	49.23	N85° 40' 47"W
C160	49.97	193.87	014°46'10"	49.84	N40° 22' 44"W
C161	138.59	276.72	028°41'46"	137.15	N47° 20' 32"W
C162	26.05	26.14	057°05'28"	24.98	N33° 08' 41"W
C165	30.63	21.76	080°37'32"	28.16	N47° 00' 55"E

GENERAL NOTES:

- SUBDIVIDERS STATEMENT: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
- PUBLIC IMPROVEMENT STATEMENT: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDINGS PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUE, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF ROCKWALL OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
- DRAINAGE AND DETENTION EASEMENTS: THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- FIRE LANES: ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
- STREET APPURTENANCES: ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED).
- DETENTION POND IN LOT 2, BLOCK K TO BE MAINTAINED, REPAIRED, AND REPLACED BY HOA.

**FINAL PLAT
SOUTHSIDE HILLS-PH 1**

LOTS 1-73, BLOCK A; LOTS 1-18, BLOCK B;
LOTS 1-8, BLOCK C; LOTS 1-14, BLOCK D;
LOTS 1-23, BLOCK E; LOTS 1-23, BLOCK F;
LOTS 1-19, BLOCK G; LOTS 1-12, BLOCK H;
LOTS 1-26, BLOCK I; LOTS 1-21, BLOCK J;
LOTS 1-2, BLOCK K; LOTS 1-21, BLOCK L;
LOTS 1-11, BLOCK M; LOTS 1-21, BLOCK O;
192.58 ACRES OR 8,388,777.55 SF
284 SINGLE FAMILY LOTS , 6 OPEN SPACES,
1 LIFT STATION, 1 PARK & 1 AMENITY CENTER
SITUATED WITHIN
W.W. FORD SURVEY, ABSTRACT NO. 80
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2025-028

GENERAL NOTES:

- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
- ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED. ALL OPEN SPACE LOTS ARE UTILITY, DRAINAGE AND ACCESS EASEMENTS.
- BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
- LOCATION OF 1% ANNUAL FLOOD CHANCE SHOWN PER JOHNSON VOLK FLOOD STUDY DATED MARCH, 2025.
- LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

**LEGAL DESCRIPTION:
192.58 ACRES**

BEING a tract of land situated in the W.W. FORD SURVEY, ABSTRACT NO. 80, Town of Rockwall, Rockwall County, Texas and being all of that tract of land described as Tract 1 in Deed to Rockwall Highgate, Ltd., as recorded in Volume 5015, Page 251, Deed Records, Rockwall County, Texas and being part of that tract of land described as Tract 2 in Deed to Rockwall Highgate, Ltd., as recorded in Volume 5015, Page 251, Deed Records, Rockwall, County, Texas and being all of that tract of land described in Deed to Rockwall Highgate, Ltd., as recorded in Volume 5572, Page 219, Deed Records, Rockwall County, Texas and being more particularly described as follows:

COMMENCING at a 1/2 inch iron rod found in the southwest line of State Highway No. 205, a 120 foot right-of-way, for the common north corner of that tract of land described as Parcel 79 Part 2 in Deed to The State of Texas, as recorded in Document No. 2022000001602, Deed Records, Rockwall County, Texas and east corner of that tract of land described in Deed to Dr. Mohiudin Zeb, Nasreen Zeb, as recorded in Volume 1059, Page 14, Deed Records, Rockwall, County, Texas;

THENCE Southeasterly, with said southwest line, the following five (5) courses and distances:

- South 44 degrees 43 minutes 30 seconds West, a distance of 11.14 feet to a TxDOT monument found for the **POINT OF BEGINNING** of the tract of land herein described;
- South 40 degrees 17 minutes 02 seconds East, a distance of 248.25 feet to a TxDOT monument found for corner;
- South 45 degrees 53 minutes 03 seconds East, a distance of 143.27 feet to a TxDOT monument found for corner;
- North 44 degrees 06 minutes 57 seconds East, a distance of 34.82 feet to a TxDOT monument found for corner;
- South 45 degrees 48 minutes 12 seconds East, a distance of 251.74 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 40 degrees 46 minutes 30 seconds West, leaving said southwest line, a distance of 226.38 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 08 degrees 04 minutes 07 seconds East, a distance of 95.07 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 19 degrees 34 minutes 32 seconds East, a distance of 193.98 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 59 degrees 38 minutes 00 seconds East, a distance of 43.03 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 18 degrees 50 minutes 22 seconds East, a distance of 105.44 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 29 degrees 46 minutes 44 seconds West, a distance of 172.85 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 02 degrees 56 minutes 27 seconds West, a distance of 161.51 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 80 degrees 51 minutes 56 seconds West, a distance of 185.26 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 09 degrees 06 minutes 41 seconds West, a distance of 222.47 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 26 degrees 52 minutes 08 seconds West, a distance of 103.03 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 24 degrees 27 minutes 12 seconds West, a distance of 160.07 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 09 degrees 59 minutes 00 seconds East, a distance of 197.45 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 64 degrees 40 minutes 56 seconds West, a distance of 232.38 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 06 degrees 10 minutes 38 seconds West, a distance of 93.23 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 57 degrees 01 minutes 02 seconds East, a distance of 257.67 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 13 degrees 07 minutes 25 seconds East, a distance of 432.64 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 11 degrees 49 minutes 50 seconds West, a distance of 829.30 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 19 degrees 37 minutes 46 seconds East, a distance of 266.03 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 45 degrees 05 minutes 45 seconds West, a distance of 1,104.64 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 45 degrees 20 minutes 38 seconds West, with the southwest line of said Tract 1, a distance of 315.37 feet to a 1/2 inch iron rod with a yellow plastic cap found for the east corner of said Rockwall Highgate, Ltd. tract recorded in Volume 5572, Page 219;

THENCE South 44 degrees 05 minutes 31 seconds West, leaving said southwest line, a distance of 690.67 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the south corner of said Rockwall Highgate, Ltd. tract recorded in Volume 5572, Page 219;

THENCE North 32 degrees 39 minutes 25 seconds West, a distance of 680.55 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the west corner of said Rockwall Highgate, Ltd. tract recorded in Volume 5572, Page 219;

THENCE North 62 degrees 15 minutes 39 seconds East, a distance of 110.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for an interior ell corner of said Rockwall Highgate, Ltd. tract recorded in Volume 5572, Page 219;

THENCE North 61 degrees 56 minutes 23 seconds East, a distance of 43.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for an interior ell corner of said Rockwall Highgate, Ltd. tract recorded in Volume 5572, Page 219;

THENCE North 45 degrees 09 minutes 15 seconds East, a distance of 393.74 feet to a 1/2 inch iron rod with a yellow plastic cap found in the south west line of the above mentioned Tract 1;

THENCE North 45 degrees 15 minutes 38 seconds West, a distance of 598.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "RSCI RPLS 5034" found for corner at the beginning of a Boundary Line Agreement, as recorded in Volume 4715, Page 230 (Document No. 2006-00361312), Deed Records, Rockwall County, Texas;

THENCE Northwesterly, with said Boundary Line Agreement, the following six (6) courses and distances:

- North 44 degrees 04 minutes 30 seconds West, a distance of 436.95 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;
- North 48 degrees 39 minutes 02 seconds West, a distance of 237.14 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;
- North 39 degrees 59 minutes 19 seconds West, a distance of 184.23 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "RSCI RPLS 5034" found for corner;
- North 44 degrees 51 minutes 58 seconds West, a distance of 244.71 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;
- South 44 degrees 53 minutes 18 seconds West, a distance of 13.39 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner in the west line of said Tract 1;

THENCE Northwesterly, with said west line, the following three (3) courses and distances:

North 45 degrees 16 minutes 15 seconds West, a distance of 259.63 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner the common south corner of that tract of land described in Deed to Bret A. Wilson and Leslie Wilson, as recorded in Volume 1327, Page 212, Deed Records, Rockwall, County, Texas and an exterior ell corner of said Tract 1;

North 44 degrees 44 minutes 29 seconds East, a distance of 467.61 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common east corner of said Bret A. Wilson and Leslie Wilson tract and an interior ell corner of said Tract 1;

North 31 degrees 29 minutes 46 seconds West, passing at a distance of 486.24 feet a 1/2 inch iron rod found for the common north corner of said Bret A. Wilson and Leslie Wilson tract and east corner of that tract of land described in Deed to Bobby Dale Price and wife, Bretta Jean Price, as recorded in Volume 1028, Page 142, Deed Records, Rockwall County, Texas, and continuing in all for a total distance of 857.83 feet to a point in the southeast line of Farm to Market Road No. 548, a variable width right-of-way, from which point a 1/2 inch iron rod found bears South 31 degrees 29 minutes 46 seconds East, 0.80 feet, said point being at the beginning of a non-tangent curve to the left having a central angle of 01 degrees 12 minutes 54 seconds, a radius of 5,796.43 feet and a chord bearing and distance of North 45 degrees 17 minutes 02 seconds East, 122.92 feet;

THENCE Northeasterly, with said southeast line, the following three (3) courses and distances:

Northeasterly, with said curve to the left, an arc distance of 122.93 feet to a concrete pedestal monument found for corner;

North 44 degrees 52 minutes 16 seconds East, a distance of 304.20 feet to an "X" found in concrete for the common north corner of said Tract 1 and most westerly northwest corner of said Tract 2;

North 44 degrees 50 minutes 38 seconds East, passing at a distance of 375.47 feet a concrete pedestal monument found, and continuing in all for a total distance of 398.43 feet to a 1/2 inch iron rod found for the common west corner of that tract of land described in Deed to Cody A. Barrick and Carrie L. Barrick, as recorded in Volume 6167, Page 67, Deed Records, Rockwall County, Texas and most northerly northwest corner of said Tract 2;

THENCE North 45 degrees 15 minutes 03 seconds East, leaving said southeast line, a distance of 995.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a common

south corner of said Cody A. Barrick and Carrie L. Barrick tract and an interior ell corner of said Tract 2;

THENCE North 89 degrees 17 minutes 48 seconds East, a distance of 20.23 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a common south corner of said Cody A. Barrick and Carrie L. Barrick tract and an interior ell corner of said Tract 2;

THENCE North 44 degrees 48 minutes 03 seconds East, a distance of 524.11 feet to a 1/2 inch iron rod found for the common east corner of said Cody A. Barrick and Carrie L. Barrick tract and south corner of that tract of land described in Deed to James Kessler and Angela Kessler, as recorded in Document No. 20180000020020, Deed Records, Rockwall County, Texas;

THENCE North 44 degrees 50 minutes 31 seconds East, a distance of 538.74 feet to a 1/2 inch iron rod found for the east corner of said James Kessler and Angela Kessler tract;

THENCE North 44 degrees 31 minutes 54 seconds East, a distance of 541.29 feet to a 1/2 inch iron rod found for the south corner of the above mentioned Dr. Mohiudin Zeb, Nasreen Zeb tract;

THENCE North 44 degrees 43 minutes 30 seconds East, a distance of 595.13 feet to the **POINT OF BEGINNING** and containing 192.580 acres of land, more or less.

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **SOUTHSIDE HILLS--PH 1** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **SOUTHSIDE HILLS--PH 1** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared CCDEV, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2025.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: :

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

APPROVED:

I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall on ____ day of _____, 2025.

MAYOR OF THE CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

FINAL PLAT SOUTHSIDE HILLS-PH 1

LOTS 1-73, BLOCK A; LOTS 1-18, BLOCK B;
LOTS 1-8, BLOCK C; LOTS 1-14, BLOCK D;
LOTS 1-23, BLOCK E; LOTS 1-23, BLOCK F;
LOTS 1-19, BLOCK G; LOTS 1-12, BLOCK H;
LOTS 1-26, BLOCK I; LOTS 1-21, BLOCK J;
LOTS 1-2, BLOCK K; LOTS 1-21, BLOCK L;
LOTS 1-11, BLOCK M; LOTS 1-21, BLOCK O;
192.58 ACRES OR 8,388,777.55 SF
284 SINGLE FAMILY LOTS , 6 OPEN SPACES,
1 LIFT STATION, 1 PARK & 1 AMENITY CENTER
SITUATED WITHIN
W.W. FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2025-028

August 26, 2025
SHEET 4 OF 4

EXIST. ZONING: PD-99
LAND USE: SF-10

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE

Owner/Applicant:
Corson Cramer Development
4925 Greenville Ave, Ste. 604
Dallas, Texas 75206
Phone: 214-734-5924

 **JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Javier Silva; *JMS Custom Homes, LLC.*
CASE NUMBER: P2025-029; *Replat for Lots 7 & 8, Block J, Sanger Addition*

SUMMARY

Consider a request by Javier Silva of JMS Custom Homes, LLC for the approval of a Replat for Lots 7 & 8, Block J, Sanger Addition being a 0.23-acre tract of land identified as a portion of Lot 2, Block J, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 803 & 805 Sam Houston Street, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 0.23-acre tract of land [*i.e. A portion of Lot 2, Block J, Sanger Addition*] for the purpose of dedicating and abandoning easements for the future development of the subject property and subdividing one (1) residential lot into two (2) residential lots [*i.e. Lots 7 & 8, Block J, Sanger Addition*].
- Background. The subject property was originally platted as Lot 2, Block J, Sanger Addition on May 11, 1895. According to the 1934 Sanborn Maps, there was a dwelling unit on the subject property; however, there is no record of when the structure was demolished and the property has remained vacant since its removal. Per the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 7 (SF-7) District and has remained zoned Single-Family 7 (SF-7) District to this day. On August 4, 2025, the City Council approved *Ordinance No. 25-46* and *Ordinance No. 25-47* [*i.e. Case No. Z2025-036, S-372 & Case No. Z2025-037, S-373*] to allow the construction of two (2) residential homes on the subject property.
- Parks and Recreation Board. On September 8, 2025, the Parks and Recreation Board reviewed the Replat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay *Pro-Rata Equipment Fees* of \$606.19 (*i.e. \$606.19 x 1 lot = \$606.19*).
 - (2) The property owner shall pay *Cash-In-Lieu of Land Fees* of \$709.37 (*i.e. \$709.37 x 1 lot = \$709.37*).
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 7 & 8, Block J, Sanger Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. [REDACTED]

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [REDACTED]

CITY ENGINEER: [REDACTED]

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 805 Sam Houston

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>JMS Custom Homes, LLC</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Javier Silva</u>
CONTACT PERSON	<u>Javier Silva</u>	CONTACT PERSON	<u>Javier Silva</u>
ADDRESS	[REDACTED]	ADDRESS	[REDACTED]
CITY, STATE & ZIP	[REDACTED]	STATE & ZIP	[REDACTED]
PHONE	[REDACTED]	PHONE	[REDACTED]
E-MAIL	[REDACTED]	E-MAIL	[REDACTED]

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

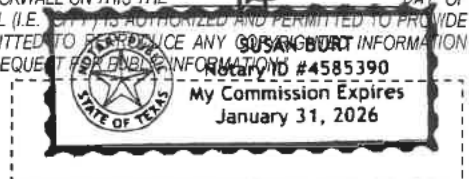
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 330.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF August, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO DISSEMINATE ANY PUBLIC INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF August, 2025

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 1-31-2026



P2025-029: Replat for Lot 7 & 8, Block A, Sanger Addition

Case Location Map = 

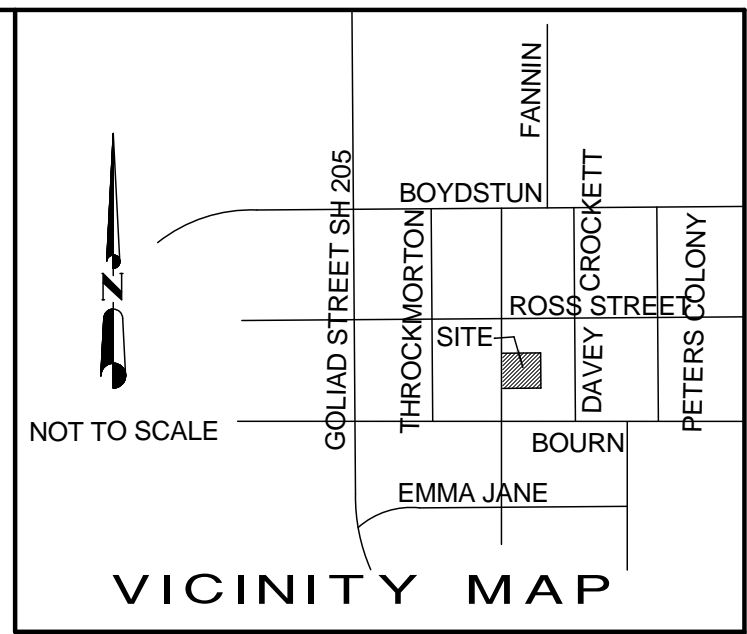
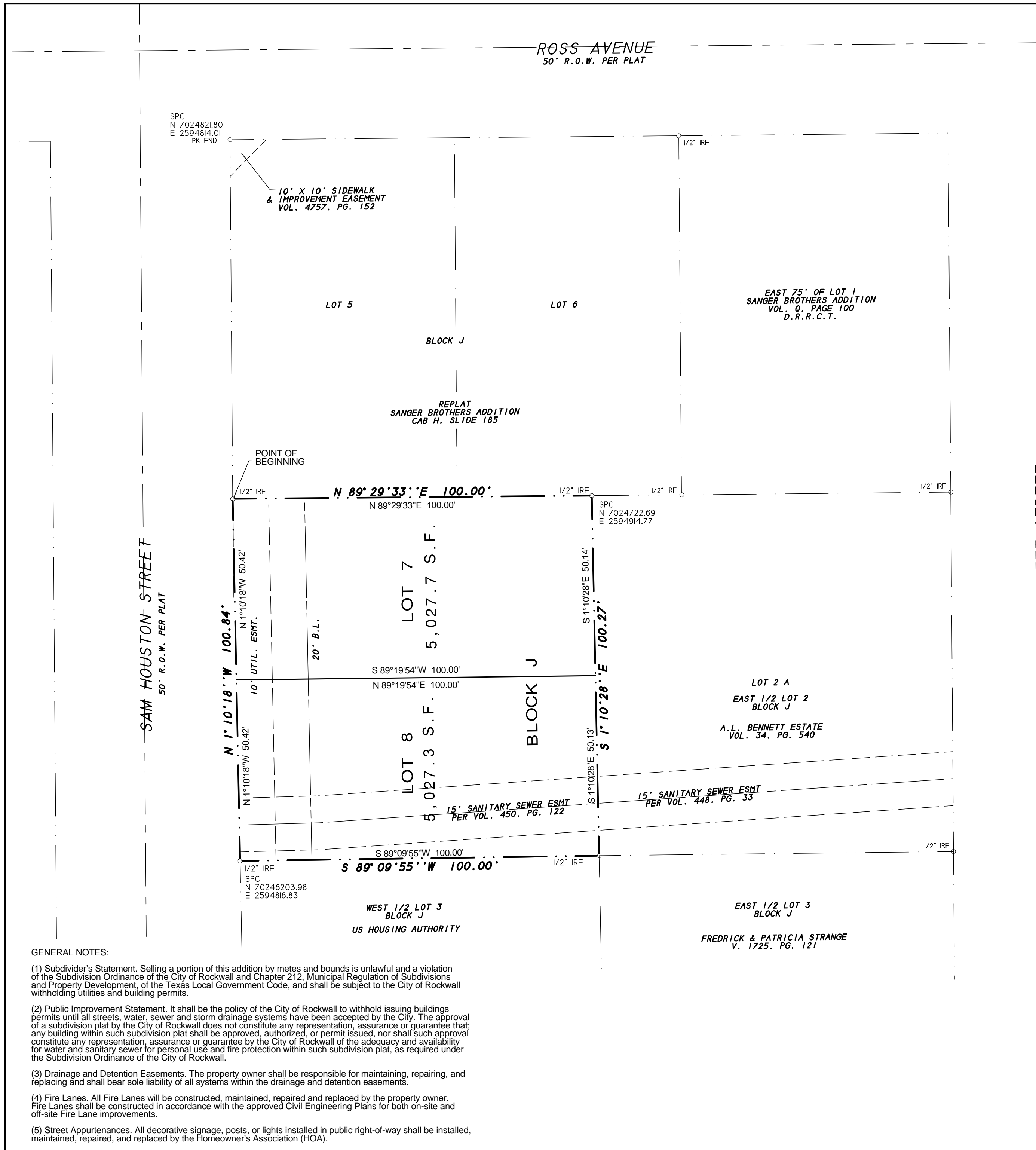


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

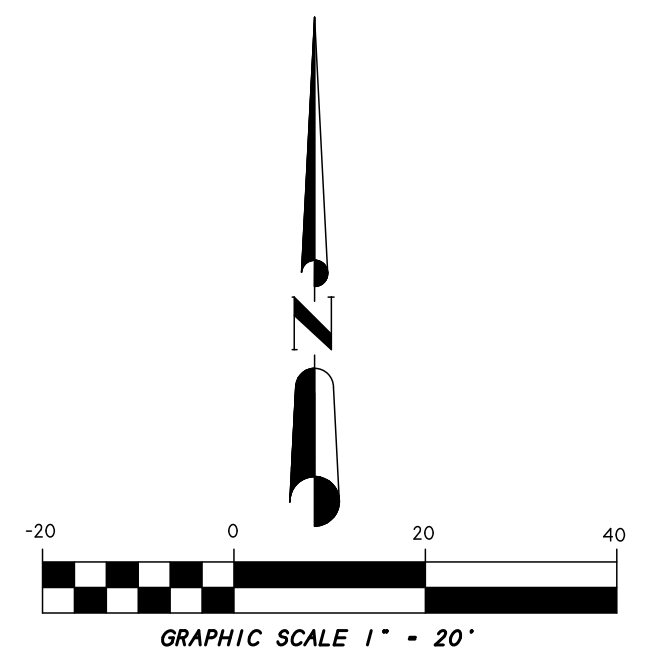
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."



FINAL PLAT
LOT 7 & 8, BLOCK J
SANGER BROTHERS ADDITION

BEING A REPLAT OF
 WEST 1/2 OF LOT 2, BLOCK J
 SANGER BROTHERS ADDITION
 0.23 ACRES OR 10,055 S.F.
 (2 LOTS)
 J.T. LEWIS SURVEY, A-255
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SHEET 1 OF 2

OWNER:
 JMS CUSTOM HOMES, LLC
 58 WINDSOR DRIVE
 ROCKWALL, TX 75032

SYMBOL LEGEND	
⊙	TV
⊕	GAS
⊖	TEL
⊗	PHONE
⊘	RISER
⊙	HYDRANT
⊕	POWER
⊖	POLE
⊗	1/2" IRF
⊘	FOR NOT FOUND
⊙	CORNER
⊕	ELEC
⊖	WATER
⊗	LP
⊘	METER
⊙	SUBSURFACE
⊕	ELECTRIC
⊖	METER
⊗	FOLE
⊘	LIGHT
⊙	JUNCTION BOX
⊕	EXISTING CURB
⊖	NEW CURB
⊗	PREPARE
⊘	PAV

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS JMS CUSTOM HOMES, LLC, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Being the West 1/2 of Lot 2, Block J, SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Volume Q, Page 100, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the east right-of-way line of Sam Houston Street, a 50 foot right-of-way, said point being at the northwest corner of said Lot 2, Block J;

THENCE N. 89 deg. 29 min. 33 sec. E. along the north boundary line of Lot 2, a distance of 100.00 feet to a 1/2" iron rod found for corner;

THENCE S. 01 deg. 10 min. 28 sec. E. a distance of 100.27 feet to a 1/2" iron rod found for corner in the south boundary line of said Lot 2, Block J;s

THENCE S. 89 deg. 09 min. 55 sec. W. along the south boundary line of said Lot 2, Block J, a distance of 100.00 feet to a 1/2" iron rod found for corner in the east right-of-way line of Sam Houston Street at the southwest corner of same;

THENCE N. 01 deg. 10 min. 18 sec. W. along said right-of-way line, a distance of 100.84 feet to the POINT OF BEGINNING and containing 10,055 square feet or 0.23 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as LOTS 7 & 8, BLOCK J, SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOTS 7 & 8, BLOCK J, SANGER BROTHERS ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

Javier Silva
for JMS CUSTOM HOMES, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Javier Silva known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED

I hereby certify that the above and foregoing plat of LOTS 7 & 8, BLOCK J, SANGER BROTHERS ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Mayor, City of Rockwall

Planning and Zoning Commission Chairman

City Secretary

City Engineer

FINAL PLAT
LOT 7 & 8, BLOCK J
SANGER BROTHERS ADDITION

BEING A REPLAT OF
WEST 1/2 OF LOT 2, BLOCK J
SANGER BROTHERS ADDITION

0.23 ACRES OR 10,055 S.F.
(2 LOTS)

J.T. LEWIS SURVEY, A-255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
JMS CUSTOM HOMES, LLC
58 WINDSOR DRIVE
ROCKWALL, TX 75032

SYMBOL LEGEND	
⊗ TELEVISION CABLE RISER	⊗ GAS METER
⊗ TEL. RISER	⊗ FIRE HYDRANT
⊗ PH. POLE	⊗ POWER POLE
⊗ WATER METER	⊗ LIGHT POLE
⊗ ELEC. BOX	⊗ SUBURFACE JUNCTION BOX
⊗ WATER METER	⊗ AIR COND. UNIT
⊗ PROPANE TANK	⊗ FIRE TANK

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE AUGUST 15, 2025

SCALE 1" = 20' FILE # 20250092

CLIENT JMS_CUSTOM HOMES, LLC



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Nick Keran; *Urban Strategy*
CASE NUMBER: P2025-030; *Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition*

SUMMARY

Consider a request by Nick Keran of Urban Strategy on behalf of Sherif Sharawi of Rockwall Steel Co., Inc. for the approval of a Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition being a 55.192-acre tract of land identified as Lot 2, Block A, Industrial Boulevard Addition and Tract 3 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the east side of Industrial Boulevard north of the IH-30 Frontage Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 55.192-acre tract of land [*i.e. Lot 2, Block A, Industrial Boulevard Addition and Tract 3 of the A. Hanna Survey, Abstract No. 99*] for the purpose of adjusting the lot lines of the two (2) properties for conveyance.
- Background. The subject property was originally platted as lots 1-14, Industrial Addition on September 6, 1962. Part of the subject property was annexed by the City Council on February 19, 1962 by *Ordinance No. 62-01 [Case No. A1962-001]*. At the time of annexation, this part of the subject property was zoned Agricultural (AG) District. Sometime between annexation and January 3, 1972, this part of the subject property was zoned from Agricultural (AG) District to Light Industrial (LI) District. The remainder of the subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. On February 19, 1990, the City Council approved a replat of the Industrial Addition. At the time of annexation, this portion of the property was zoned Agricultural (AG) District. However, on October 5, 1992, the City Council zoned this portion of the property from Agricultural (AG) District to Light Industrial (LI) District. On April 19, 1993, the City Council approved a Preliminary Plat and Site Plan [*Case No. PZ 93-10-PP*] for Lot 2, Block A, Industrial Addition. According to the Rockwall Central Appraisal District (RCAD), the subject property has five (5) buildings. These buildings include a 47,190 SF storage warehouse built in 1976, a 10,000 SF storage warehouse built in 1984, an 18,000 SF industrial flex building built in 1985, a 15,000 SF storage warehouse built in 1990, and a 165,736 SF light manufacturing facility built in 1993. The subject property has remained Light Industrial (LI) District since December 3, 1985.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below. With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 3 & 4, Block A, Industrial Boulevard Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/4/2025

PROJECT NUMBER: P2025-030
PROJECT NAME: Replat for Lots 3 & 4, Block A, Industrial Addition
SITE ADDRESS/LOCATIONS: 2001 Industrial Boulevard, Rockwall, TX, 75087

CASE CAPTION: Consider a request by Nick Keran of Urban Strategy on behalf of Sherif Sharawi of Rockwall Steel Co., Inc. for the approval of a Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition being a 55.192-acre tract of land identified as Lot 2, Block A, Industrial Boulevard Addition and Tract 3 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the east side of Industrial Boulevard north of the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/04/2025	Approved w/ Comments

09/04/2025: P2025-030: Replat for Lots 3 & 4, Block A, Industrial Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition being a 55.192-acre tract of land identified as Lot 2, Block A, Industrial Boulevard Addition and Tract 3 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and generally located on the east side of Industrial Boulevard north of the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2025-030) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat
Lots 3 & 4, Block A,
Industrial Boulevard Addition
Being a Replat of
Lot 2, Block A,
Industrial Boulevard Addition, and
Tract 3, of the A. Hanna Survey, Abstract No. 99
Being 55.192-Acres or 2,404,150 SF
Situated within the Archibald Hanna Survey, Abstract No. 99
City of Rockwall, Rockwall County, Texas

M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).

M.7 Please provide the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.8 Provide the legal description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the attached standard plat wording. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Provide the appropriate statement of developer responsibility for storm drainage improvements per the attached standard plat wording. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Provide the instrument of dedication of adoption signed by the owners, per the attached standard plat wording. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Provide the seal and signature of the surveyor responsible for surveying the development and/or preparation of the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.12 Provide the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City, per the attached standard plat wording. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.13 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.15 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Work Session: September 9, 2025
City Council Meeting: September 15, 2025

I.116 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/03/2025	Approved w/ Comments

- 09/03/2025: 1. Please label the NTMWD easement here.
 2. Existing water mains must be within an easement.
 3. Need to tie two corners to City monumentation (x, y)
 4. Need 20' water line easement to Lot 4
 5. Label 15' utility line easement
 6. Need 20' water line easement to Lot 4
 7. Label 15' utility line easement

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Bethany Ross	09/04/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Bethany Ross	09/04/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/02/2025	Approved w/ Comments

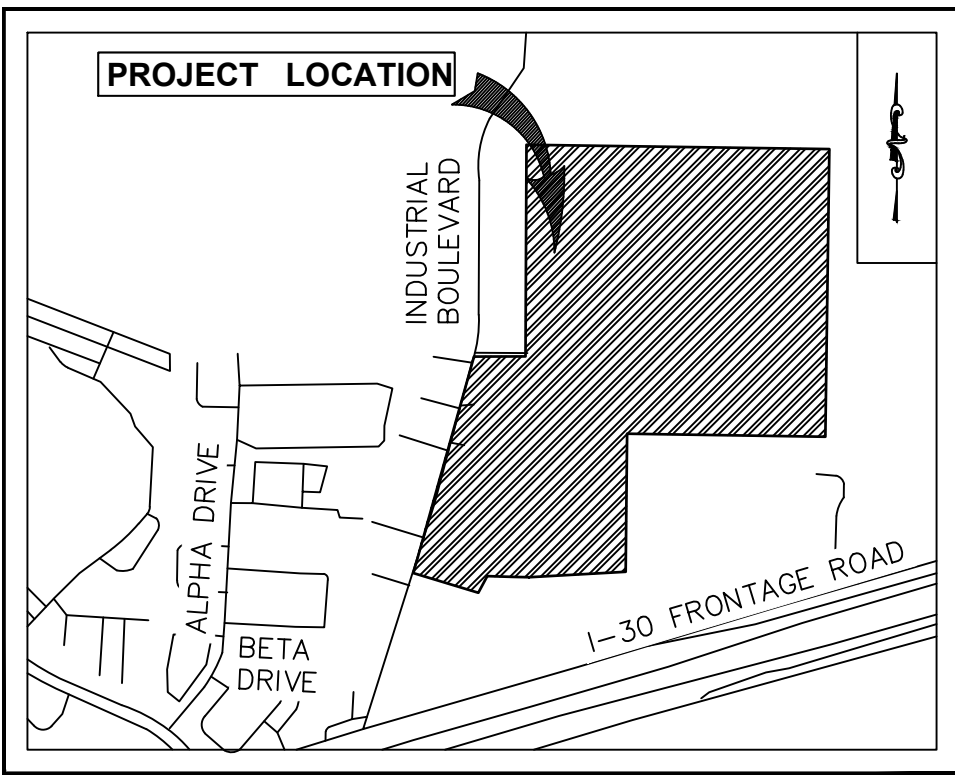
09/02/2025: Please tie two corners to State Plane Coordinate System (NAD83, North Central TX Zone 4202 - Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	09/04/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	09/04/2025	N/A

No Comments



VICINITY MAP
(NOT TO SCALE)

LEGEND

- BOUNDARY/LOT CORNER
- C.C.F.NO. COUNTY CLERK'S FILE NUMBER
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- R.P.R.R.C.T. REAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- INST. NO. INSTRUMENT NUMBER
- DOC. NO. DOCUMENT NUMBER
- VOL., PG. VOLUME, PAGE
- CAB., SL. CABINET, SLIDE
- NO. NUMBER
- IRS IRON ROD SET w/ ORANGE CAP STAMPED 'URBAN STRATEGY'
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- IRFC IRON ROD FOUND CAPPED
- FD. FOUND
- SF SQUARE FEET
- APPROX. APPROXIMATE
- T.U.E. CO. TEXAS UTILITY ELECTRIC COMPANY
- ESMT. EASEMENT
- R.O.W. RIGHT-OF-WAY
- TxDOT TEXAS DEPARTMENT OF TRANSPORTATION
- P.O.B. POINT OF BEGINNING
- (CM) CONTROLLING MONUMENT

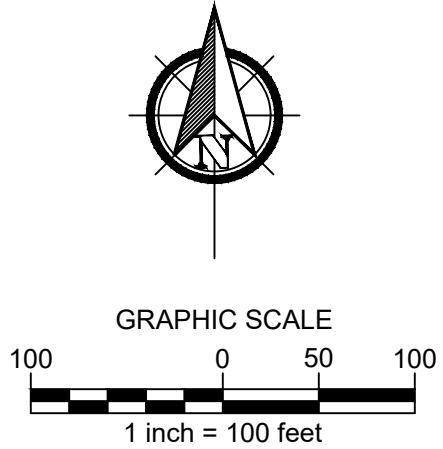
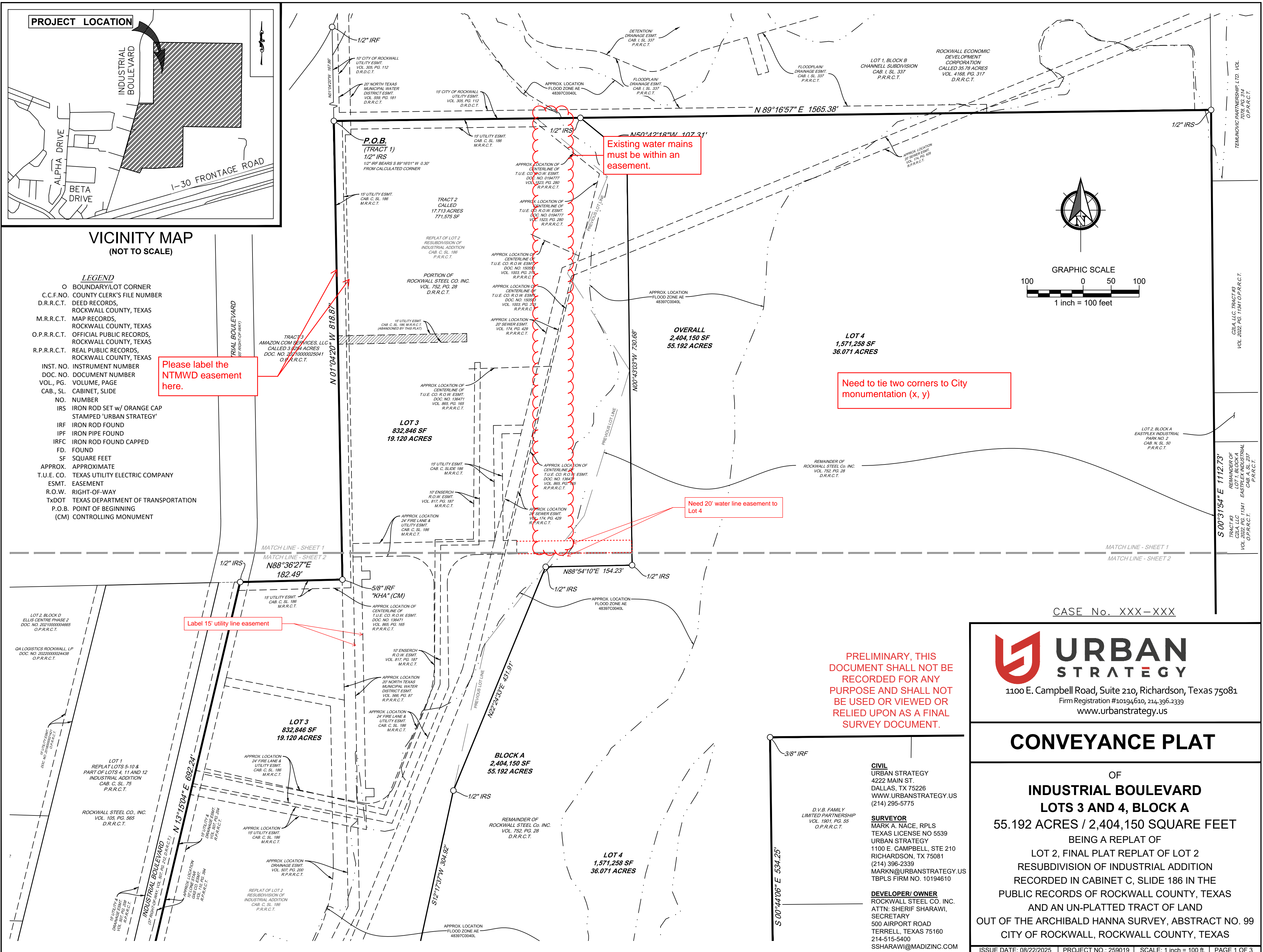
Please label the NTMWD easement here.

Label 15" utility line easement

Existing water mains must be within an easement.

Need to tie two corners to City monumentation (x, y)

Need 20' water line easement to Lot 4



CASE No. XXX-XXX



1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
Firm Registration #10194610, 214-396-2339
www.urbanstrategy.us

CONVEYANCE PLAT

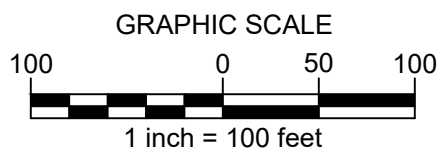
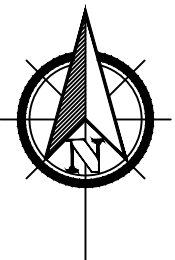
OF
INDUSTRIAL BOULEVARD
LOTS 3 AND 4, BLOCK A
55.192 ACRES / 2,404,150 SQUARE FEET
BEING A REPLAT OF
LOT 2, FINAL PLAT REPLAT OF LOT 2
RESUBDIVISION OF INDUSTRIAL ADDITION
RECORDED IN CABINET C, SLIDE 186 IN THE
PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
AND AN UN-PLATTED TRACT OF LAND
OUT OF THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

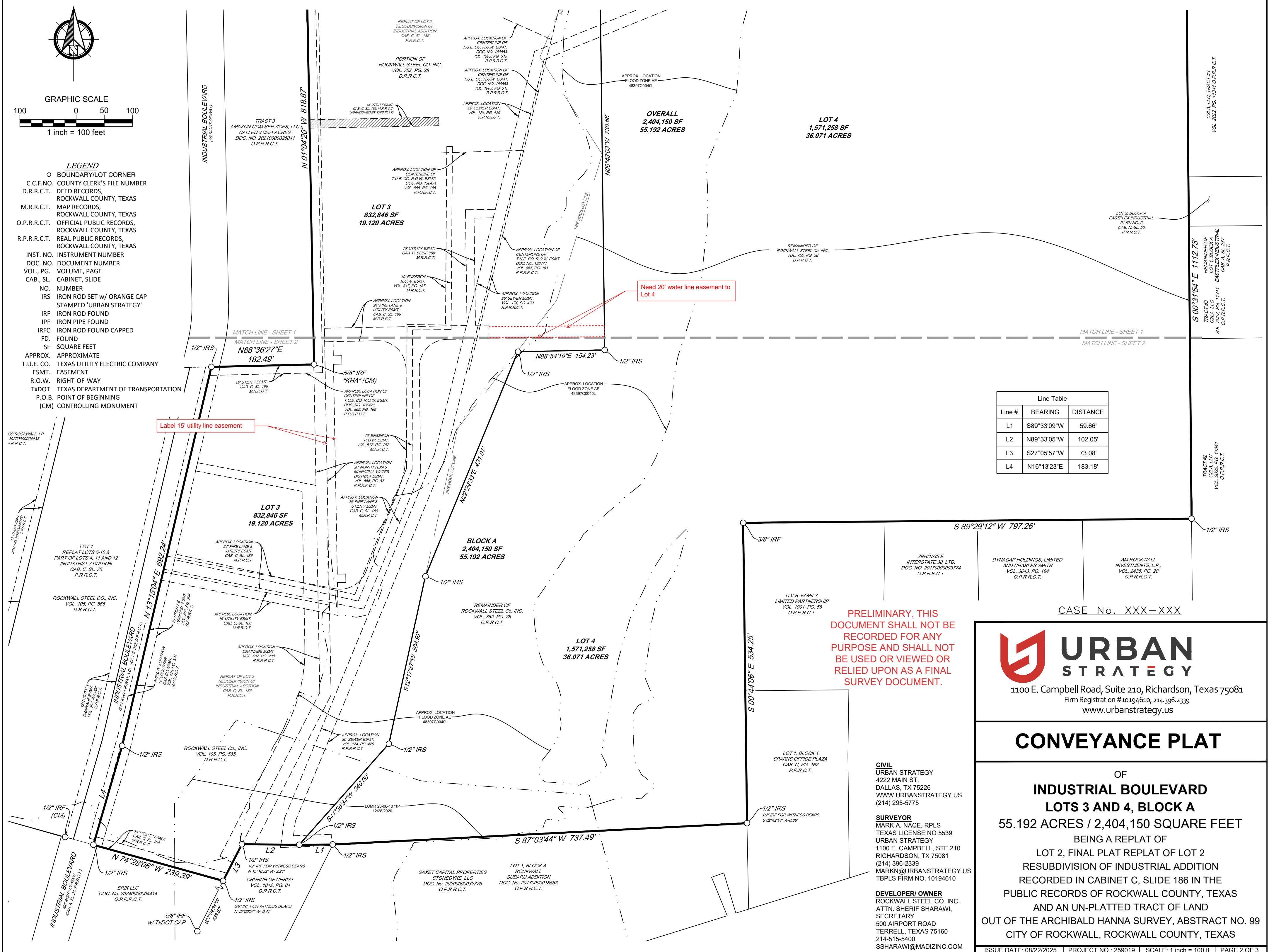
CIVIL
URBAN STRATEGY
4222 MAIN ST.
DALLAS, TX 75226
WWW.URBANSTRATEGY.US
(214) 295-5775

SURVEYOR
MARK A. NACE, RPLS
TEXAS LICENSE NO 5539
URBAN STRATEGY
1100 E. CAMPBELL, STE 210
RICHARDSON, TX 75081
(214) 396-2339
MARKN@URBANSTRATEGY.US
TBPLS FIRM NO. 10194610

DEVELOPER/ OWNER
ROCKWALL STEEL CO. INC.
ATTN: SHERIF SHARAWI,
SECRETARY
500 AIRPORT ROAD
TERRELL, TEXAS 75160
214-515-5400
SSHARAWI@MAZIDINC.COM



- LEGEND**
- BOUNDARY/LOT CORNER
 - C.C.F.NO. COUNTY CLERK'S FILE NUMBER
 - D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
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 - R.O.W. RIGHT-OF-WAY
 - TxDOT TEXAS DEPARTMENT OF TRANSPORTATION
 - P.O.B. POINT OF BEGINNING
 - (CM) CONTROLLING MONUMENT



Line Table		
Line #	BEARING	DISTANCE
L1	S89°33'09"W	59.66'
L2	N89°33'05"W	102.05'
L3	S27°05'57"W	73.08'
L4	N16°13'23"E	183.18'

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

URBAN STRATEGY
 1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
 Firm Registration #10194610, 214-396-2339
 www.urbanstrategy.us

CONVEYANCE PLAT

OF
INDUSTRIAL BOULEVARD
LOTS 3 AND 4, BLOCK A
 55.192 ACRES / 2,404,150 SQUARE FEET
 BEING A REPLAT OF
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CIVIL
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 (214) 295-5775

SURVEYOR
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 TEXAS LICENSE NO 5539
 URBAN STRATEGY
 1100 E. CAMPBELL, STE 210
 RICHARDSON, TX 75081
 MARKN@URBANSTRATEGY.US
 TBPLS FIRM NO. 10194610

DEVELOPER/ OWNER
 ROCKWALL STEEL CO. INC.
 ATTN: SHERIF SHARAWI,
 SECRETARY
 500 AIRPORT ROAD
 TERRELL, TEXAS 75160
 214-515-5400
 SSHARAWI@MADIZINC.COM



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **2001 Industrial Blvd, Rockwall, TX 75087 / 2002 Industrial Blvd, Rockwall, TX 75087**

SUBDIVISION **The Industrial Addition** LOT **1 & 2** BLOCK **N/A**

GENERAL LOCATION **Intersection of Interstate 30 & Industrial Blvd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Light Industrial** CURRENT USE **Industrial**

PROPOSED ZONING **N/A** PROPOSED USE **Industrial**

ACREAGE **55.19** LOTS [CURRENT] **2** LOTS [PROPOSED] **2**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Rockwall Steel Co., Inc.	<input checked="" type="checkbox"/> APPLICANT	Urban Strategy
CONTACT PERSON	Sherif Sharawi	CONTACT PERSON	Nick Keran
ADDRESS	500 Airport Road	ADDRESS	4222 Main Street
CITY, STATE & ZIP	Terrell, Texas 75160	CITY, STATE & ZIP	Dallas, Texas 75226
PHONE	214-515-5400	PHONE	985-233-9061
E-MAIL	ssharawi@madixinc.com	E-MAIL	nickk@urbanstrategy.us

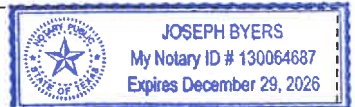
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sherif Sharawi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

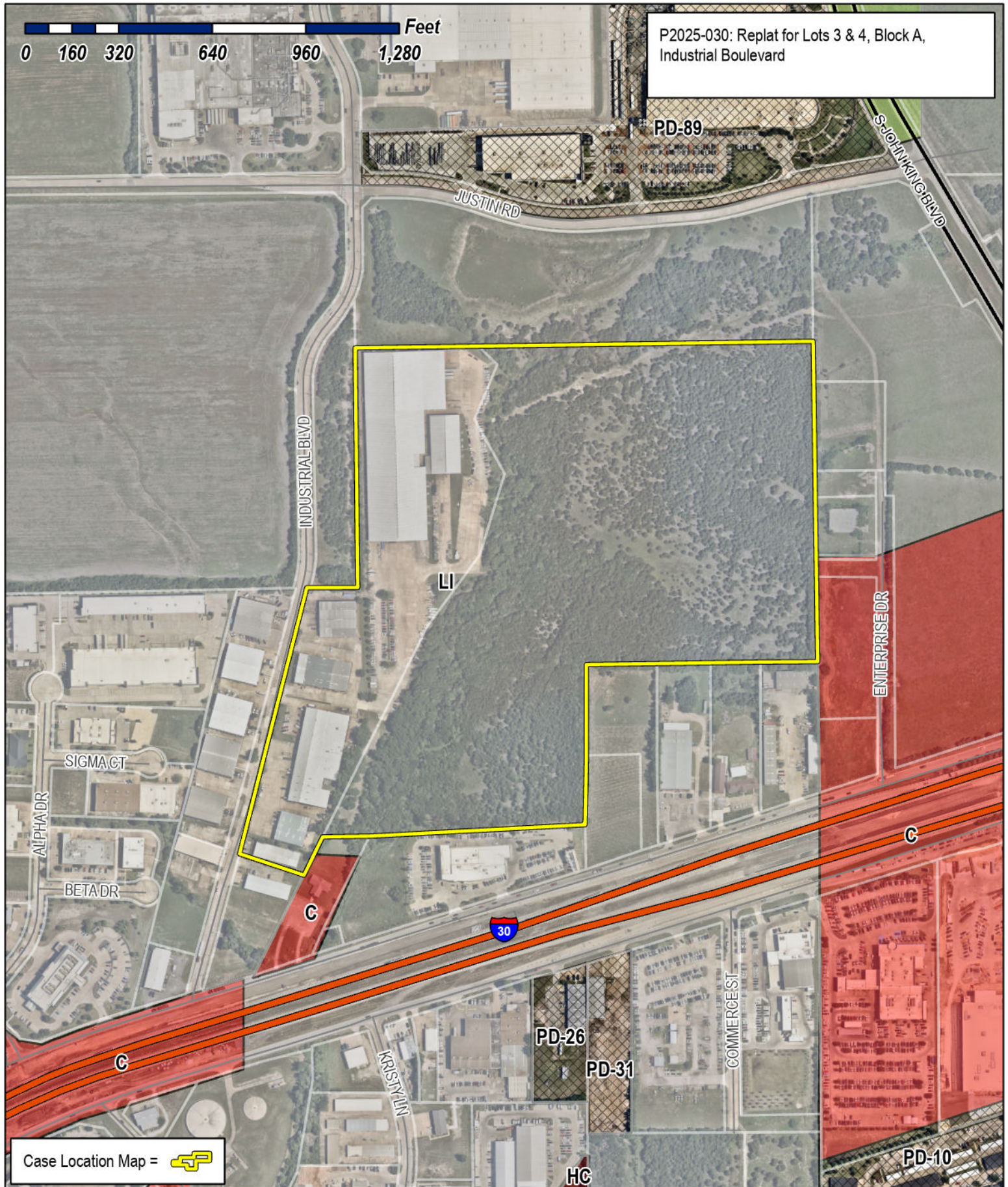
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \$1,403.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 25th DAY OF August, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 25th DAY OF August, 2025.
OWNER'S SIGNATURE Sherif Sharawi

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 12/29/2026



P2025-030: Replat for Lots 3 & 4, Block A, Industrial Boulevard

0 160 320 640 960 1,280 Feet

Case Location Map = 

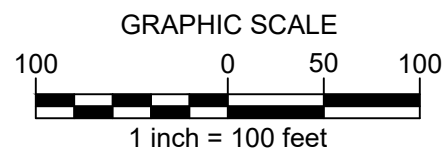


City of Rockwall

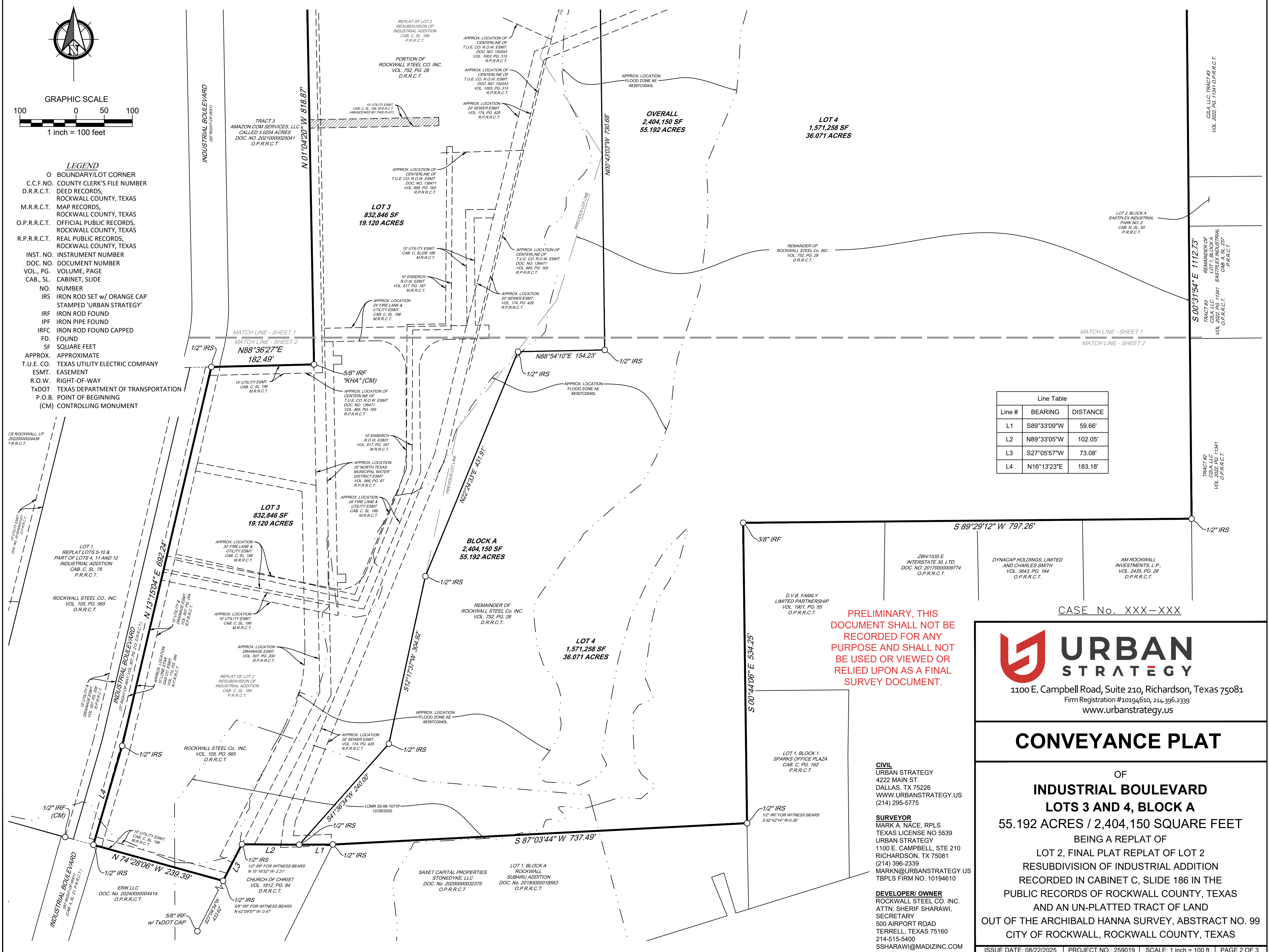
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- BOUNDARY/LOT CORNER
 - C.C.F.NO. COUNTY CLERK'S FILE NUMBER
 - D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
 - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - R.P.R.R.C.T. REAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - INST. NO. INSTRUMENT NUMBER
 - DOC. NO. DOCUMENT NUMBER
 - VOL., PG. VOLUME, PAGE
 - CAB., SL. CABINET, SLIDE
 - NO. NUMBER
 - IRS IRON ROD SET w/ ORANGE CAP STAMPED 'URBAN STRATEGY'
 - IRF IRON ROD FOUND
 - IPF IRON PIPE FOUND
 - IRFC IRON ROD FOUND CAPPED
 - FD. FOUND
 - SF SQUARE FEET
 - APPROX. APPROXIMATE
 - T.U.E. CO. TEXAS UTILITY ELECTRIC COMPANY EASEMENT
 - R.O.W. RIGHT-OF-WAY
 - TxDOT TEXAS DEPARTMENT OF TRANSPORTATION
 - P.O.B. POINT OF BEGINNING
 - (CM) CONTROLLING MONUMENT



Line Table		
Line #	BEARING	DISTANCE
L1	S89°33'09"W	59.66'
L2	N89°33'05"W	102.05'
L3	S27°05'57"W	73.08'
L4	N16°13'23"E	183.18'

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

CASE No. XXX-XXX

URBAN STRATEGY
 1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
 Firm Registration #10194610, 214-396-2339
 www.urbanstrategy.us

CONVEYANCE PLAT

OF
INDUSTRIAL BOULEVARD
LOTS 3 AND 4, BLOCK A
 55.192 ACRES / 2,404,150 SQUARE FEET
 BEING A REPLAT OF
 LOT 2, FINAL PLAT REPLAT OF LOT 2
 RESUBDIVISION OF INDUSTRIAL ADDITION
 RECORDED IN CABINET C, SLIDE 186 IN THE
 PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
 AND AN UN-PLATTED TRACT OF LAND
 OUT OF THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CIVIL
 URBAN STRATEGY
 4222 MAIN ST.
 DALLAS, TX 75226
 WWW.URBANSTRATEGY.US
 (214) 295-5775

SURVEYOR
 MARK A. NACE, RPLS
 TEXAS LICENSE NO 5539
 URBAN STRATEGY
 1100 E. CAMPBELL, STE 210
 RICHARDSON, TX 75081
 (214) 396-2339
 MARKN@URBANSTRATEGY.US
 TBPLS FIRM NO. 10194610

DEVELOPER/ OWNER
 ROCKWALL STEEL CO. INC.
 ATTN: SHERIF SHARAWI,
 SECRETARY
 500 AIRPORT ROAD
 TERRELL, TEXAS 75160
 214-515-5400
 SSHARAWI@MADIZINC.COM

OWNER'S CERTIFICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS Rockwall Steel Co., Inc., are the sole owners of a 2,404,150 square feet or a 55.192 acre tract of land situated in the Archibald Hanna Survey, Abstract Number 99, City of Rockwall, Rockwall County, Texas, being all of that tract of land described to said Rockwall Steel Co., Inc., by Warranty Deed recorded in Volume 752, Page 28, Deed records, Rockwall County, Texas (D.R.R.C.T.), and that tract of land also described to said Rockwall Steel Co., Inc., by deed recorded in Volume 105, Page 565, D.R.D.C.T., and being all of Lot 2, Resubdivision of Industrial Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 186, Plat Records, Rockwall County, Texas, (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the southwest corner of Lot 1, Block B, Channell Subdivision, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet I, Slide 337, P.R.R.C.T., and being in the east line of that tract of land described to Amazon.com Services LLC, by deed recorded in Document Number 2021000025041, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), from which a 1/2-inch iron rod found for witness bears South 89° 16' 01" West, a distance of 0.30';

THENCE North 89° 16' 57" East, with the south line of said Lot 1, a distance of 1,565.38' to a 1/2- inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the southeast corner of said Lot 1, and being on the west line of that tract of land described to Temunovic Partnership, LTD., by deed recorded in Volume 7078, Page 314, O.P.R.R.C.T.;

THENCE South 00° 31' 54" East, with the west line of said Temunovic tract, and the west line of Tract 3 of that tract of land described to C2LA LLC, by deed recorded in Volume 2022, Page 11341, O.P.R.R.C.T., and the west line of Lot 2, Block A, Eastplex Industrial Park No. 2, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet N, Slide 50, P.R.R.C.T., and the west line of the remainder of Lot 1, Block 1, Eastplex Industrial, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet A, Slide 237, P.R.R.C.T., and also the west line of Tract 2 of said C2LA tract, a distance of 1,112.73' to a 1/2- inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the northeast corner of that tract of land described to AM Rockwall Investment, L.P., recorded in Volume 2435, Page 28, O.P.R.R.C.T.;

THENCE South 89° 29' 12" West, with the north line of said AM Rockwall Tract, the north line of that tract of land described to Dynacap Holdings, Limited and Charles Smith, by deed recorded in Volume 3643, Page 184, O.P.R.R.C.T., the north line of that tract of land described to ZBH/1534 E. Interstate 30, LTD, by deed recorded in Document Number 20170000009774, O.P.R.R.C.T., and the north line of that tract of land described to D.V.B. Family Limited Partnership, by deed recorded in Volume 1901, Page 55, O.P.R.R.C.T., a distance of 797.26' to a 3/8-inch iron rod found for the northwest corner of said D.V.B. tract;

THENCE South 00° 44' 06" East, with the west line of said D.V.B. tract, and the west line of Lot 1, Block 1, Sparks Office Plaza, an addition to the City of Rockwall, Rockwall County, Texas, according to the map thereof recorded in Cabinet C, Page 162, P.R.R.C.T., a distance of 534.25' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the northeast corner of Lot 1, Block A, Rockwall Subaru Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the map thereof recorded in Document Number 20180000018563, O.P.R.R.C.T., from which a 1/2- inch iron rod found for witness bears South 62° 42' 14" West, a distance of 0.38';

THENCE South 87° 03' 44" West, with the north line of said Lot 1, Block A, Rockwall Subaru Addition, a distance of 737.49' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the northwest corner of said Lot 1, Block A, Rockwall Subaru Addition, and the northeast corner of that tract of land described to Church of Christ, by deed recorded in Volume 1812, Page 84, D.R.R.C.T.;

THENCE, with the north line of said Church of Christ Tract, the following bearings and distances:

South 89° 33' 09" West, a distance of 59.66' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for corner;

North 89° 33' 05" West, a distance of 102.05' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for corner, from which a 1/2-inch iron rod found for witness bears North 15° 16' 32" West, a distance of 2.21';

South 27° 05' 57" West, a distance of 73.08' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for the northeast corner of that tract of land described to Erik LLC, by deed recorded in Document Number 20240000004414, O.P.R.R.C.T., from which a 5/8-inch iron rod found for witness bears North 42° 09' 57" West, a distance of 0.47';

THENCE North 74° 28' 06" West, with the north line of said Erik LLC tract, a distance of 239.39' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for corner, being the southwest corner of said Rockwall Steel Co., Inc. Tract (Volume 105, Page 565), and being in the southeast Right-of-Way (R.O.W.) line of Industrial Boulevard (a 37 foot wide public R.O.W., Volume 507, Page 212, D.R.D.C.T.);

THENCE, with the southeast R.O.W. line of said Industrial Boulevard, the following bearings and distances:

North 16° 13' 23" East, a distance of 183.18' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for corner;

North 13° 15' 04" East, a distance of 692.24' to a 1/2-inch iron rod with orange plastic cap stamped 'Urban Strategy' set for corner;

THENCE North 88° 36' 27" East, with the southeast R.O.W. line of said Industrial Boulevard, and the south line of said Amazon.com Tract, a distance of 182.49' to a 5/8-inch iron rod found for the southeast corner of said Amazon.com Tract;

THENCE North 01° 04' 20" West, with the east line of said Amazon.com Tract, a distance of 818.87' to the POINT OF BEGINNING, and containing 2,404,150 square feet or a 55.192 acres tract of land.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

We, Rockwall Steel Co., Inc., acting by and through it's duly authorized agent, Sherif Sharawi, are the undersigned owner of the land shown on this plat, and designated herein as INDUSTRIAL BOULEVARD, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the INDUSTRIAL BOULEVARD have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.

Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done;

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

Rockwall Steel Co., Inc.

By: _____ Date: _____
Sherif Sharawi, Secretary

STATE OF TEXAS §
COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared Sherif Sharawi, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this ____ day of _____, 2025.

Notary Public, in and for the State of Texas

SURVEYOR'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF DALLAS §

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Mark A. Nace, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly places under my personal supervision.

Dated this the ____ day of _____, 2025.

Mark A. Nace, RPLS
Texas License No. 5539

STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, the undersigned authority, a notary public in and for the said county and state, on this day personally appeared Mark A. Nace, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this the ____ day of _____, 2025.

Notary Public, in and for the State of Texas

GENERAL NOTES

- All bearings, distances, and coordinate values shown hereon are grid based upon the Texas Coordinate System of 1983, North Central Zone (4202), North American datum of 1983, as derived by GNSS.
- Not all lot lines outside of the boundary of the subject property show hereon have been surveyed and are shown as graphical depiction based on recorded information and tax maps only.
- Surveyor did not abstract the subject tract. There may be easements or other encumbrances that affect the subject tract that are not shown hereon.
- According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), Map Number 48397C0040I, dated 09/26/2008 for Rockwall County, Texas, a portion of this property is located in Zone 'AE', determined by scaling and graphical plotting. The surveyor makes no guaranty of accuracy of that map.
 - Flood Zone 'AE' is defined as an area with base flood elevation determined and subject to 1% annual chance flood (100-year flood)
 - Flood Zone 'X' is defined as an area of minimal flood hazard, which are the areas outside the special flood hazard areas and higher than the elevation of the 2% annual chance flood.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the City of Rockwall.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, and bear sole liability of all systems.
- Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2025.

Mayor, City of Rockwall

Planning and Zoning Commission Chairman

City Secretary

City Engineer

CASE No. XXX-XXX



URBAN STRATEGY
1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
Firm Registration #10194610, 214-396-2339
www.urbanstrategy.us

CONVEYANCE PLAT

OF
INDUSTRIAL BOULEVARD
LOTS 3 AND 4, BLOCK A
55.192 ACRES / 2,404,150 SQUARE FEET
BEING A REPLAT OF
LOT 2, FINAL PLAT REPLAT OF LOT 2
RESUBDIVISION OF INDUSTRIAL ADDITION
RECORDED IN CABINET C, SLIDE 186 IN THE
PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
AND AN UN-PLATTED TRACT OF LAND
OUT OF THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CIVIL
URBAN STRATEGY
4222 MAIN ST.
DALLAS, TX 75226
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(214) 295-5775

SURVEYOR
MARK A. NACE, RPLS
TEXAS LICENSE NO 5539
URBAN STRATEGY
1100 E. CAMPBELL, STE 210
RICHARDSON, TX 75081
(214) 396-2339
MARKN@URBANSTRATEGY.US
TBPLS FIRM NO. 10194610

DEVELOPER/ OWNER
ROCKWALL STEEL CO. INC.
ATTN: SHERIF SHARAWI,
SECRETARY
500 AIRPORT ROAD
TERRELL, TEXAS 75160
214-515-5400
SSHARAWI@MADIZINC.COM



TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: September 9, 2025
SUBJECT: SP2025-036; *PD Site Plan for Phase 1 of the Southside Hills Subdivision*

The applicant -- *Brian Cramer of CCD – Rockwall, LLC* -- is requesting the approval of a Site Plan for Phase 1 of the Southside Hills Subdivision. The subject property is a 262.94-acre tract of land (*i.e. Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford Survey, Abstract No. 80*) located on the east side of SH-205 [S. *Goliad Street*] south of the intersection of SH-205 and FM-549. Concurrently with this site plan, the applicant has submitted a final plat [Case No. *P2025-028*] for Phase 1 of the subdivision.

The subject property is zoned Planned Development District 99 (PD-99) [*Ordinance No. 22-51*] for Single-Family 10 (SF-10) District land uses. Based on this Planned Development District, the Southside Hills Subdivision will consist of 384 single-family, residential lots that will consist of five (5) lot types (*i.e. [Type A Lots] 43, 130' x 240' lots; [Type B Lots] 26, 110' x 190' lots; [Type C Lots] 66, 80' x 115' lots; [Type D Lots] 43, 80' x 110' lots; [Type E Lots] 206, 62' x 110' lots*). Concurrently with this *Site Plan*, the applicant has submitted a final plat [Case No. *P2025-028*] for 284 single-family, residential lots for Phase 1 of the subdivision. Below are the density and dimensional requirements that the Southside Hills Subdivision is subject to per *Ordinance No. 22-51*:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

LOT TYPE (SEE CONCEPT PLAN) ►	A	B	C	D	E
MINIMUM LOT WIDTH ⁽¹⁾	130'	110'	80'	80'	62'
MINIMUM LOT DEPTH	240'	190'	115'	110'	110'
MINIMUM LOT AREA	43,560 SF	24,000 SF	11,000 SF	9,600 SF	7,200 SF
MINIMUM FRONT YARD SETBACK ^{(2), (5), & (6)}	40'	30'	20'	20'	20'
MINIMUM SIDE YARD SETBACK	15'	10'	6'	6'	6'
MINIMUM SIDE YARD SETBACK (ADJACENT TO A STREET) ^{(1) & (5)}	15'	15'	15'	15'	15'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT	20'	20'	20'	20'	20'
MAXIMUM HEIGHT ⁽³⁾	35'	35'	35'	35'	35'
MINIMUM REAR YARD SETBACK ⁽⁴⁾	50'	50'	10'	10'	10'
MINIMUM AREA/DWELLING UNIT (SF) [AIR-CONDITIONED SPACE]	3,800 SF	3,200 SF	2,500 SF	2,500 SF	2,200 SF
MAXIMUM LOT COVERAGE	50%	50%	65%	65%	65%

GENERAL NOTES:

- ¹: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL- DE- SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE FRONT YARD BUILDING SETBACK. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL- DE- SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE.
- ²: THE LOCATION OF THE FRONT YARD BUILDING SETBACK AS MEASURED FROM THE FRONT PROPERTY LINE.
- ³: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE EAVE OR TOP PLATE (WHICHEVER IS GREATER) OF THE SINGLE-FAMILY HOME.
- ⁴: THE LOCATION OF THE REAR YARD BUILDING SETBACK AS MEASURED FROM THE REAR PROPERTY LINE.
- ⁵: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE FRONT YARD BUILDING SETBACK BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON SIDE YARD SETBACKS. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15 -FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- ⁶: J-SWING OR TRADITIONAL SWING GARAGES ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.
- ⁷: TYPE 'A', 'B', 'C' & 'D' LOTS SHALL HAVE A MINIMUM OF A THREE (3) CAR GARAGE.

In accordance with the *PD Site Plan* requirements outlined within *Ordinance No. 22-51*, the applicant has submitted a site plan, landscape plan, and hardscape plan. The proposed site plan and landscape plan appear to conform to all requirements stipulated by *Ordinance No. 22-51*. The *Hardscape Plan* shows the required sidewalks, trails, fence exhibit, and park improvements, all of which conform to the requirements stipulated by *Ordinance No. 22-51*. Since the request generally conforms to the requirements of Planned Development District 99 (PD-99) [*Ordinance No. 22-51*] and the Unified Development Code (UDC), this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 9, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **5565 Hwy FM 549, Rockwall, TX**

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **West of SH 205 & South of FM 549**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-99**

CURRENT USE **Ag**

PROPOSED ZONING _____

PROPOSED USE **Single Family**

ACREAGE **192.58 Ac.**

LOTS [CURRENT] **0**

LOTS [PROPOSED] _____

284 SF, 6 OS, 1 Lift Station,
1 Park & 1 Amenity Center
= 293 Lots Total

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **CCD - Rockwall LLC**

APPLICANT **Same**

CONTACT PERSON **Brian Cramer**

CONTACT PERSON _____

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brian Cramer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

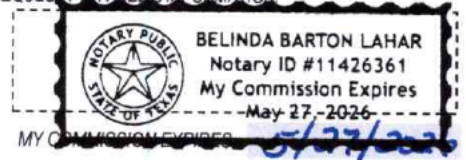
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 8,253.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

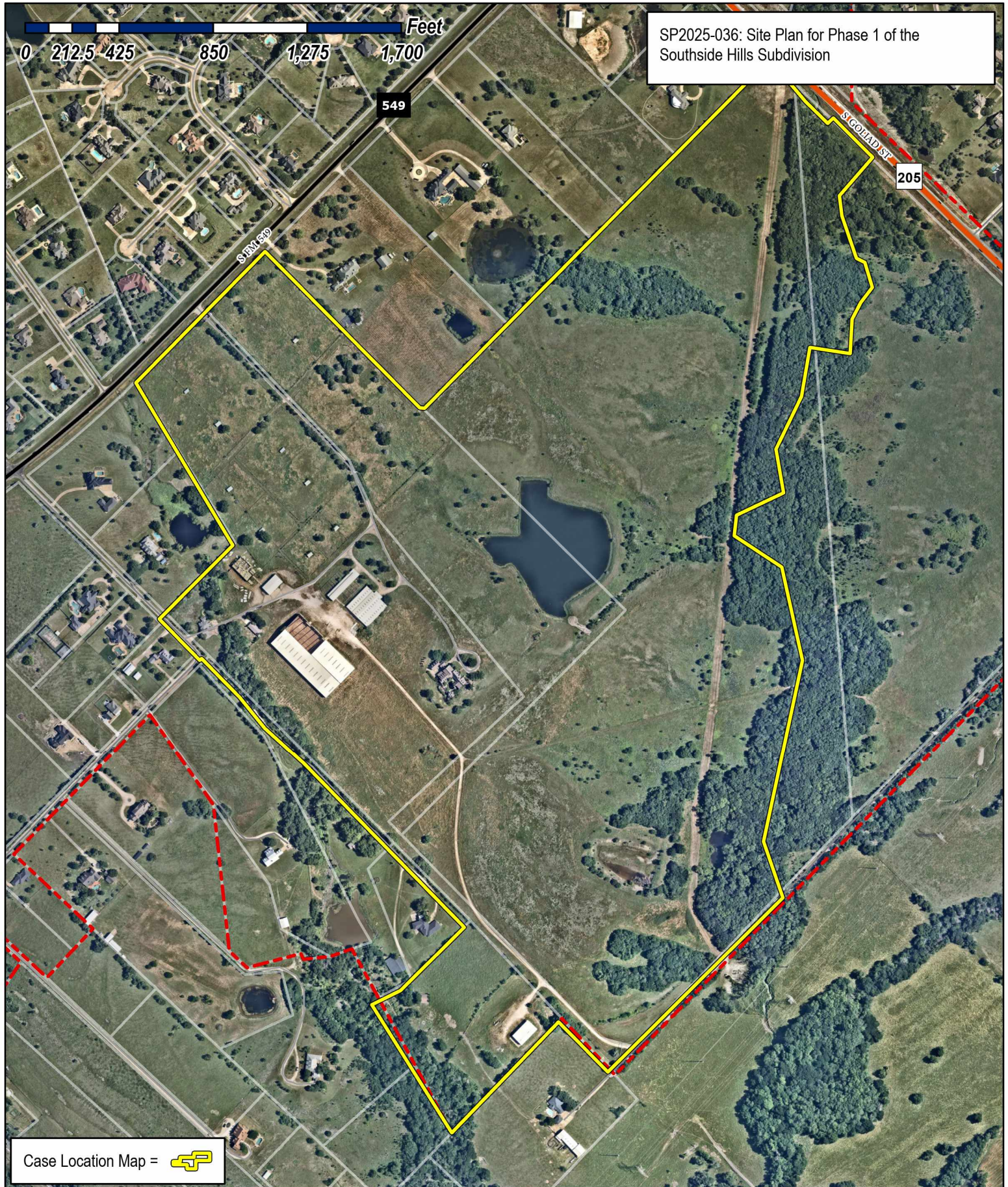
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF August, 2025

OWNER'S SIGNATURE

Brian Cramer
Belinda Lahar

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-036: Site Plan for Phase 1 of the Southside Hills Subdivision

Case Location Map = 

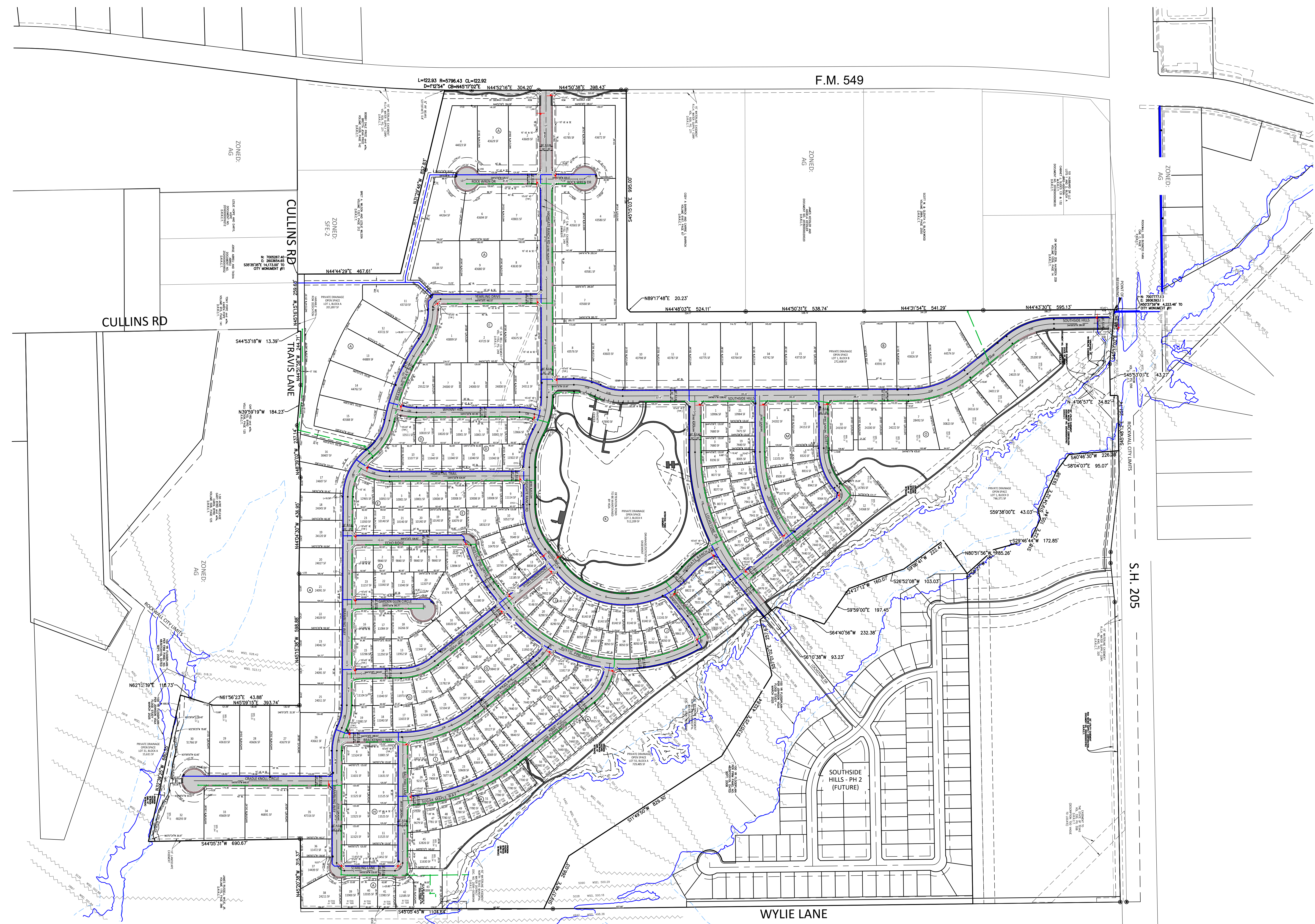
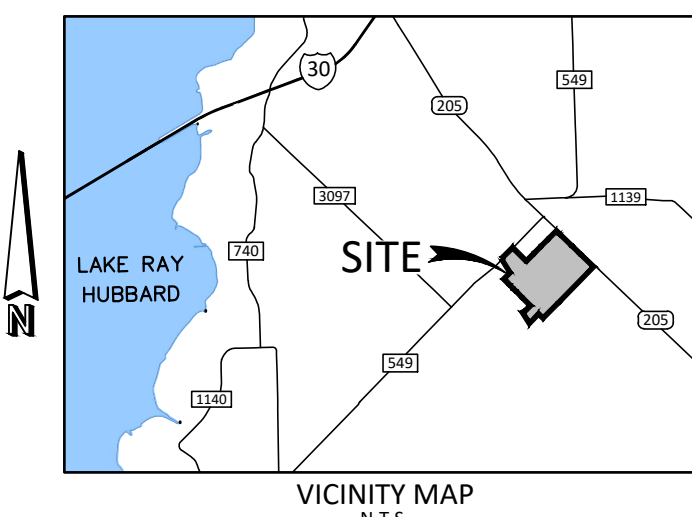


City of Rockwall

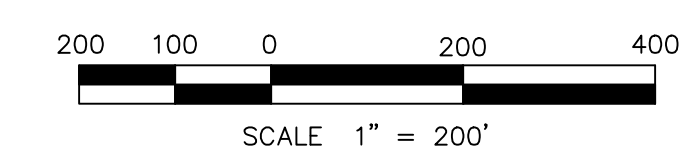
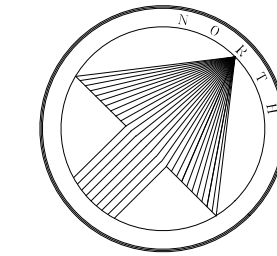
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND	
	CONC. PAVEMENT
	SIDEWALK (DEVELOPER)
	SIDEWALK (BUILDER)
	PROPOSED SIGNAGE
	PROPOSED WATER
	PROPOSED SEWER



**SITE PLAN
SOUTHIDE HILLS-PH 1**

LOTS 1-73, BLOCK A; LOTS 1-18, BLOCK B;
 LOTS 1-8, BLOCK C; LOTS 1-14, BLOCK D;
 LOTS 1-23, BLOCK E; LOTS 1-23, BLOCK F;
 LOTS 1-19, BLOCK G; LOTS 1-12, BLOCK H;
 LOTS 1-26, BLOCK I; LOTS 1-21, BLOCK J;
 LOTS 1-2, BLOCK K; LOTS 1-21, BLOCK L;
 LOTS 1-11, BLOCK M; LOTS 1-21, BLOCK O;
 192.58 ACRES OR 8,388,777.55 SF
 284 SINGLE FAMILY LOTS, 6 OPEN SPACES,
 1 LIFT STATION, 1 PARK & 1 AMENITY CENTER
 SITUATED WITHIN
 W.W. FORD SURVEY, ABSTRACT NO. 80
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 SP2025-036

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on ____ day of ____ 2025.

WITNESS OUR HANDS, this ____ day of ____ 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

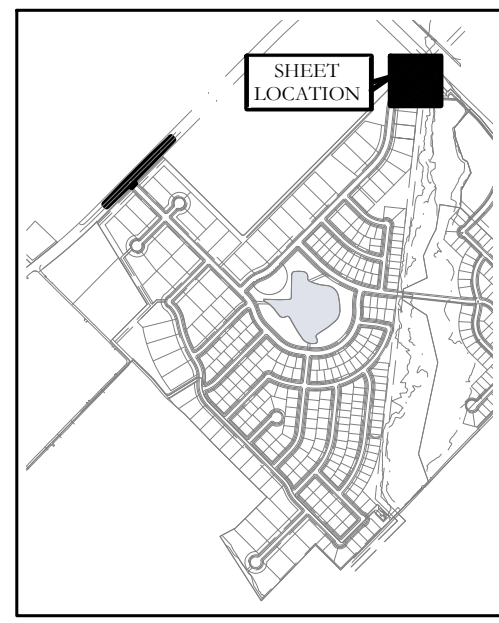
- NOTES:
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'
 - ALL FENCE POSTS SHALL FACE INTERIOR TO THE LOT (I.E. PRIVATE SIDE) AND PICKETS MUST FACE OUT (I.E. PUBLIC SIDE).

Owner/Applicant:
 Corson Cramer Development
 4925 Greenville Ave, Ste. 604
 Plano, Texas 75206
 Phone: 214-734-5924

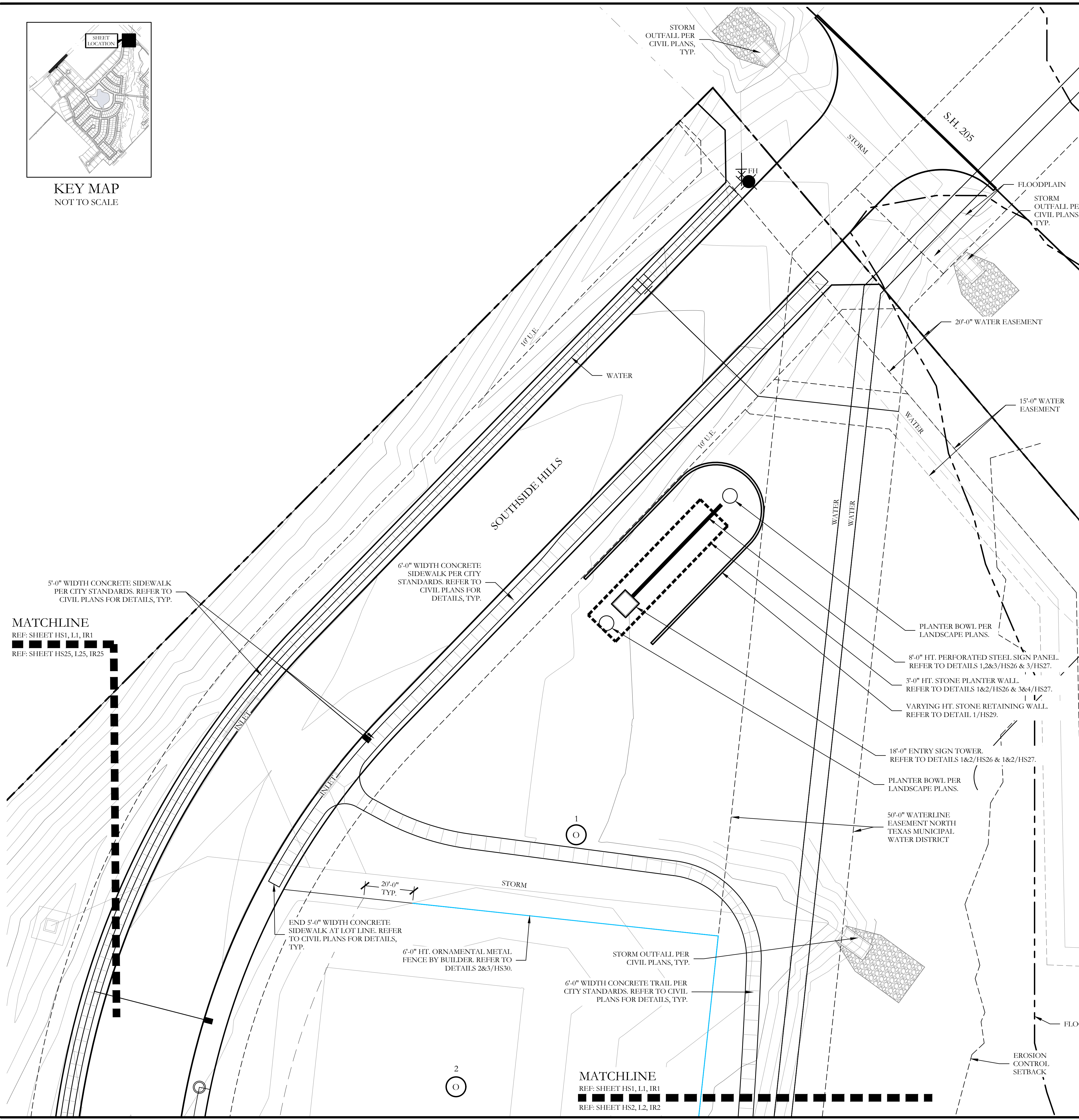
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE



August 26, 2025 EXIST. ZONING: PD-99
 LAND USE: SF-10 & C



KEY MAP
NOT TO SCALE



HARDSCAPE LEGEND

	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
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	PLANTER BOWL PER LANDSCAPE PLANS.
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	BFR BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
REFER TO CIVIL PLANS FOR ALL RETAINING WALLS AND SIDEWALK LAYOUTS AND DETAILS.

MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS25, L25, IR25

MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS2, L2, IR2

WALL LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____

Planning & Zoning Commission, Chairman

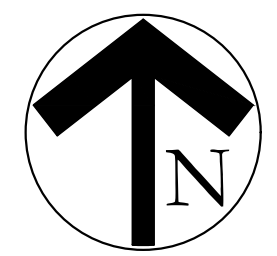
Director of Planning and Zoning

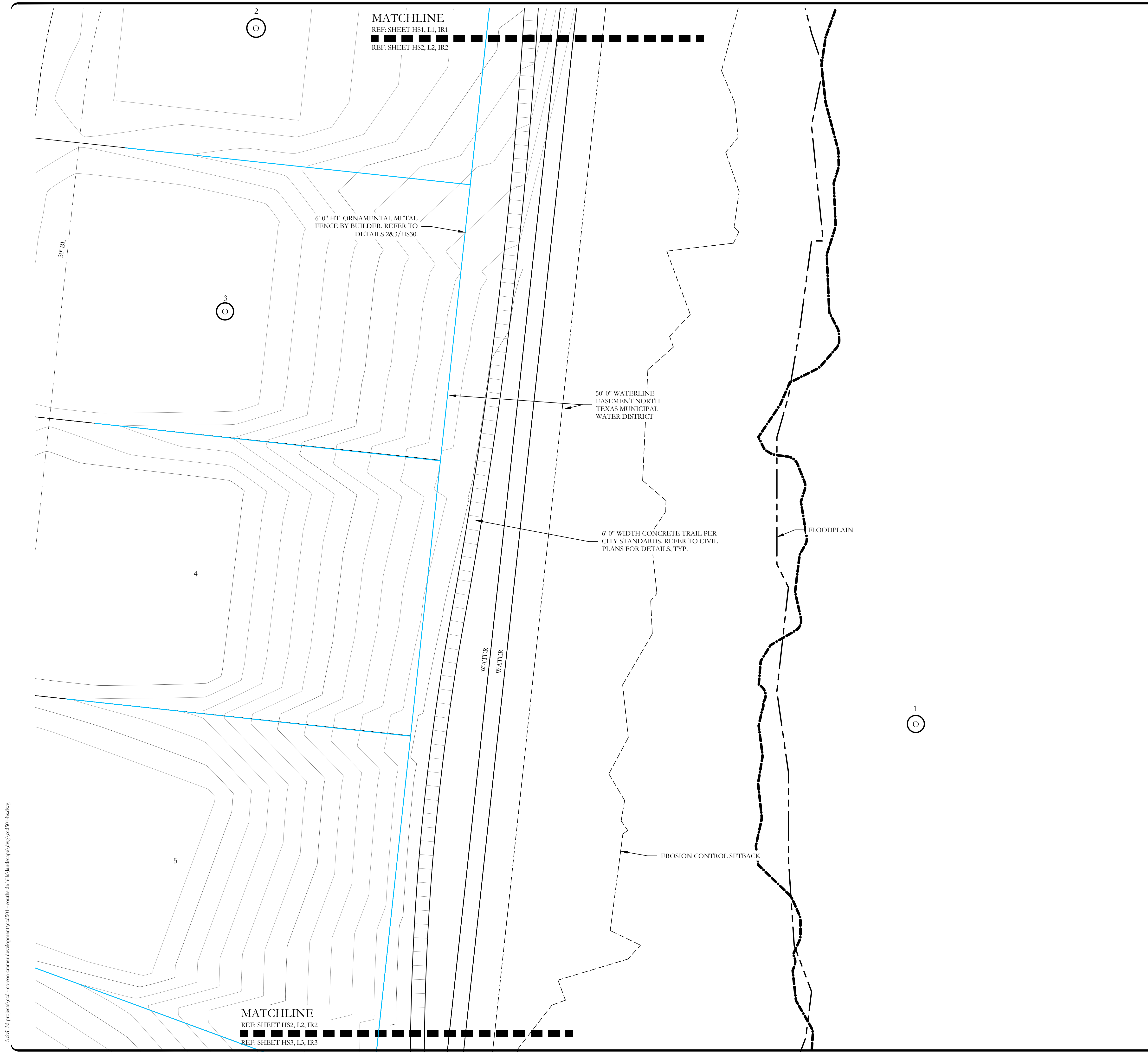
SCALE: 1" = 20'

One Inch

JVC No CCD501

SCALE 1" = 20'

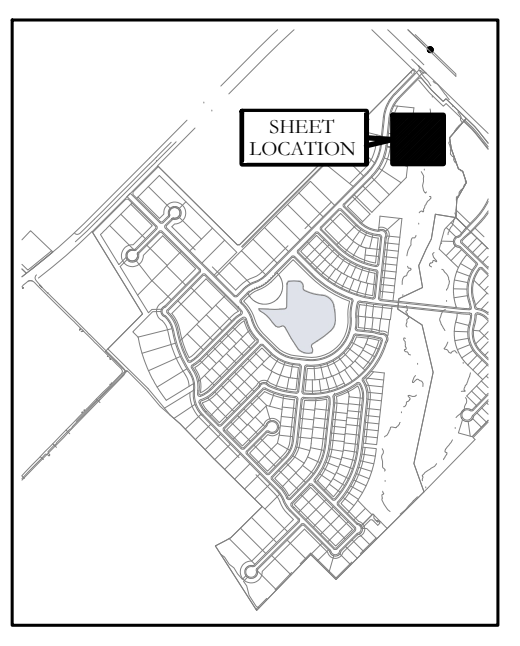




HARDSCAPE LEGEND

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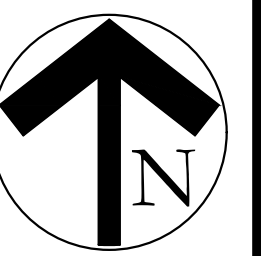
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WITNESS OUR HANDS, this ___ day of ___

Director of Planning and Zoning

Planning & Zoning Commission, Chairman

SCALE 1" = 20'



JOHNSON VOLK CONSULTING
 TPPELLS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

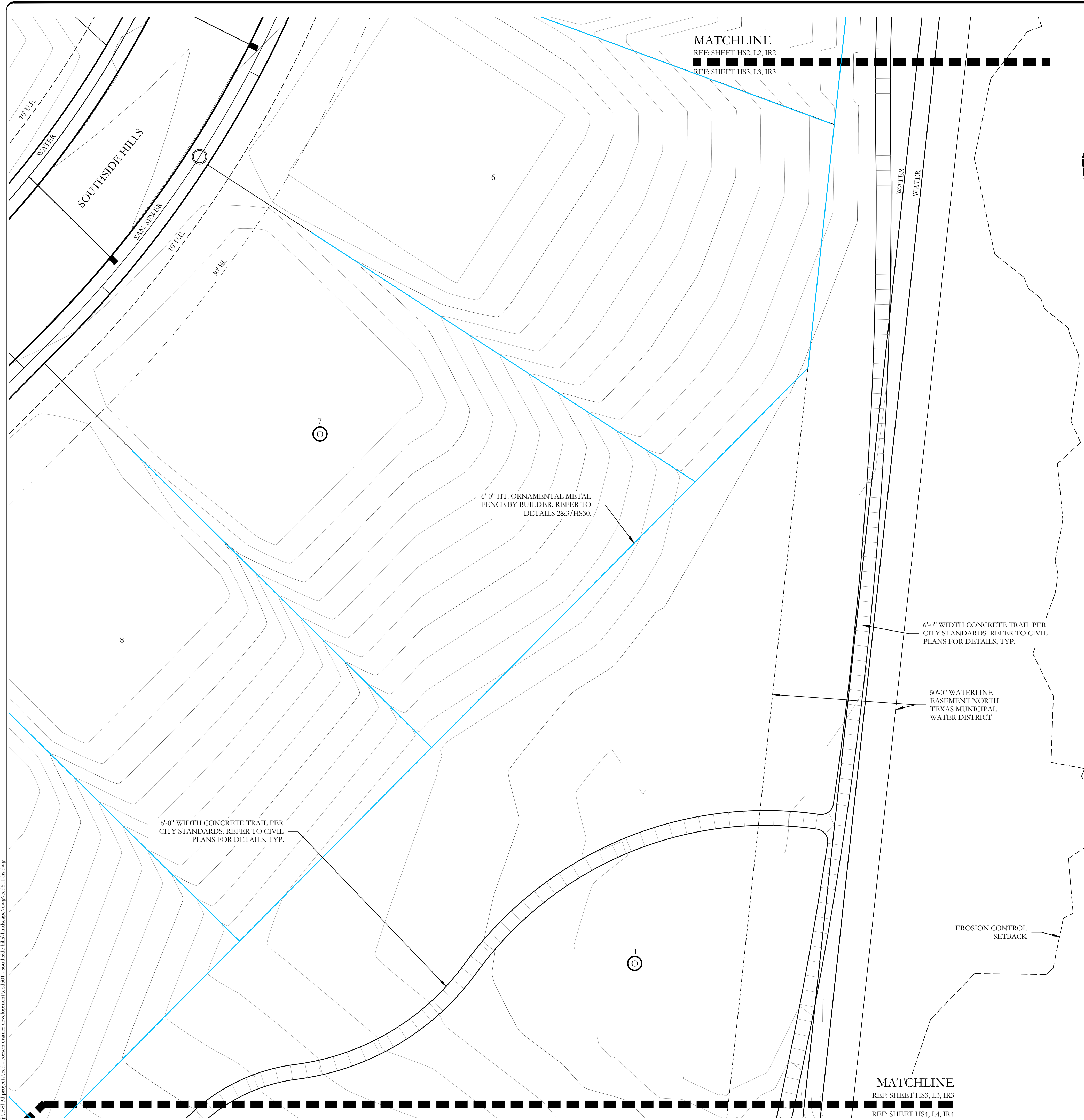
SCREENING AND BUFFERING
 HARDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
 COY L. JOHNSON
 2833
 STATE OF TEXAS
 September 03, 2025

SCALE:
 1" = 20'
 One Inch
 JVC No CCD501

HS2 of 31

CITY CASE NUMBER SP2025-036

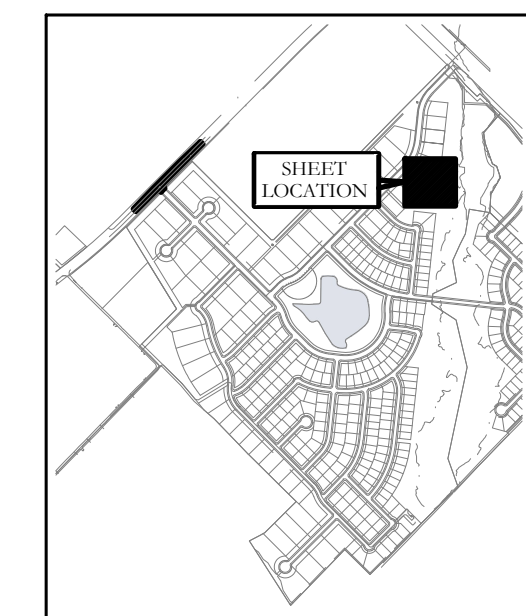


MATCHLINE
 REF: SHEET HS2, L2, IR2
 REF: SHEET HS3, L3, IR3

MATCHLINE
 REF: SHEET HS3, L3, IR3
 REF: SHEET HS4, L4, IR4

HARDSCAPE LEGEND	
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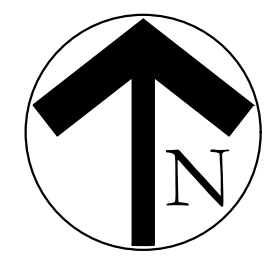
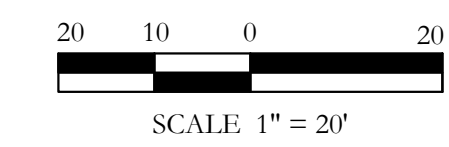
KEY MAP
 NOT TO SCALE

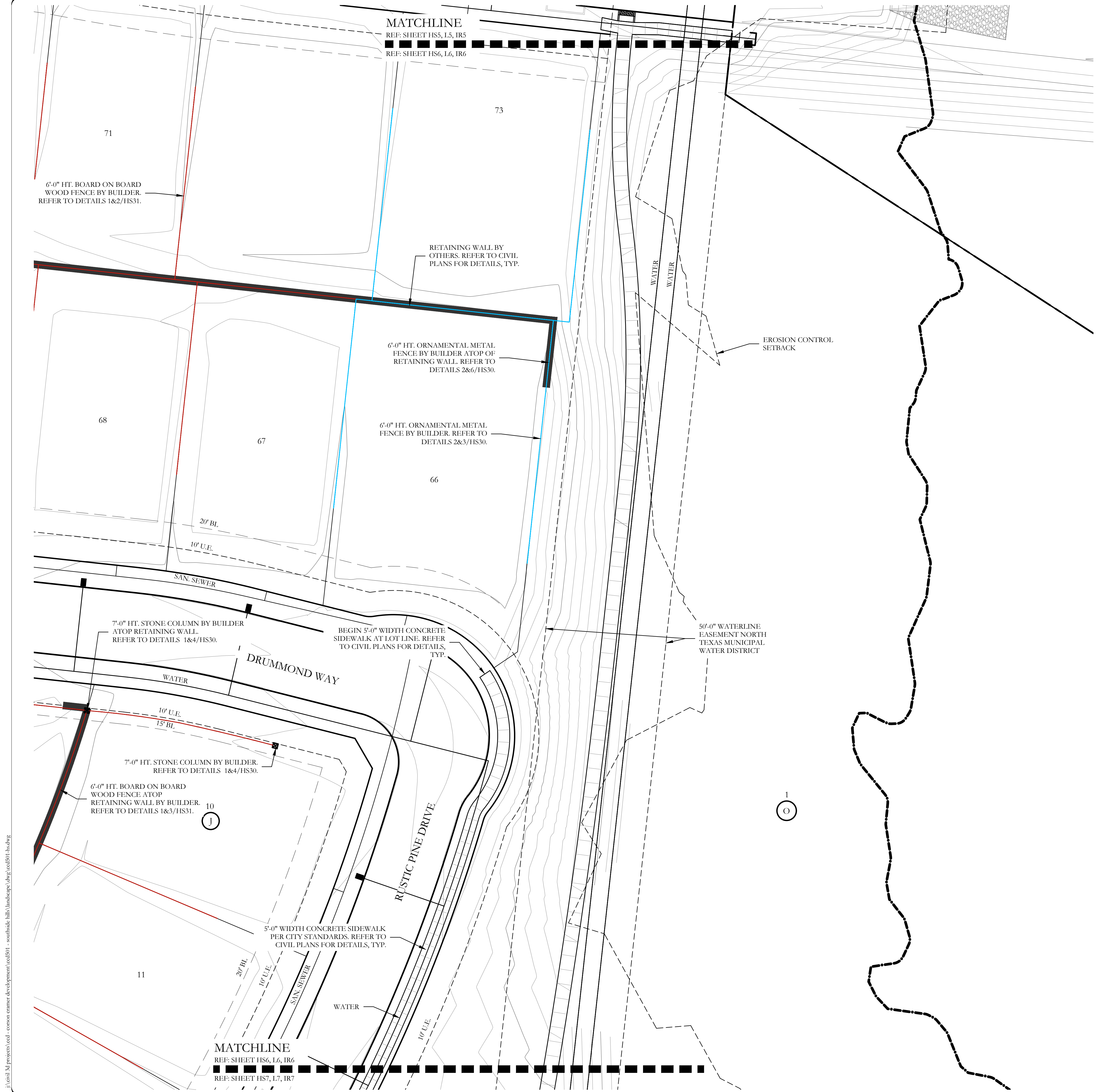
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 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

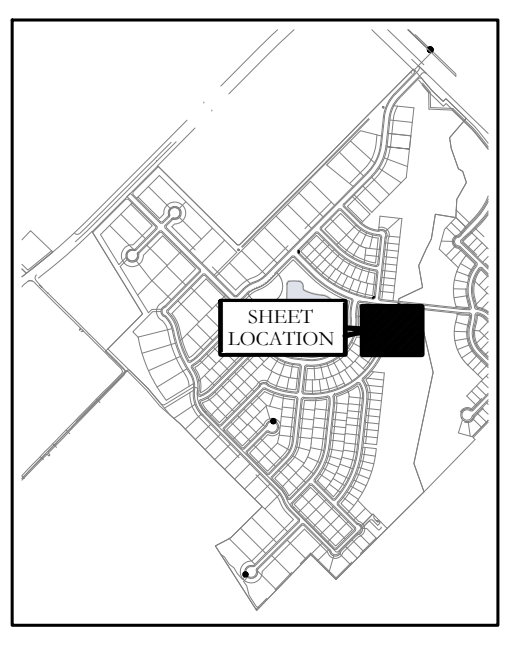




HARDSCAPE LEGEND

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Director of Planning and Zoning

Planning & Zoning Commission, Chairman

SCALE: 1" = 20'

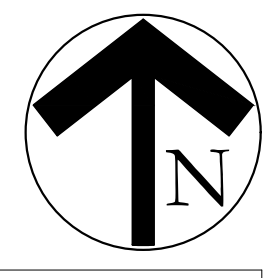
One Inch

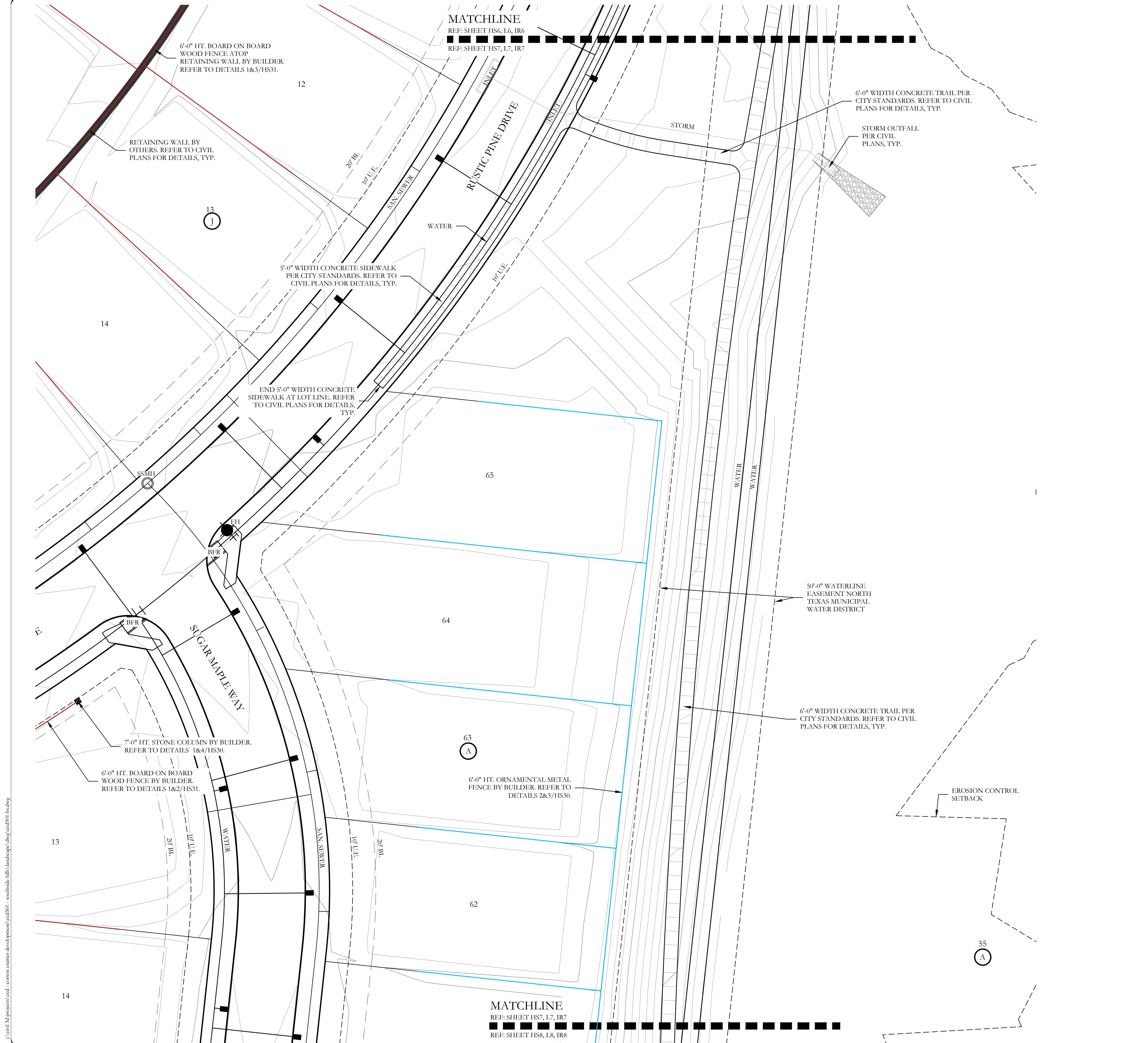
JVC No CCD501

SCALE 1" = 20'

20 10 0 20

SCALE 1" = 20'

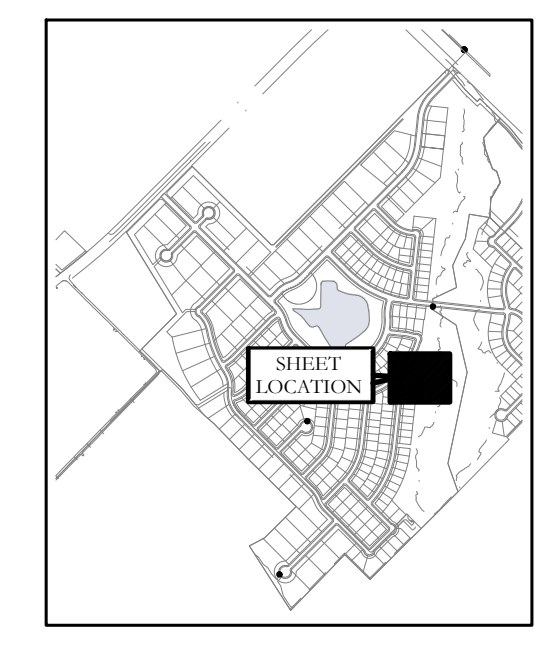




HARDSCAPE LEGEND

	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
	PLANTER BOWL PER LANDSCAPE PLANS.
	5'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS28.
	7'-0" MAIN ENTRY MONUMENT B SIGN TOWER. REFER TO DETAILS 1,2,4&5/HS28.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
	42" HT. ORNAMENTAL METAL HANDRAIL ATOP RETAINING WALL. REFER TO DETAILS 3&4/HS29.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1,2&3/HS30.
	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&4/HS30.
	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAILS 1&4/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 2&6/HS30.
	6'-0" HT. BOARD ON BOARD WOOD FENCE BY BUILDER. REFER TO DETAILS 1&2/HS31.
	6'-0" HT. BOARD ON BOARD WOOD FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 1&3/HS31.
	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
REFER TO CIVIL PLANS FOR ALL RETAINING WALLS AND SIDEWALK LAYOUTS AND DETAILS.



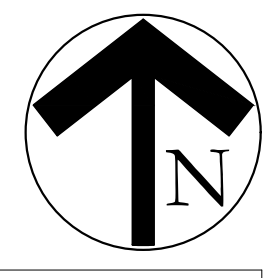
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SCALE 1" = 20'



MATCHLINE
 REF: SHEET HS7, L7, IR7
 REF: SHEET HS8, L8, IR8

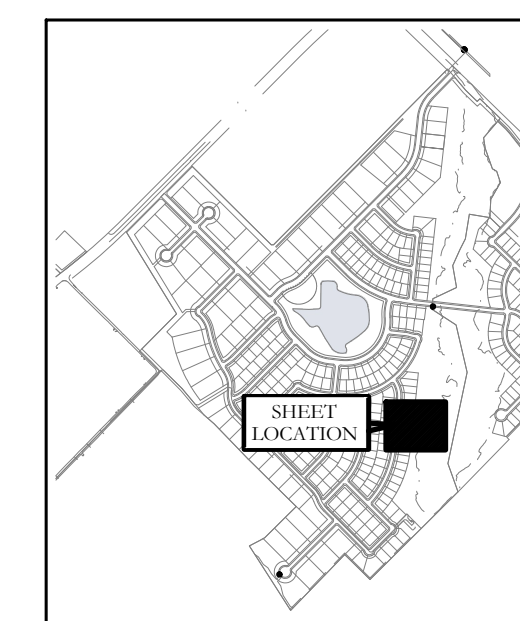
HARDSCAPE LEGEND

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NOTE:
 REFER TO CIVIL PLANS FOR ALL RETAINING WALLS
 AND SIDEWALK LAYOUTS AND DETAILS.



MATCHLINE
 REF: SHEET HS8, L8, IR8
 REF: SHEET HS9, L9, IR9



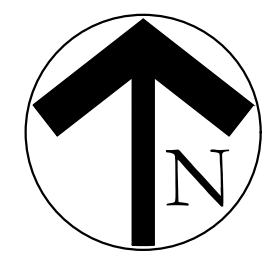
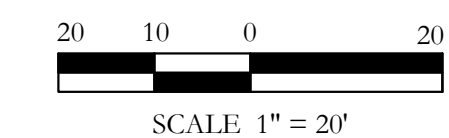
KEY MAP
 NOT TO SCALE

APPROVED:
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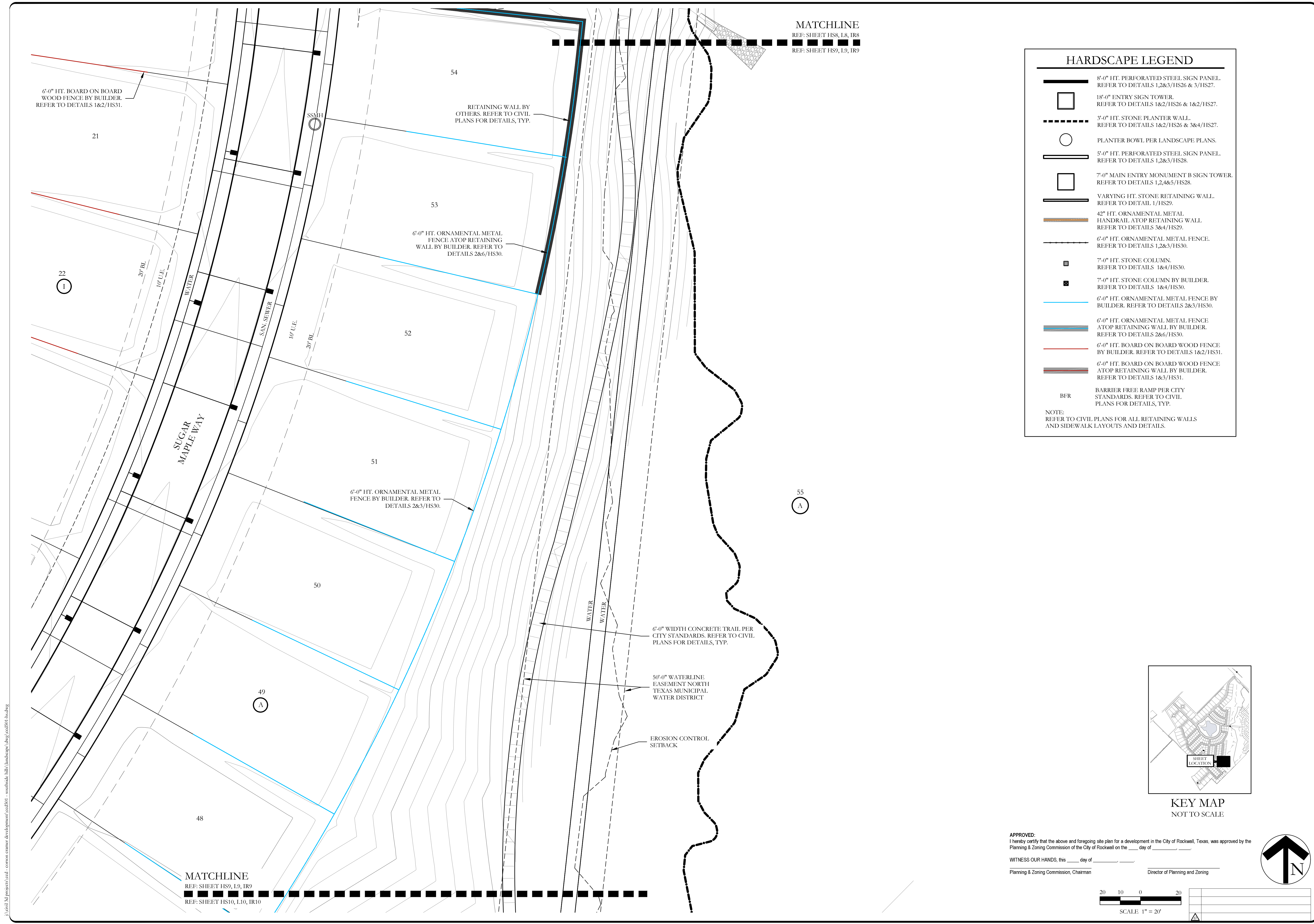
WITNESS OUR HANDS, this ____ day of ____

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



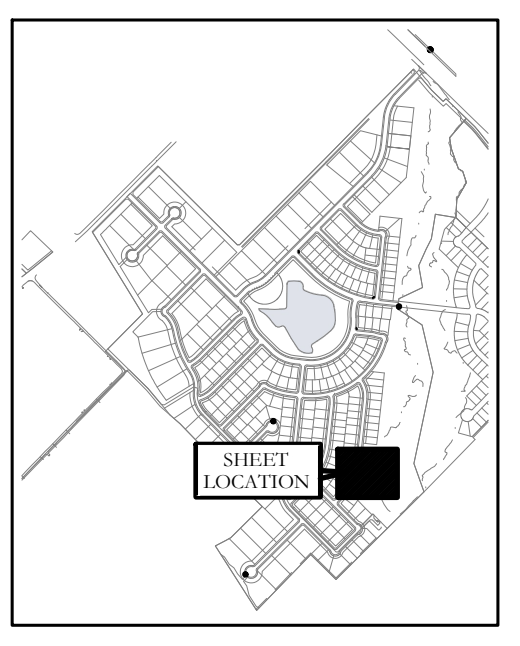
F:\civil_3\projects\ced - censon cramer development\ced01 - southside hills\hardscape\hbs\ced011_hsb.dwg



MATCHLINE
 REF: SHEET HS8, L8, IR8
 REF: SHEET HS9, L9, IR9

HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
	PLANTER BOWL PER LANDSCAPE PLANS.
	5'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS28.
	7'-0" MAIN ENTRY MONUMENT B SIGN TOWER. REFER TO DETAILS 1,2,4&5/HS28.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
	42" HT. ORNAMENTAL METAL HANDRAIL ATOP RETAINING WALL. REFER TO DETAILS 3&4/HS29.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1,2&3/HS30.
	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&4/HS30.
	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAILS 1&4/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 2&6/HS30.
	6'-0" HT. BOARD ON BOARD WOOD FENCE BY BUILDER. REFER TO DETAILS 1&2/HS31.
	6'-0" HT. BOARD ON BOARD WOOD FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 1&3/HS31.
	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
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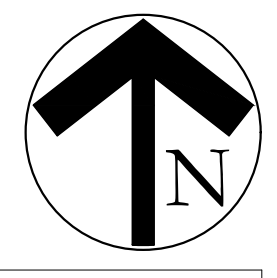
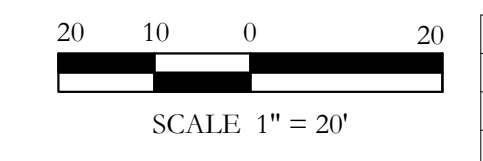
KEY MAP
 NOT TO SCALE

APPROVED:
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WITNESS OUR HANDS, this ___ day of ____

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



MATCHLINE
 REF: SHEET HS9, L9, IR9
 REF: SHEET HS10, L10, IR10

TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSHIDE HILLS

PHASE I

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING

HARDSCAPE PLAN

September 03, 2025

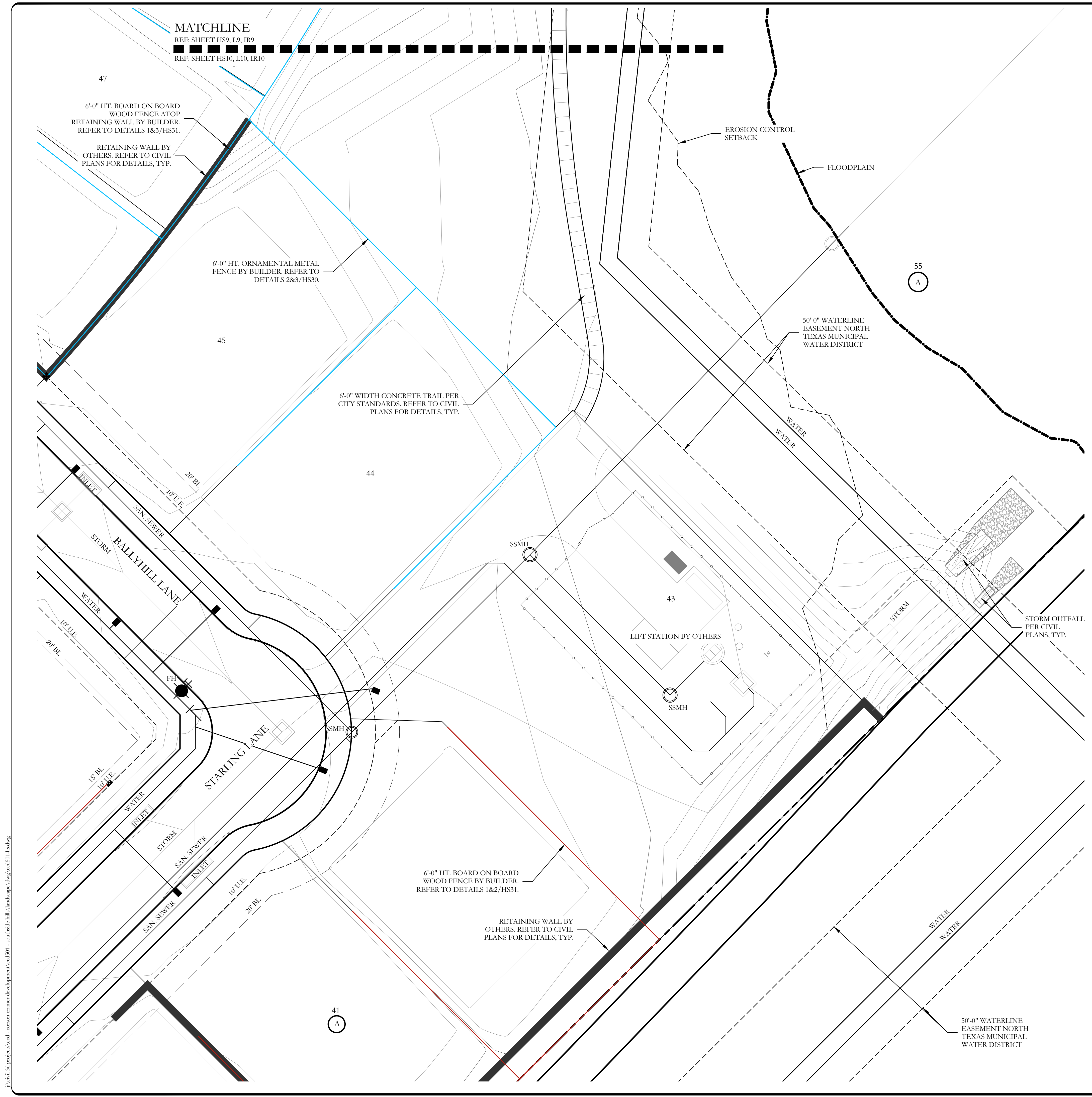
SCALE: 1" = 20'

JVC No. CCD501

HS9 of 31

P:\civil_3\projects\ced - conson cramer development\ced01 - southside hills\landscape\dwg\ced011_hdwg

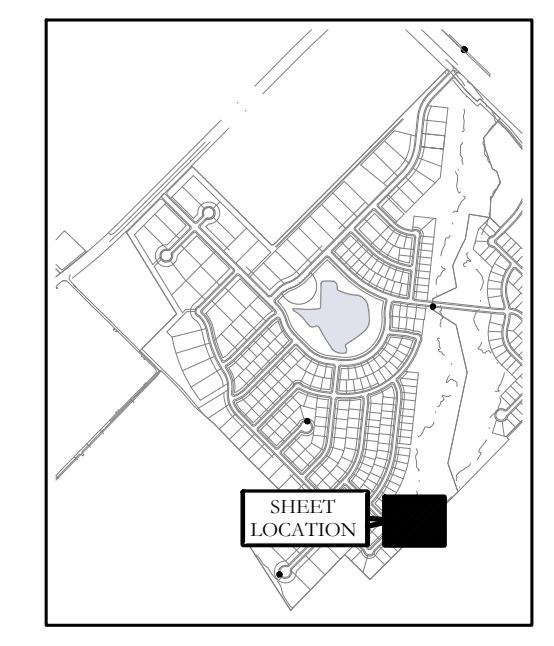
CITY CASE NUMBER SP2025-036



MATCHLINE
 REF: SHEET HS9, L9, IR9
 REF: SHEET HS10, L10, IR10

HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
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	5'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS28.
	7'-0" MAIN ENTRY MONUMENT B SIGN TOWER. REFER TO DETAILS 1,2,4&5/HS28.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
	42" HT. ORNAMENTAL METAL HANDRAIL ATOP RETAINING WALL. REFER TO DETAILS 3&4/HS29.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1,2&3/HS30.
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	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAILS 1&4/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 2&6/HS30.
	6'-0" HT. BOARD ON BOARD WOOD FENCE BY BUILDER. REFER TO DETAILS 1&2/HS31.
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	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
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KEY MAP
 NOT TO SCALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

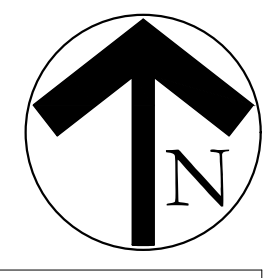
WITNESS OUR HANDS, this ____ day of ____

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SCALE: 1" = 20'

20 10 0 20



JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

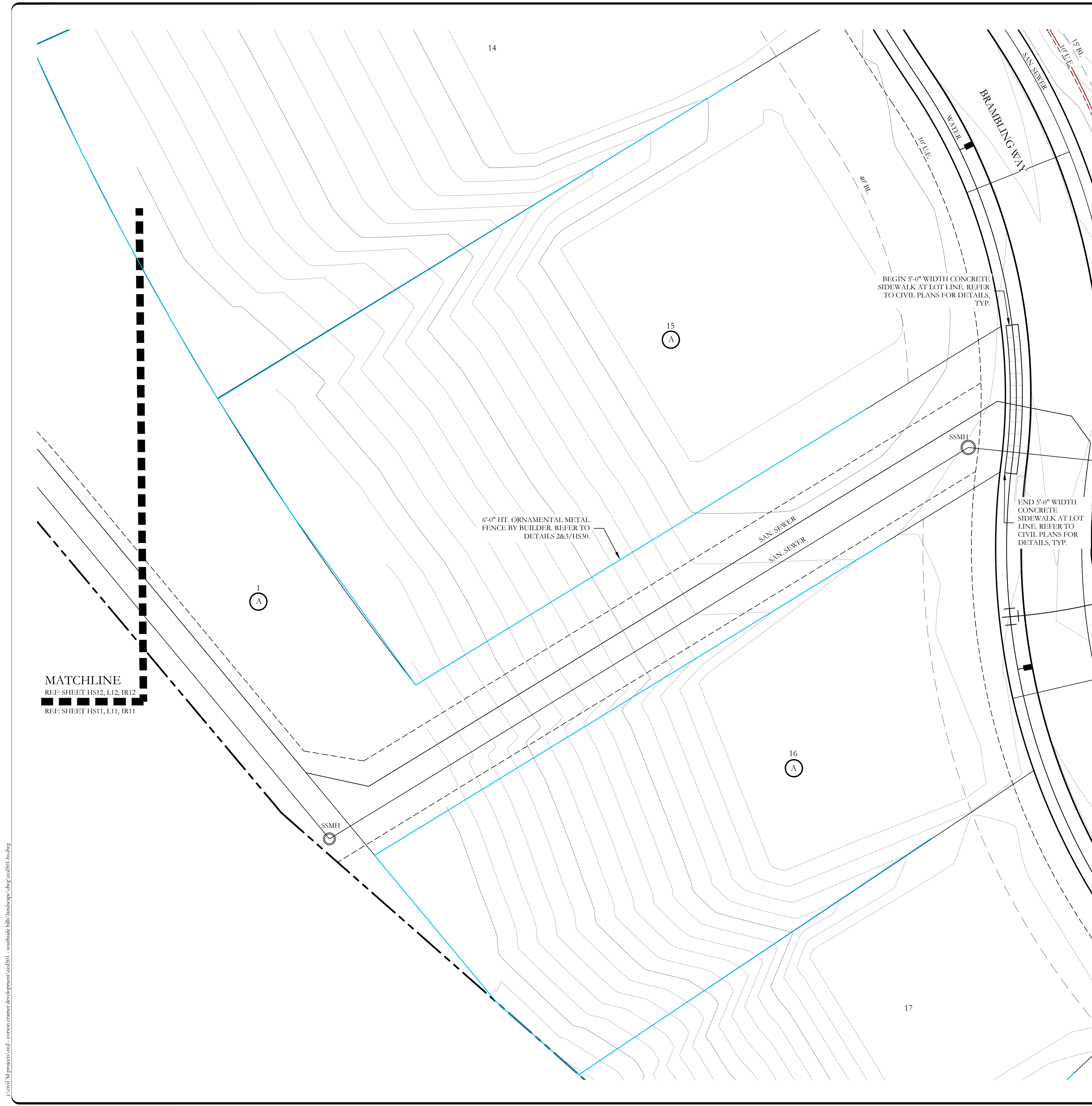
SCREENING AND BUFFERING
 HARDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
 COY L. JOHNSON
 STATE OF TEXAS
 2833
 September 03, 2025

SCALE: 1" = 20'
 One Inch
 JVC No CCD501

HS10 of 31

CITY CASE NUMBER SP2025-036

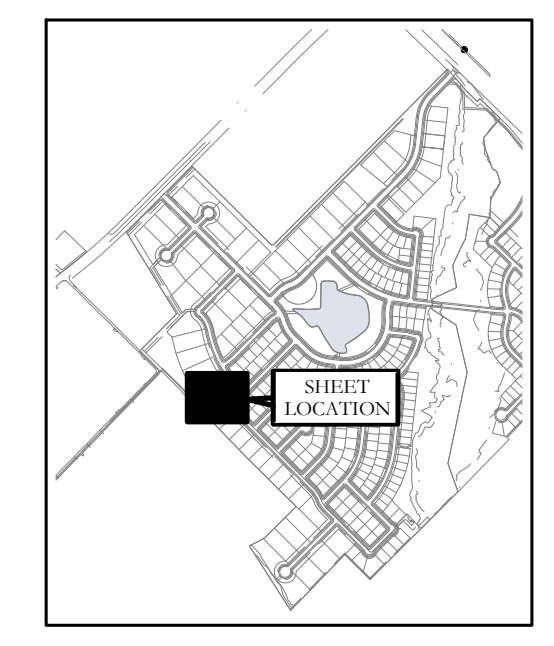


HARDSCAPE LEGEND

	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
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	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
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	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
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MATCHLINE
REF: SHEET HS12, L12, TR12
REF: SHEET HS11, L11, TR11

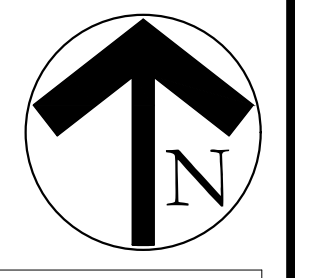
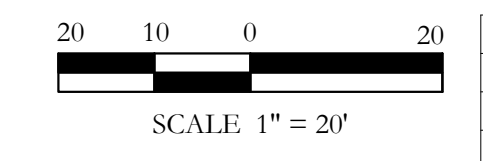


KEY MAP
NOT TO SCALE

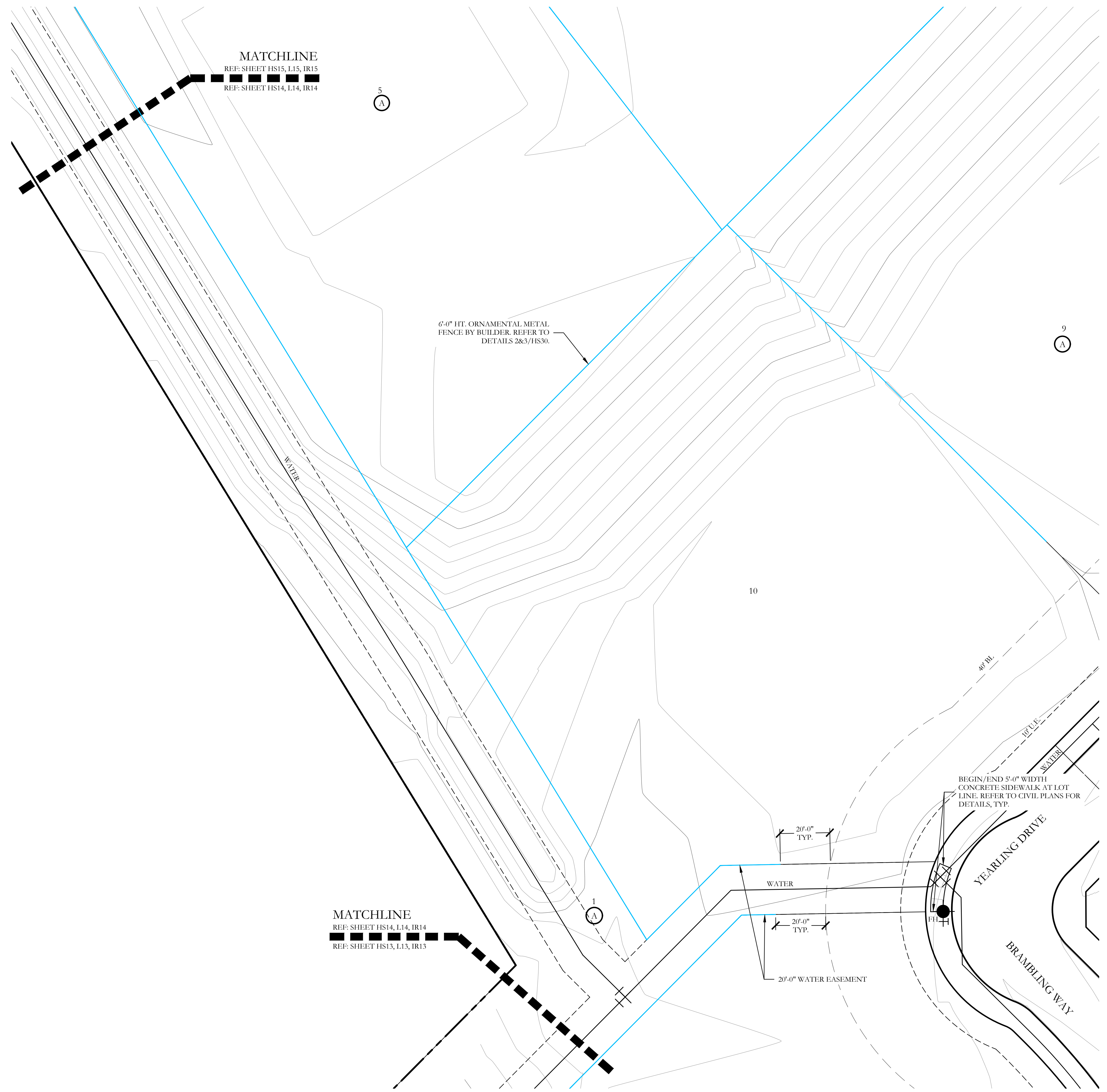
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WITNESS OUR HANDS, this ___ day of _____, 2025.

Director of Planning and Zoning



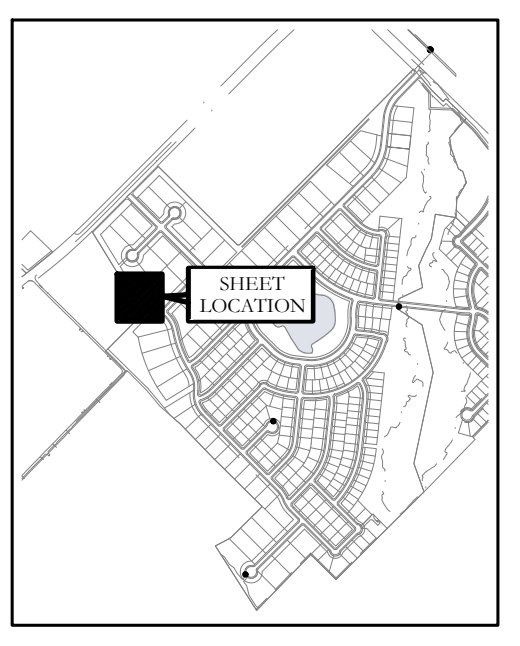
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HARDSCAPE LEGEND

	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
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	7'-0" MAIN ENTRY MONUMENT B SIGN TOWER. REFER TO DETAILS 1,2,4&5/HS28.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
	42" HT. ORNAMENTAL METAL HANDRAIL ATOP RETAINING WALL. REFER TO DETAILS 3&4/HS29.
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	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&4/HS30.
	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAILS 1&4/HS30.
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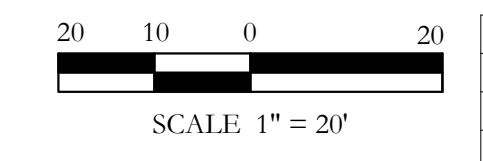


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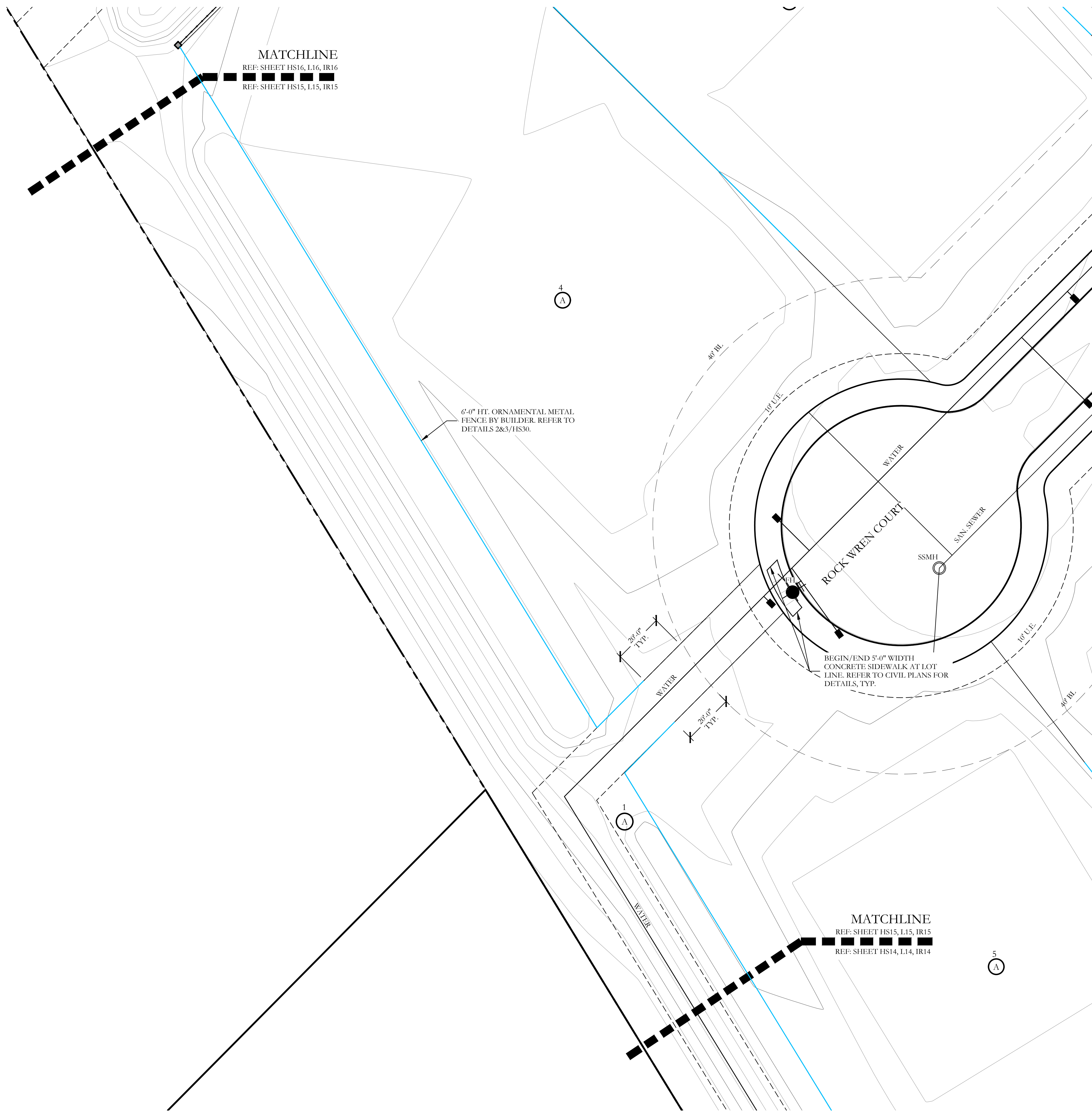
WITNESS OUR HANDS, this ___ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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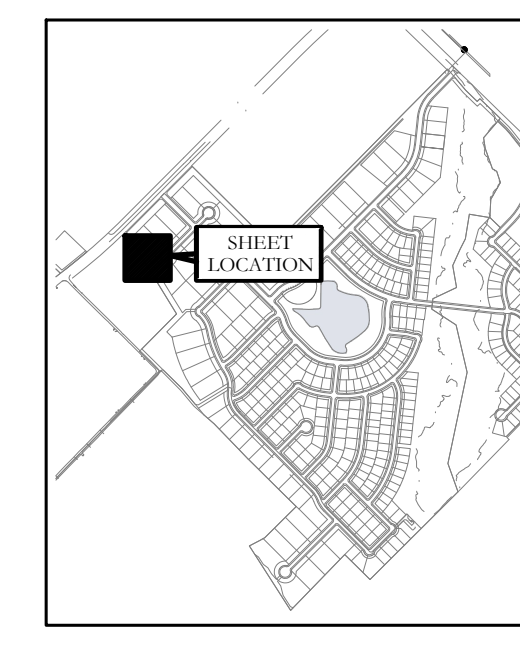


MATCHLINE
 REF: SHEET HS16, L16, IR16
 REF: SHEET HS15, L15, IR15

MATCHLINE
 REF: SHEET HS15, L15, IR15
 REF: SHEET HS14, L14, IR14

HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
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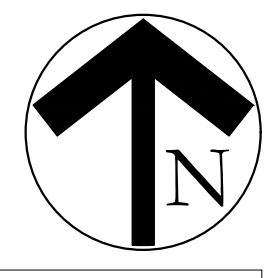
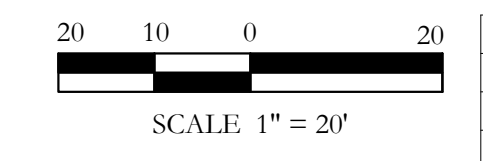
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KEY MAP
 NOT TO SCALE

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WITNESS OUR HANDS, this ____ day of _____
 Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

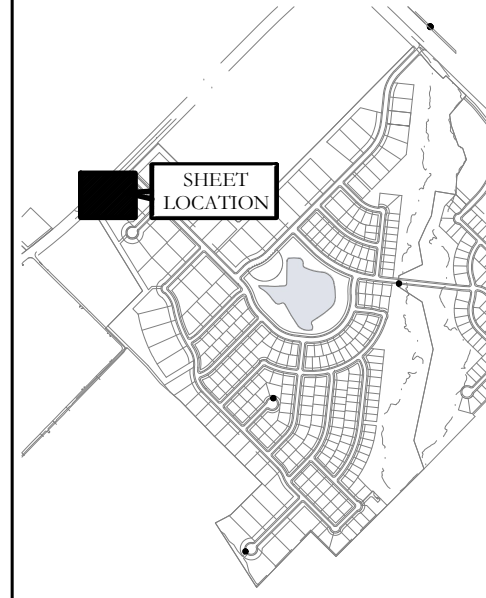
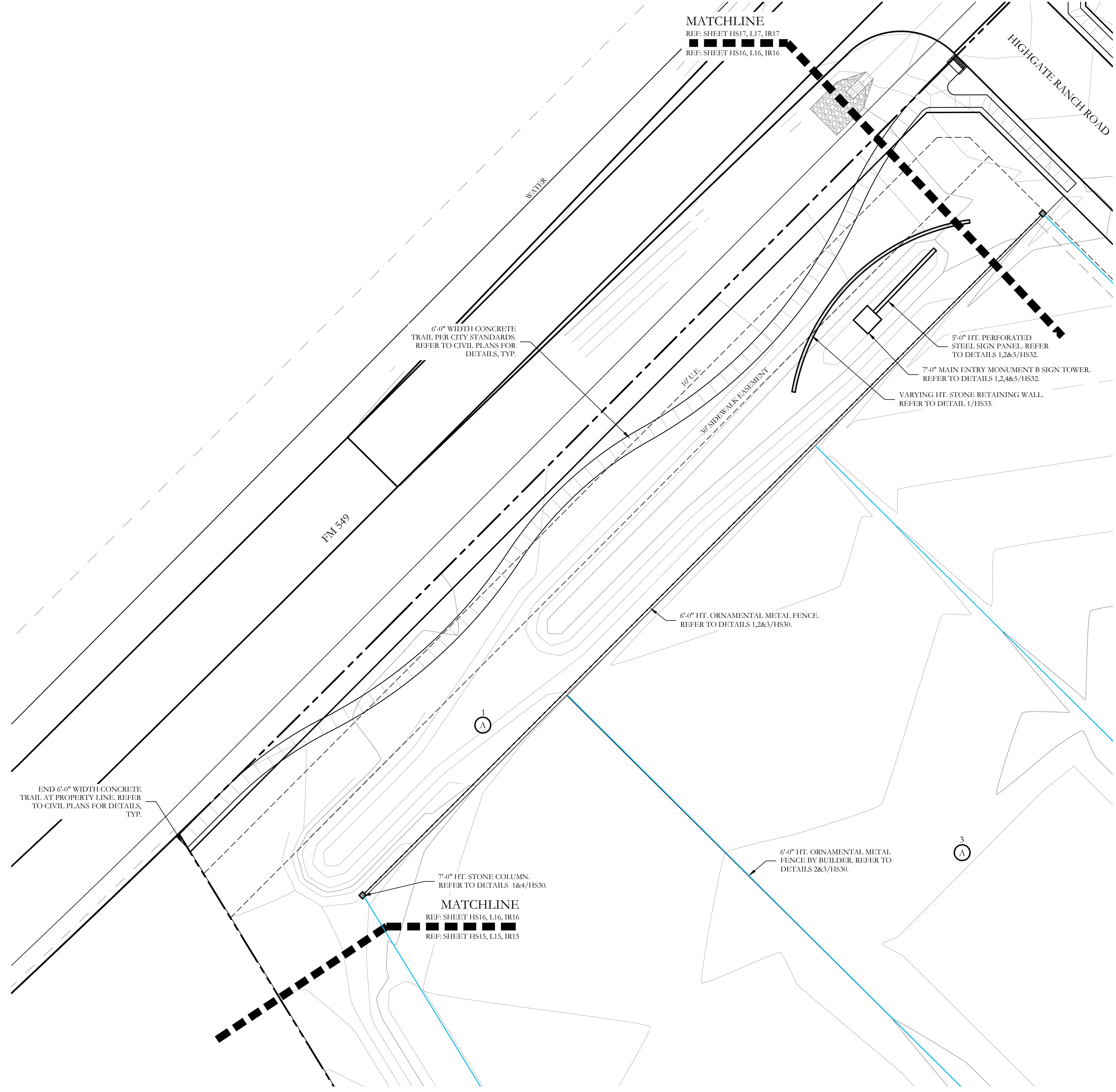


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MATCHLINE
 REF: SHEET HS17, L17, IR17
 REF: SHEET HS16, L16, IR16

MATCHLINE
 REF: SHEET HS16, L16, IR16
 REF: SHEET HS15, L15, IR15

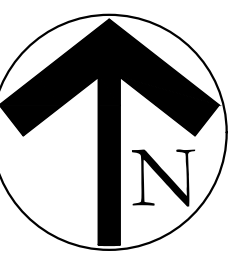
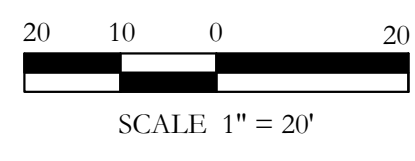
HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
	PLANTER BOWL PER LANDSCAPE PLANS.
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	6'-0" HT. BOARD ON BOARD WOOD FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 1&3/HS31.
	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.
NOTE: REFER TO CIVIL PLANS FOR ALL RETAINING WALLS AND SIDEWALK LAYOUTS AND DETAILS.	



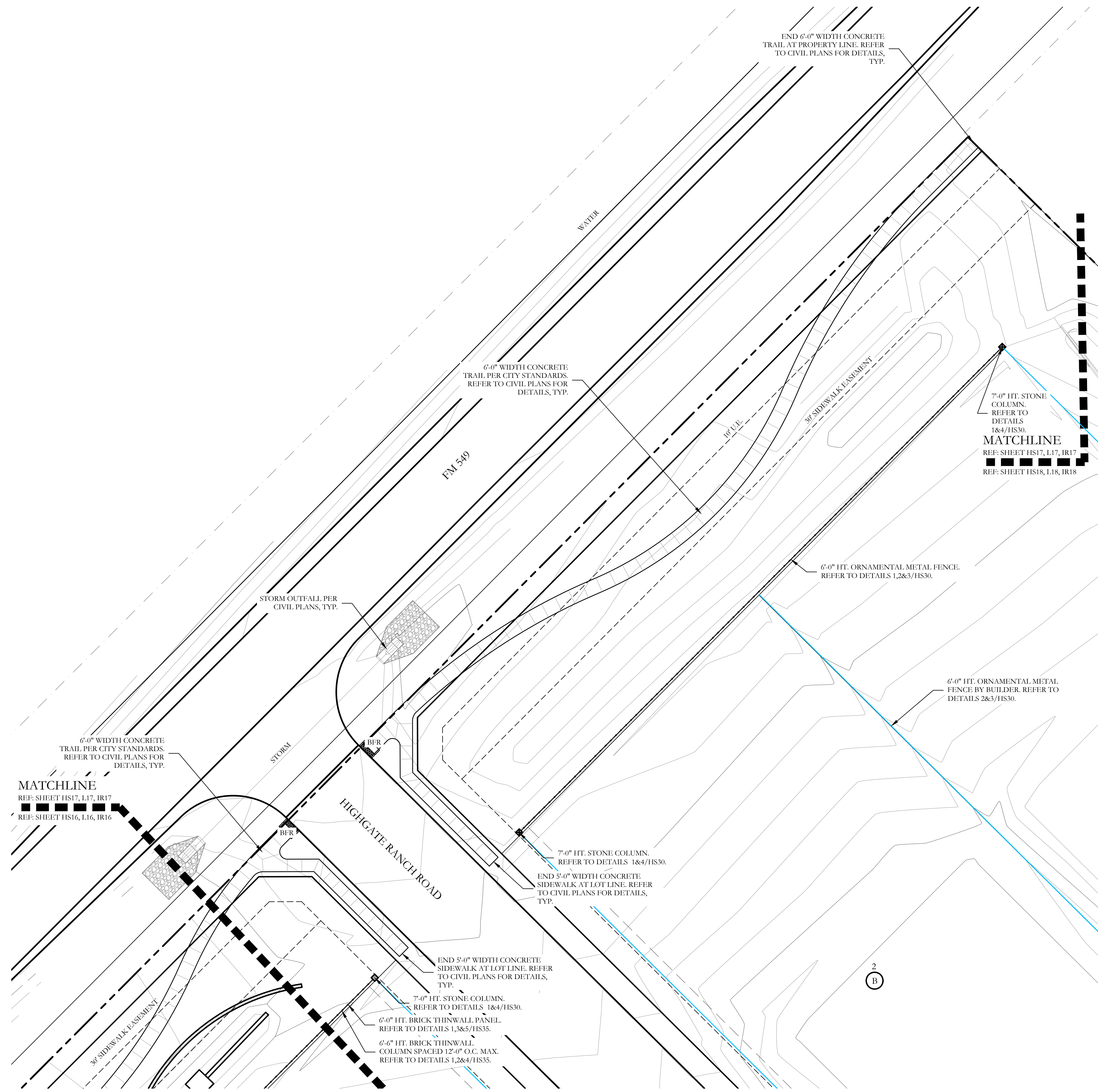
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____



Planet 3D projects.cad - c:\sonar\canner\development\ced\01 - southside hills\landscape\dwg\ce\011_hdwg

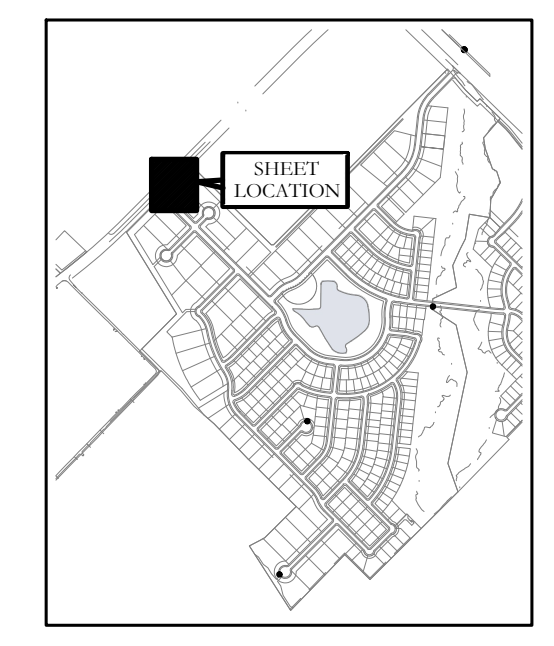


HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
	PLANTER BOWL PER LANDSCAPE PLANS.
	5'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS28.
	7'-0" MAIN ENTRY MONUMENT B SIGN TOWER. REFER TO DETAILS 1,2,4&5/HS28.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 1/HS29.
	42" HT. ORNAMENTAL METAL HANDRAIL ATOP RETAINING WALL. REFER TO DETAILS 3&4/HS29.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1,2&3/HS30.
	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&4/HS30.
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NOTE:
REFER TO CIVIL PLANS FOR ALL RETAINING WALLS AND SIDEWALK LAYOUTS AND DETAILS.

MATCHLINE
REF: SHEET HS17, L17, IR17
REF: SHEET HS16, L16, IR16

MATCHLINE
REF: SHEET HS17, L17, IR17
REF: SHEET HS18, L18, IR18



KEY MAP
NOT TO SCALE

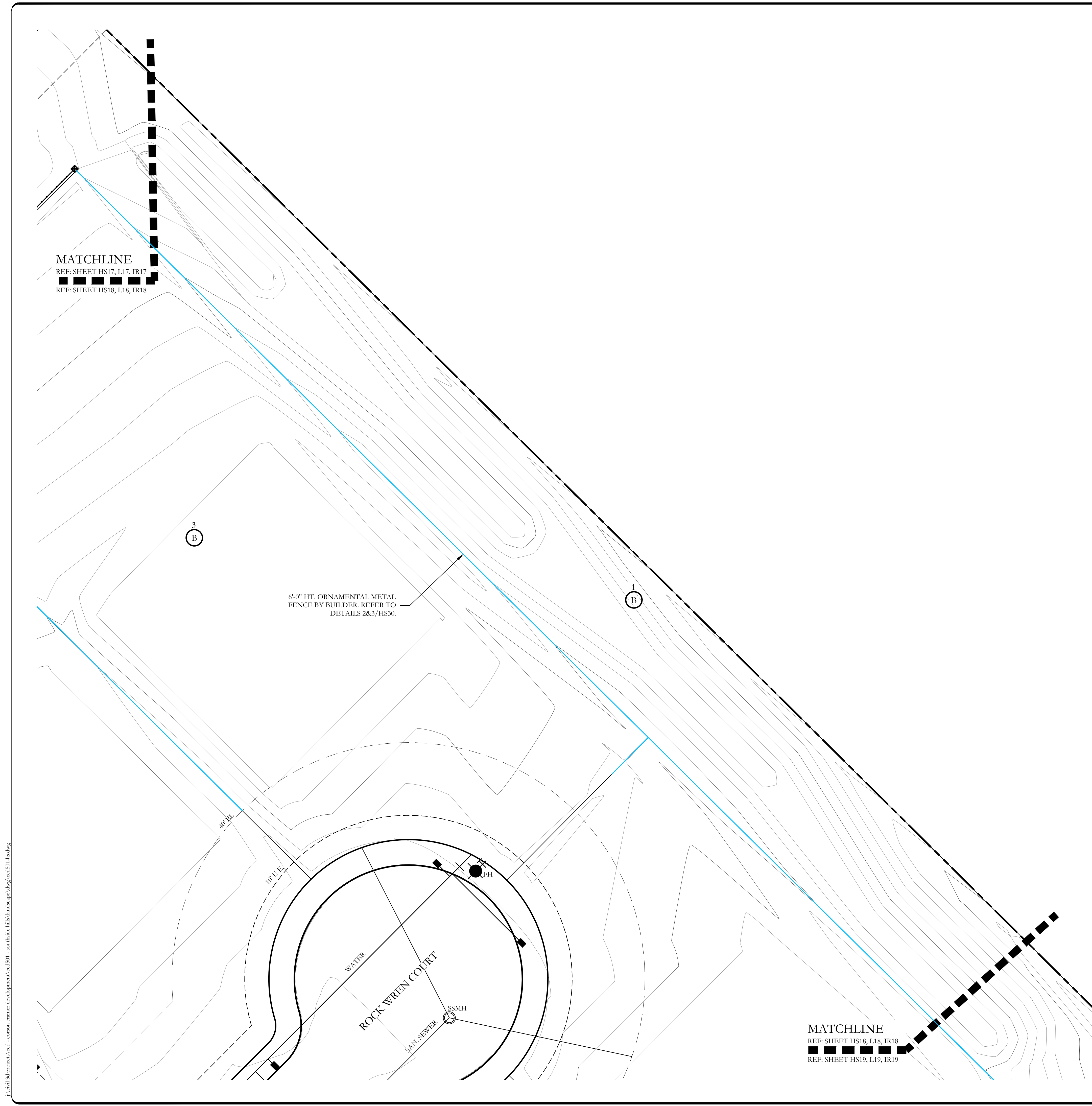
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WITNESS OUR HANDS, this ___ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

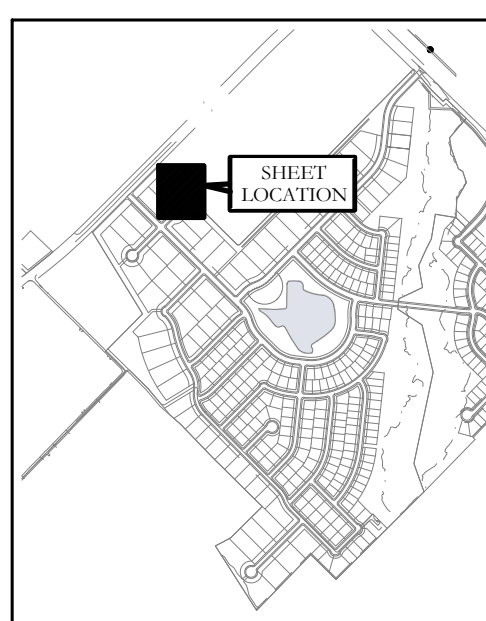
SCALE: 1" = 20'



HARDSCAPE LEGEND

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	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
	PLANTER BOWL PER LANDSCAPE PLANS.
	5'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS28.
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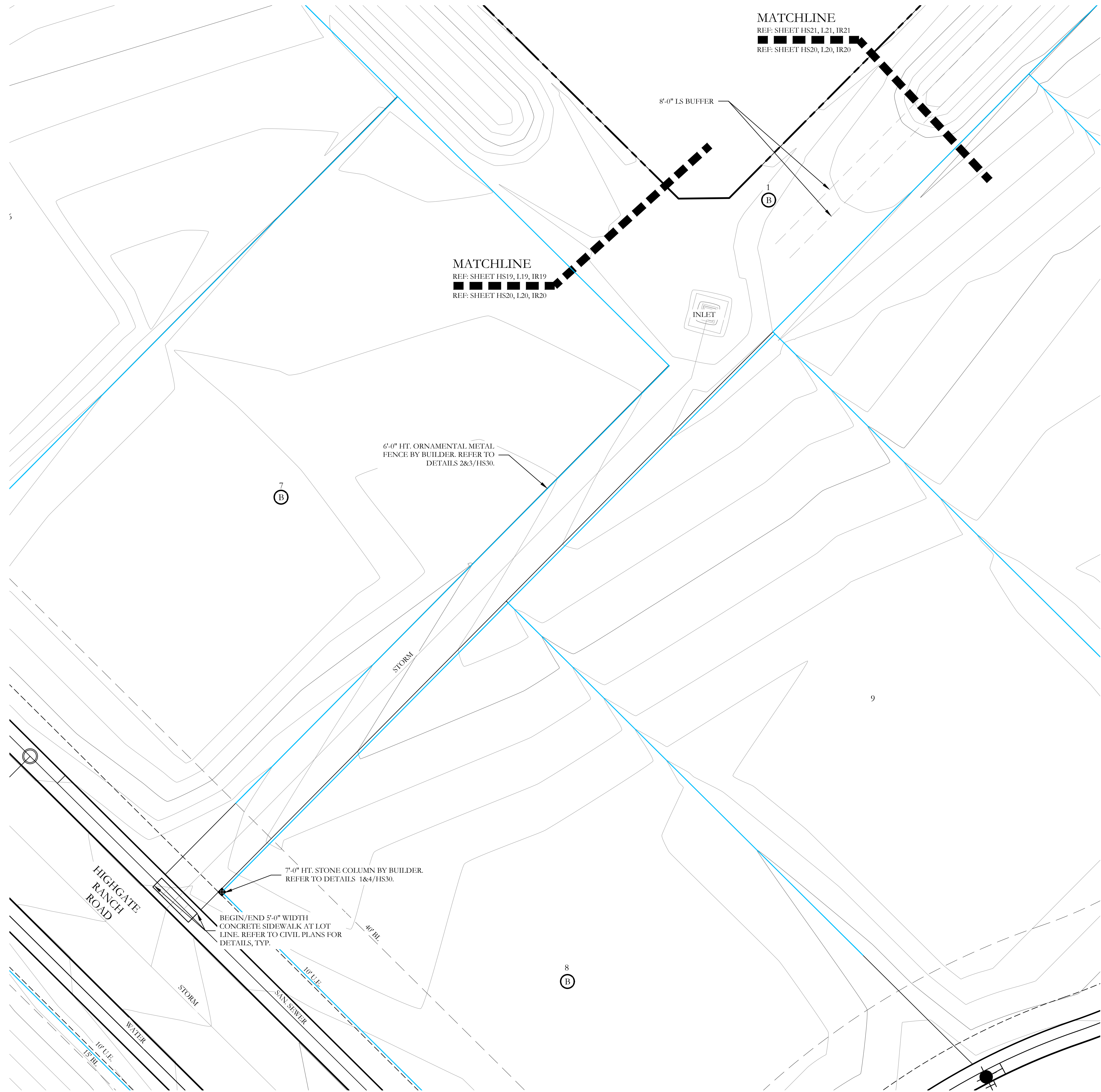
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Director of Planning and Zoning

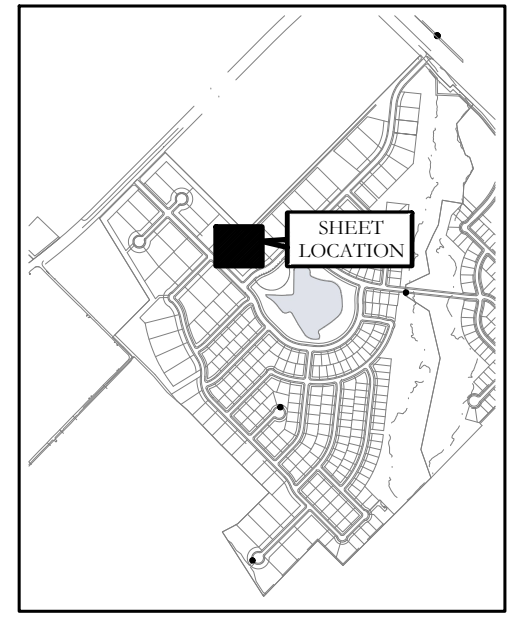
SCALE: 1" = 20'



HARDSCAPE LEGEND

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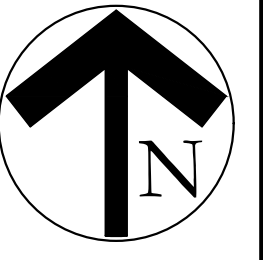
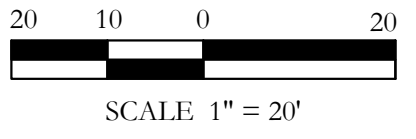
KEY MAP
NOT TO SCALE

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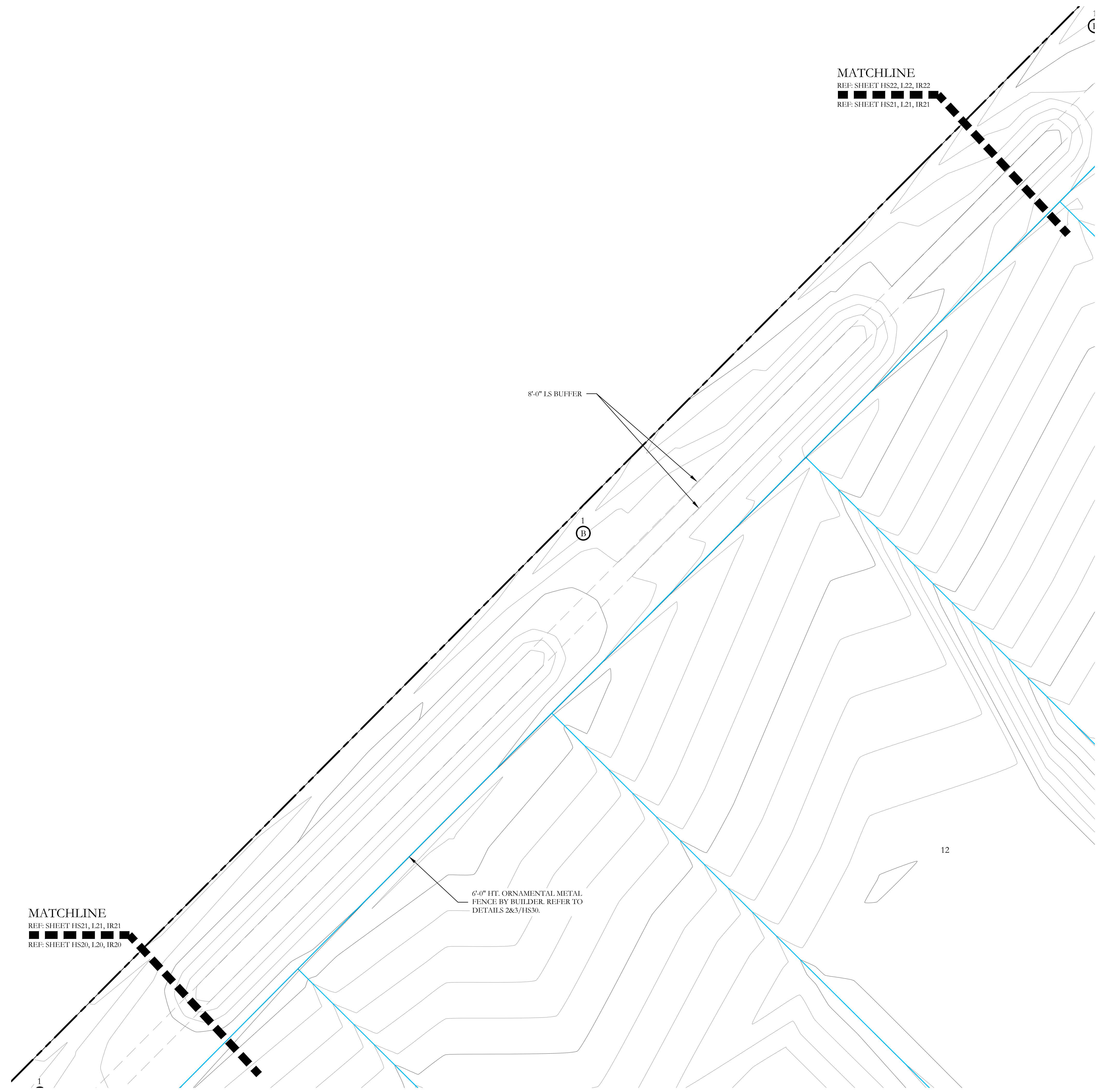
WITNESS OUR HANDS, this ____ day of ____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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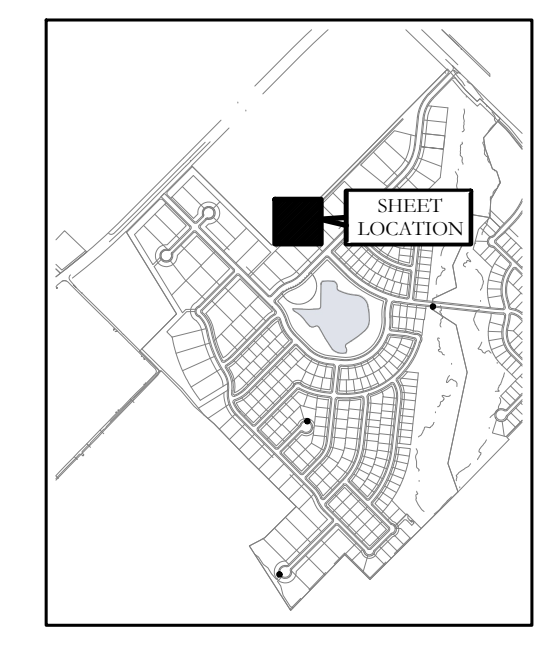
MATCHLINE
REF: SHEET HS22, 1.22, IR22
REF: SHEET HS21, 1.21, IR21

MATCHLINE
REF: SHEET HS21, 1.21, IR21
REF: SHEET HS20, 1.20, IR20

6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.

HARDSCAPE LEGEND	
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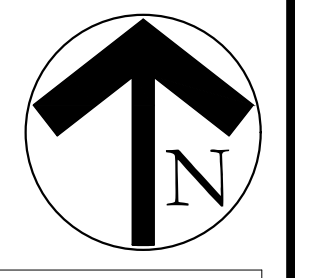
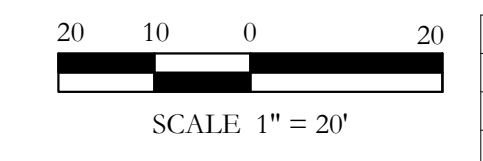
KEY MAP
NOT TO SCALE

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WITNESS OUR HANDS, this ____ day of ____

Director of Planning and Zoning

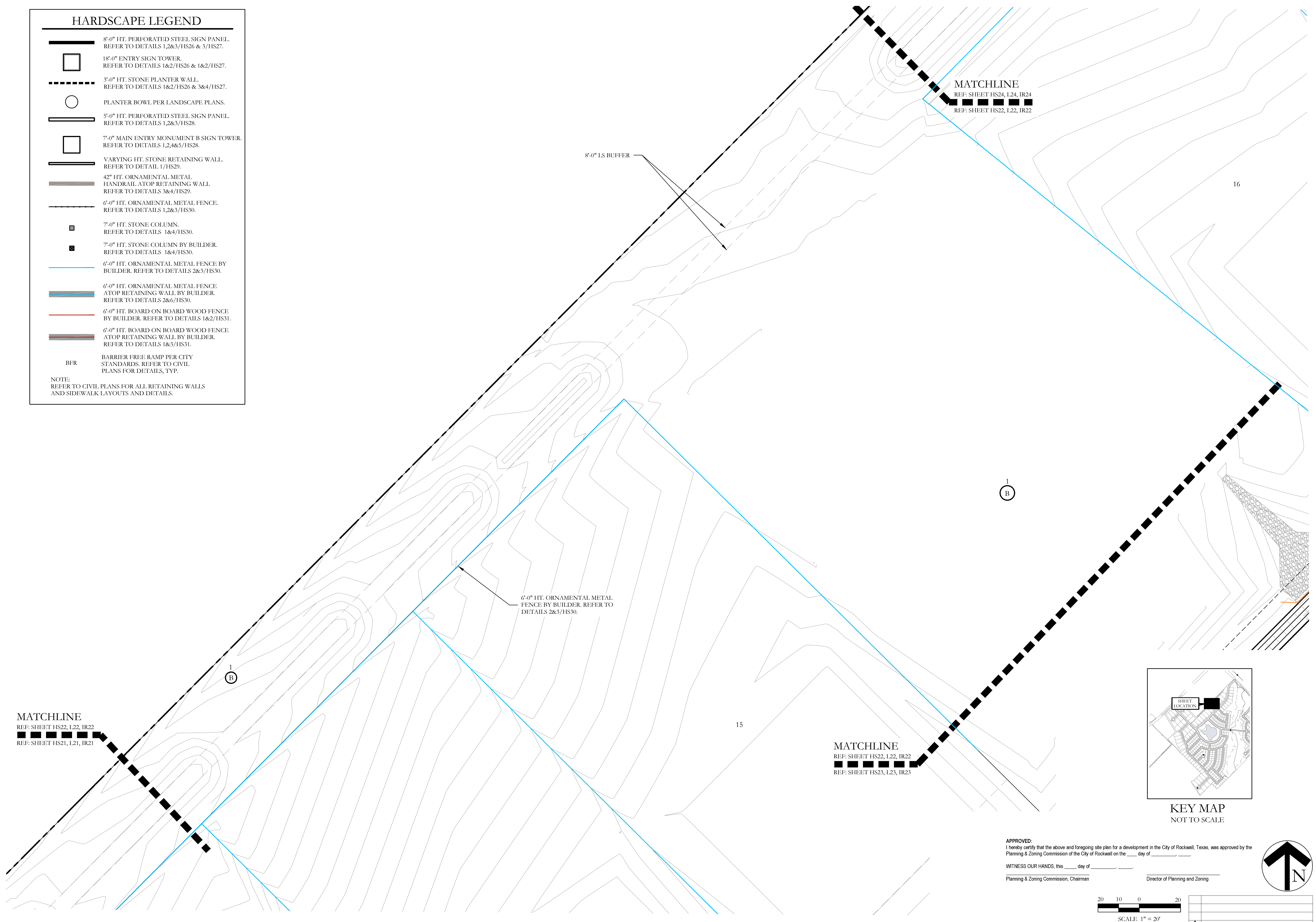
Planning & Zoning Commission, Chairman



HARDSCAPE LEGEND

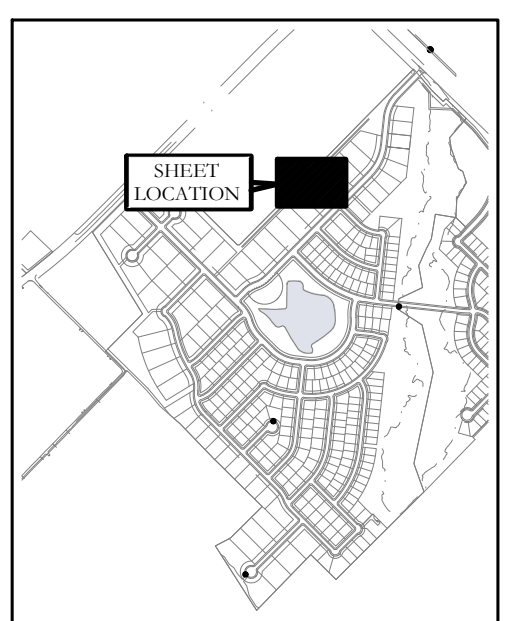
-  8'-0" HT. PERFORATED STEEL SIGN PANEL.
REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
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BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
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MATCHLINE
REF: SHEET HS22, 1,22, 1R22
REF: SHEET HS21, 1,21, 1R21

MATCHLINE
REF: SHEET HS22, 1,22, 1R22
REF: SHEET HS23, 1,23, 1R23

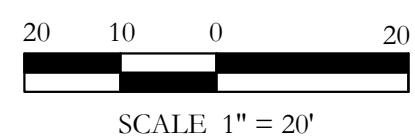


KEY MAP
NOT TO SCALE

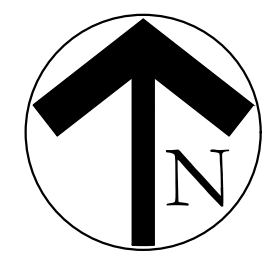
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WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman

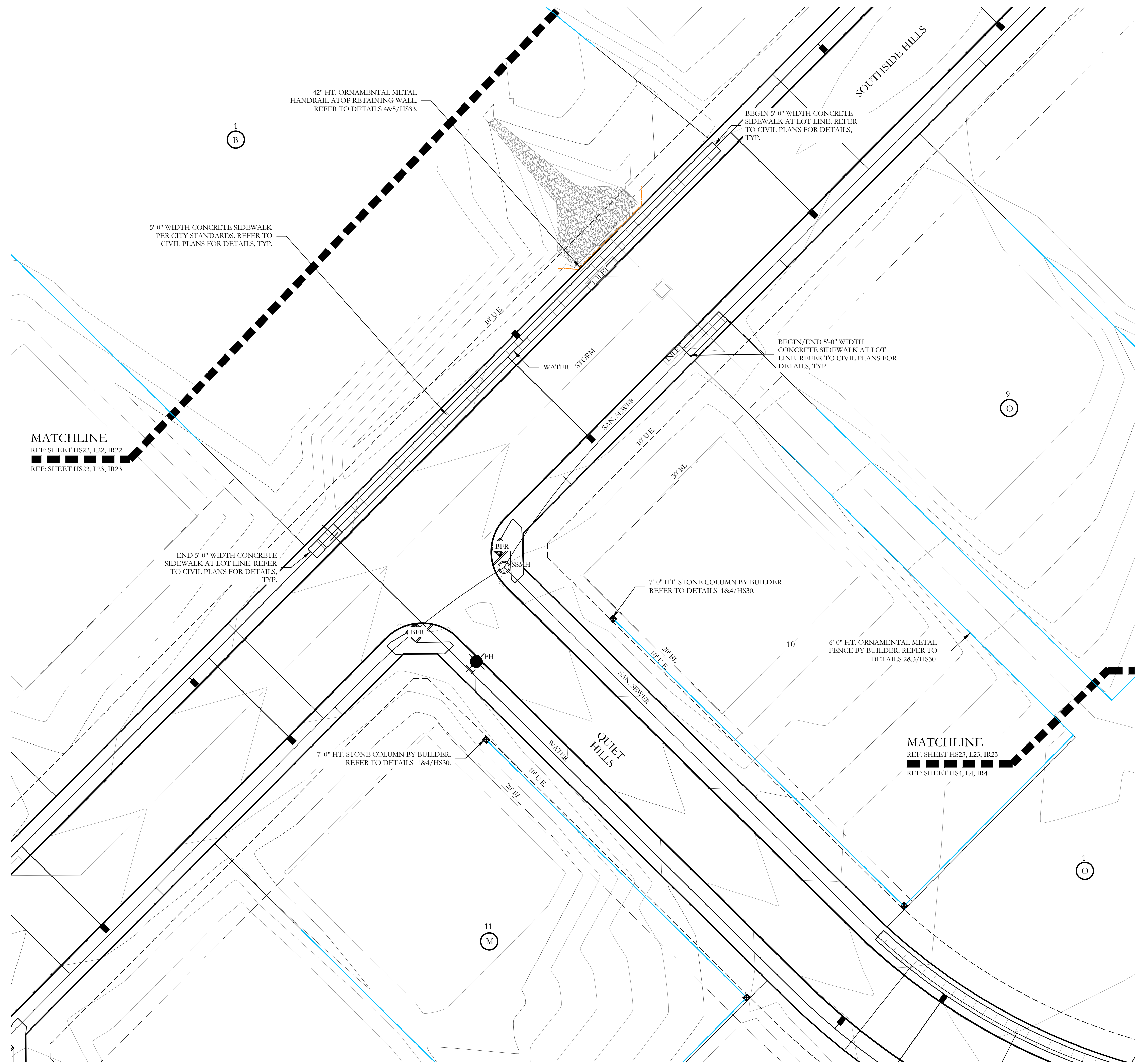
Director of Planning and Zoning



SCALE 1" = 20'



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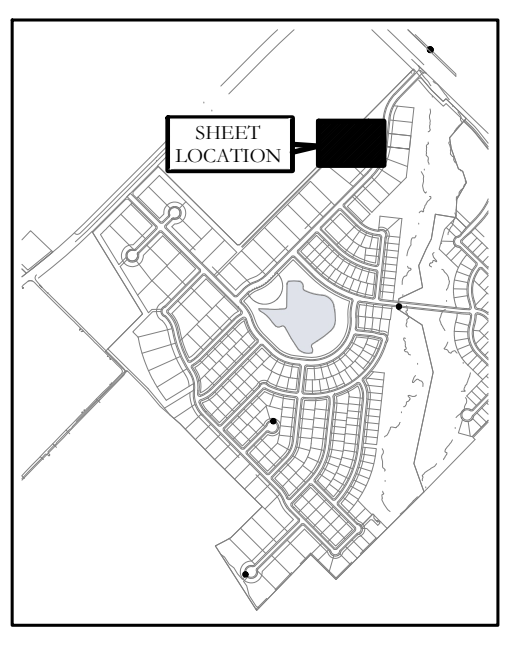


HARDSCAPE LEGEND	
	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
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MATCHLINE
REF: SHEET HS22, I,22, IR22
REF: SHEET HS23, I,23, IR23

MATCHLINE
REF: SHEET HS23, I,23, IR23
REF: SHEET HS4, I,4, IR4



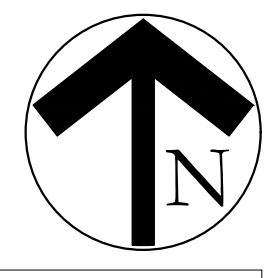
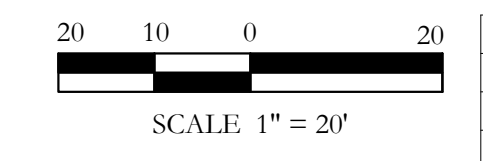
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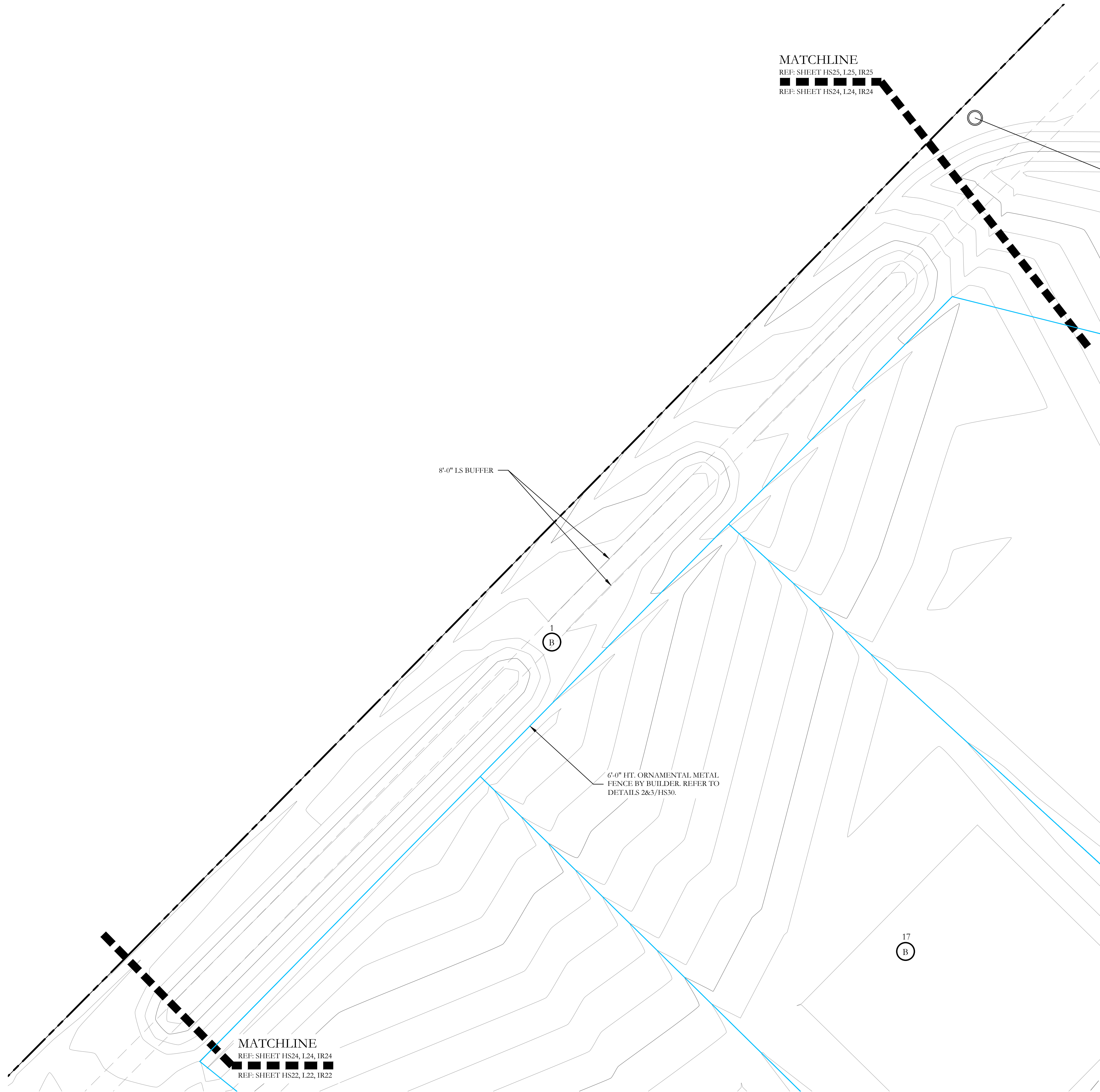
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Director of Planning and Zoning

Planning & Zoning Commission, Chairman



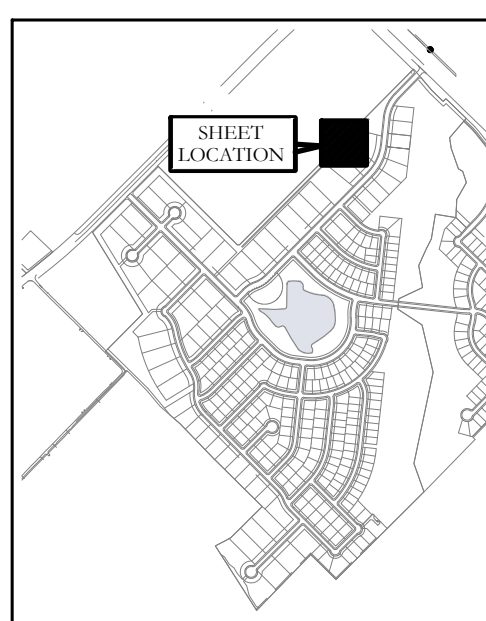
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HARDSCAPE LEGEND

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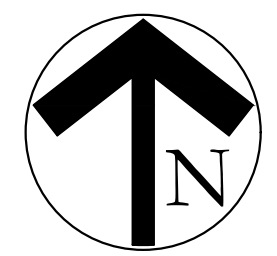
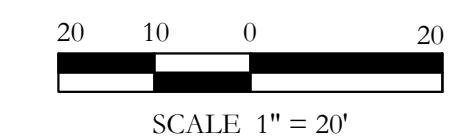
KEY MAP
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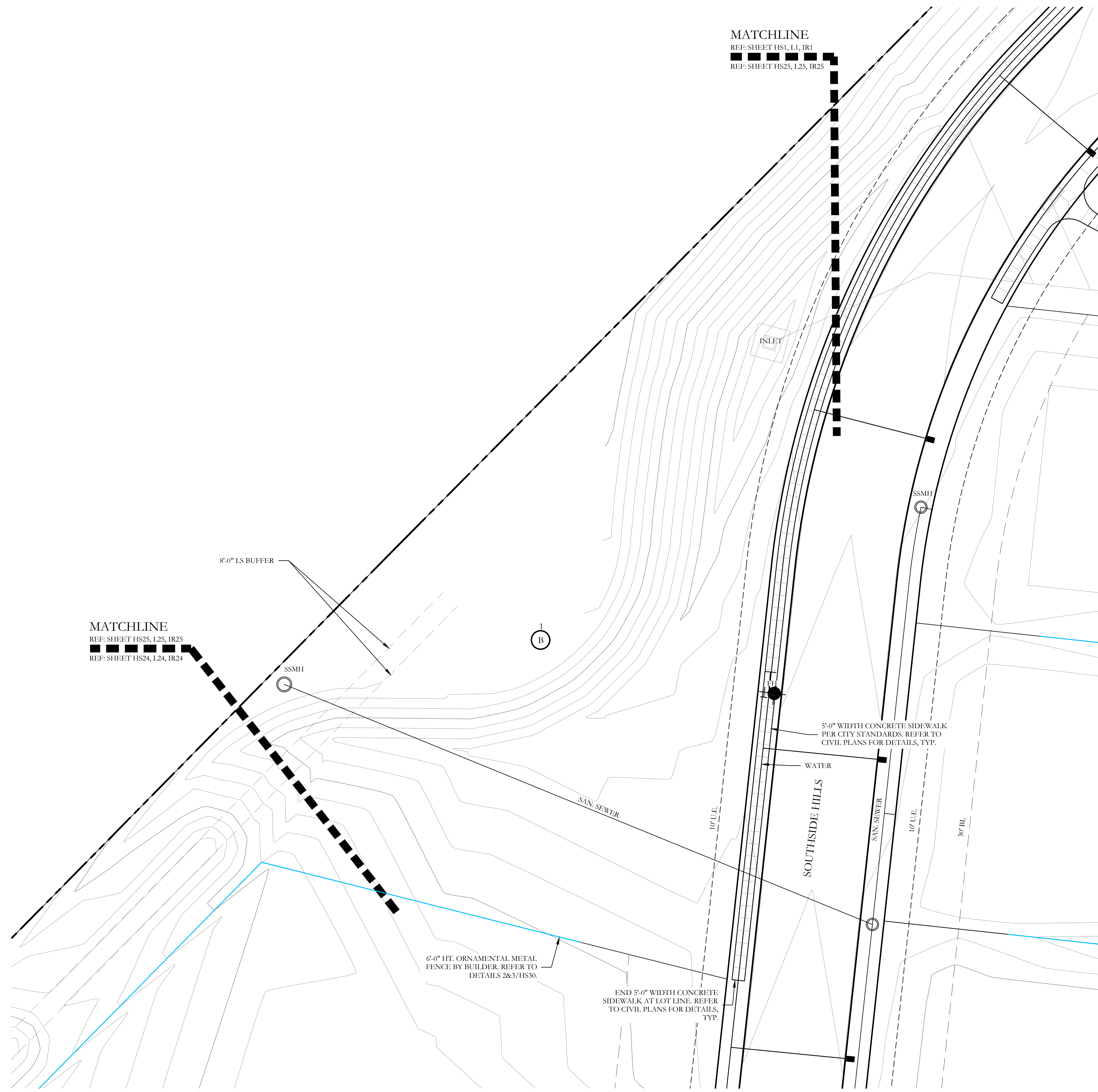
WITNESS OUR HANDS, this ____ day of ____

Director of Planning and Zoning

Planning & Zoning Commission, Chairman



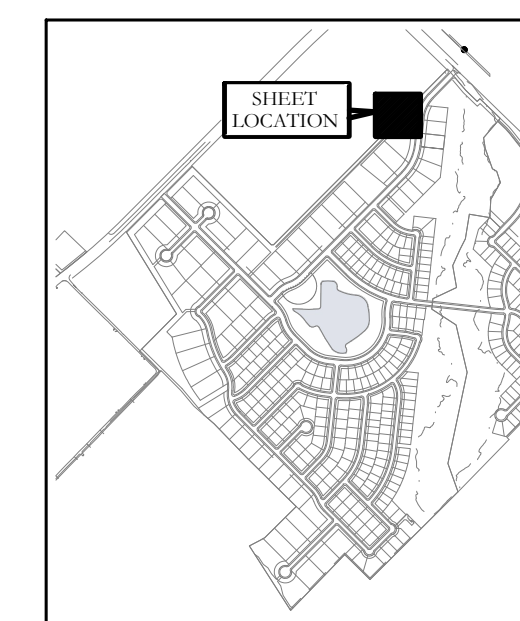
F:\civil_3\projects\ced - conson cramer development\ced01 - southside hills\landscape\dwg\ce0101_hdwg



HARDSCAPE LEGEND

	8'-0" HT. PERFORATED STEEL SIGN PANEL. REFER TO DETAILS 1,2&3/HS26 & 3/HS27.
	18'-0" ENTRY SIGN TOWER. REFER TO DETAILS 1&2/HS26 & 1&2/HS27.
	3'-0" HT. STONE PLANTER WALL. REFER TO DETAILS 1&2/HS26 & 3&4/HS27.
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	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1,2&3/HS30.
	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&4/HS30.
	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAILS 1&4/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 2&6/HS30.
	6'-0" HT. BOARD ON BOARD WOOD FENCE BY BUILDER. REFER TO DETAILS 1&2/HS31.
	6'-0" HT. BOARD ON BOARD WOOD FENCE ATOP RETAINING WALL BY BUILDER. REFER TO DETAILS 1&3/HS31.
	BARRIER FREE RAMP PER CITY STANDARDS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

NOTE:
REFER TO CIVIL PLANS FOR ALL RETAINING WALLS AND SIDEWALK LAYOUTS AND DETAILS.



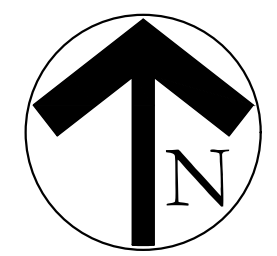
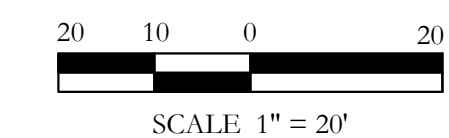
KEY MAP
NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____

Director of Planning and Zoning

Planning & Zoning Commission, Chairman



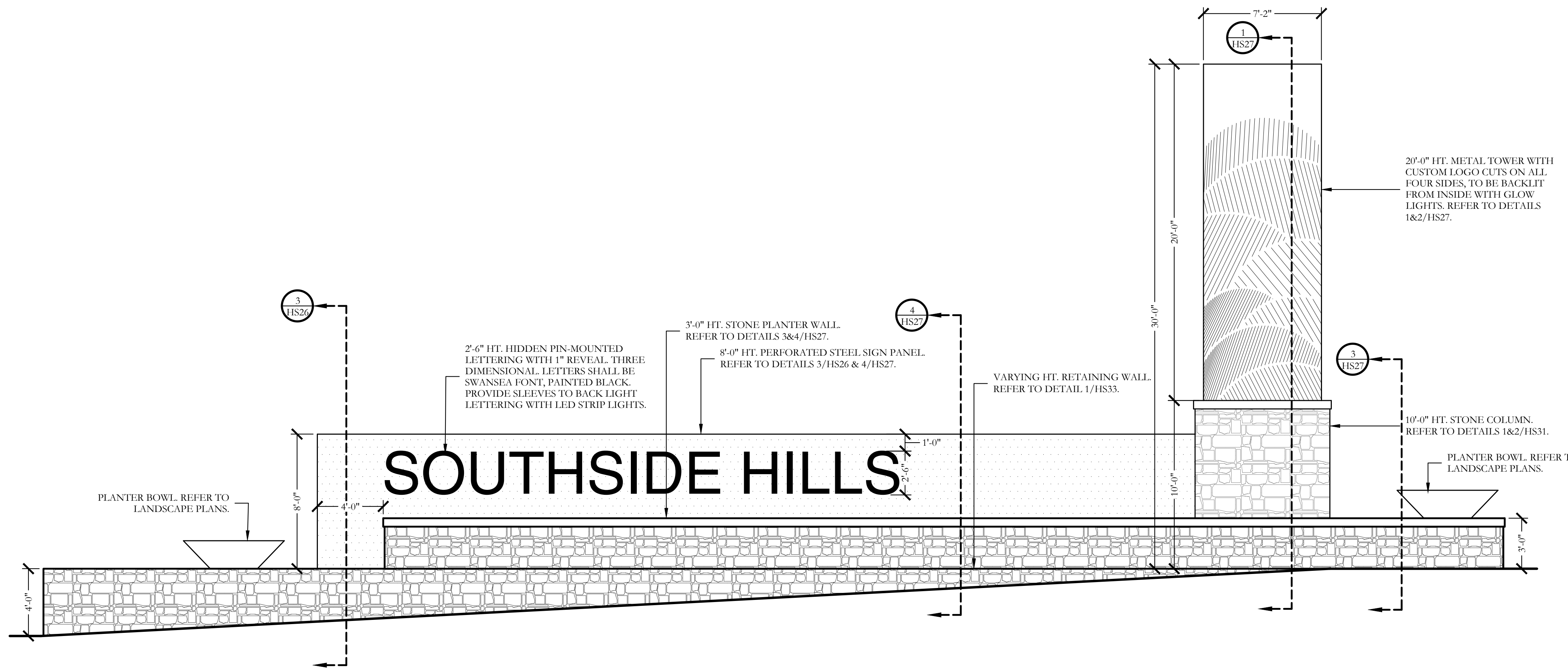
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2025.
WITNESS OUR HANDS, this ___ day of _____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

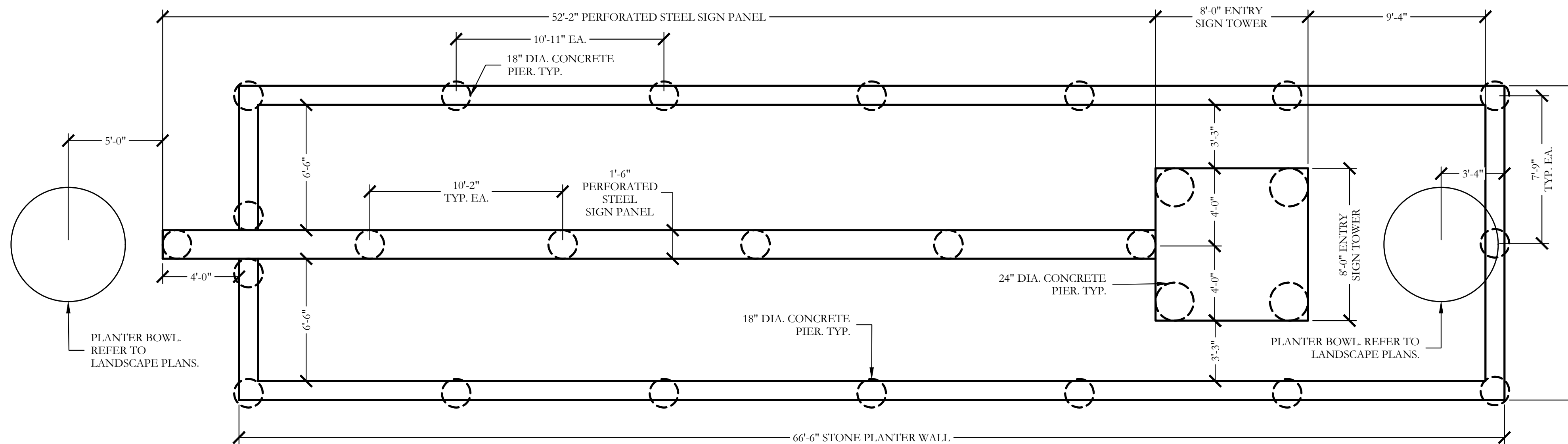
GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 - CHLORIDES SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1 1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLABS, WALLS AND JOISTS:
 - (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - BEAMS AND COLUMNS: 1-1/2 INCHES
 - SHELLS AND FOLDED PLATES:
 - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
 - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 6" LAP AT SPLICES.
 - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 - PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



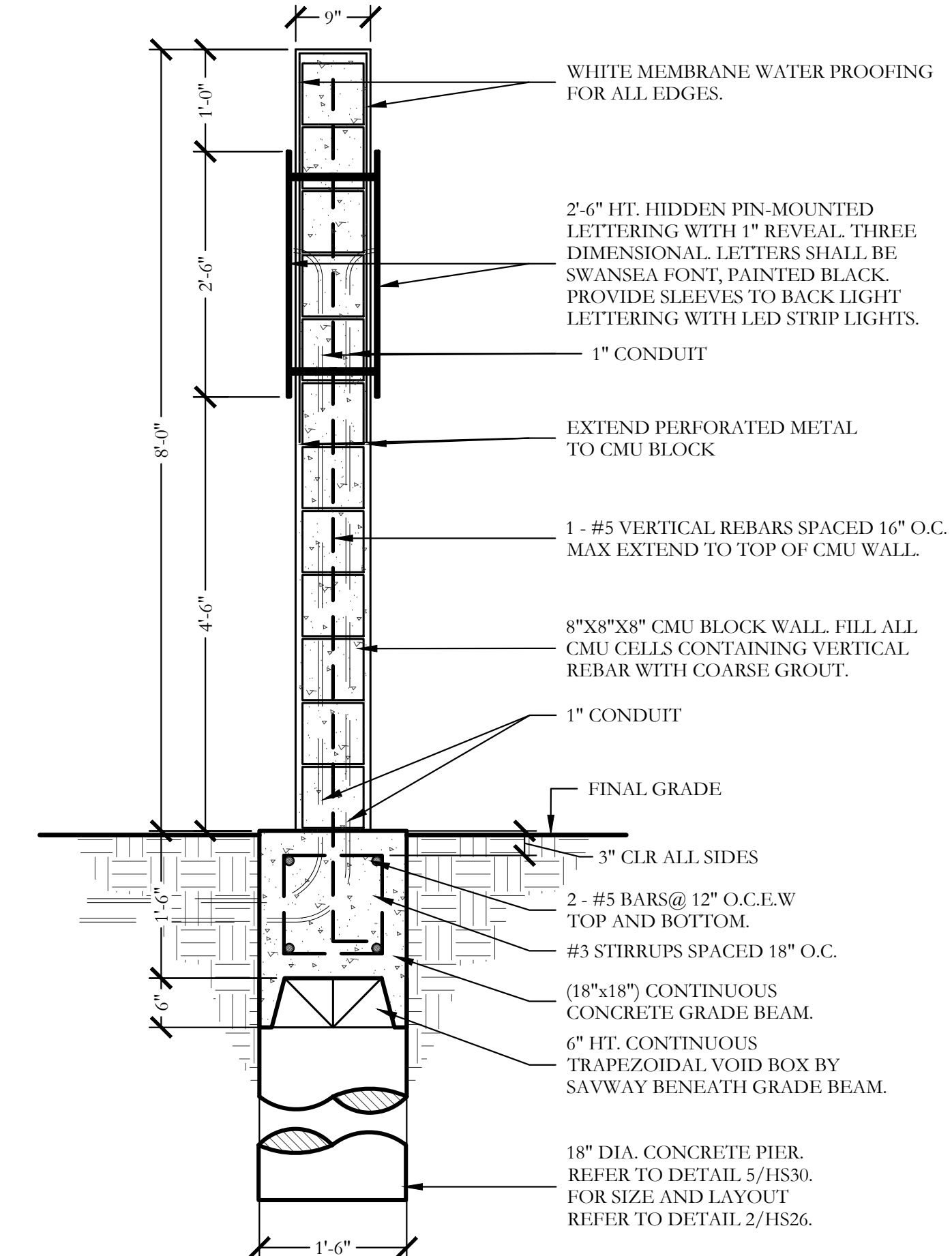
1 MAIN ENTRY MONUMENT ELEVATION

SCALE: 1/4"=1'-0"



2 MAIN ENTRY MONUMENT PIER LAYOUT PLAN

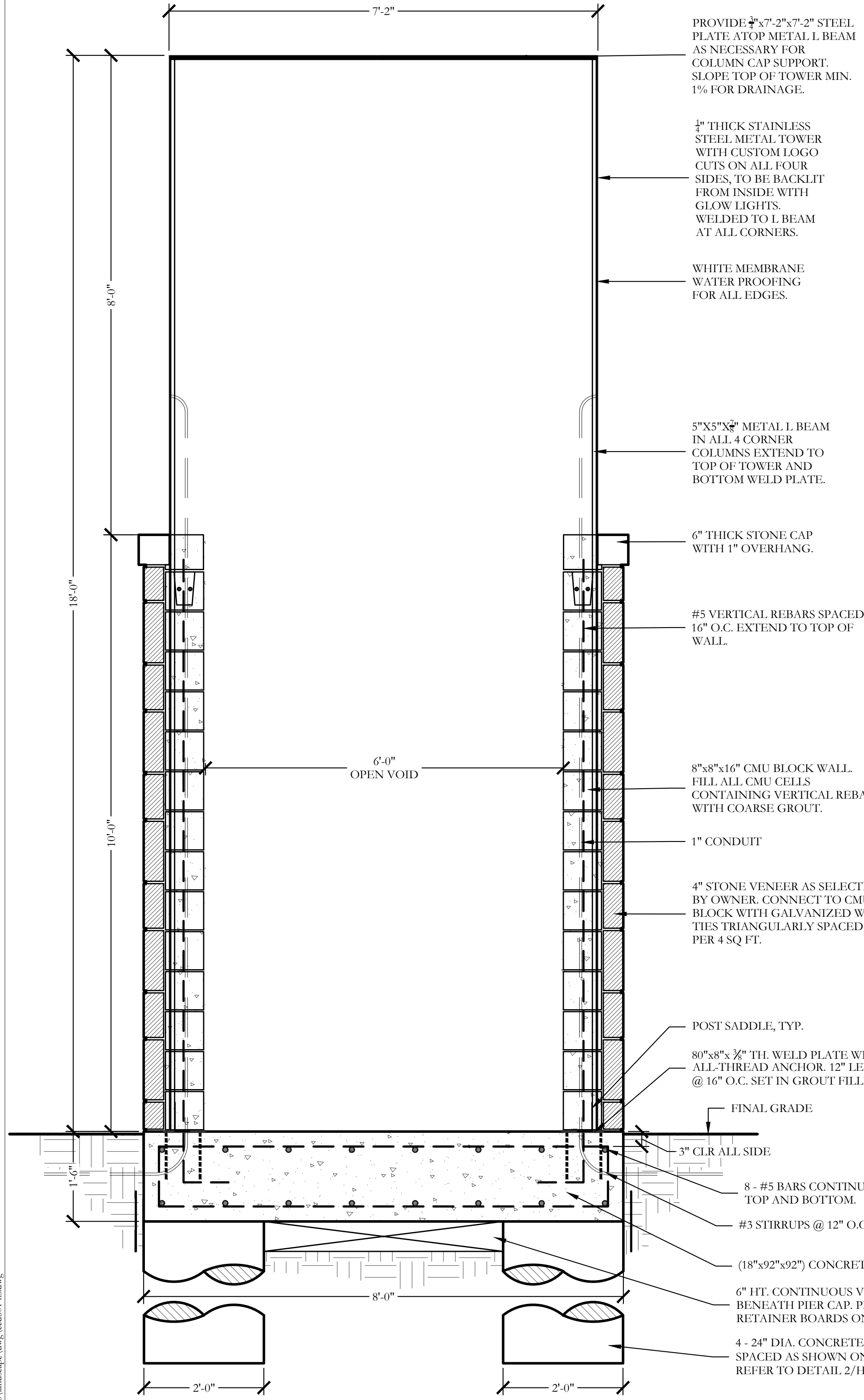
SCALE: 1/4"=1'-0"



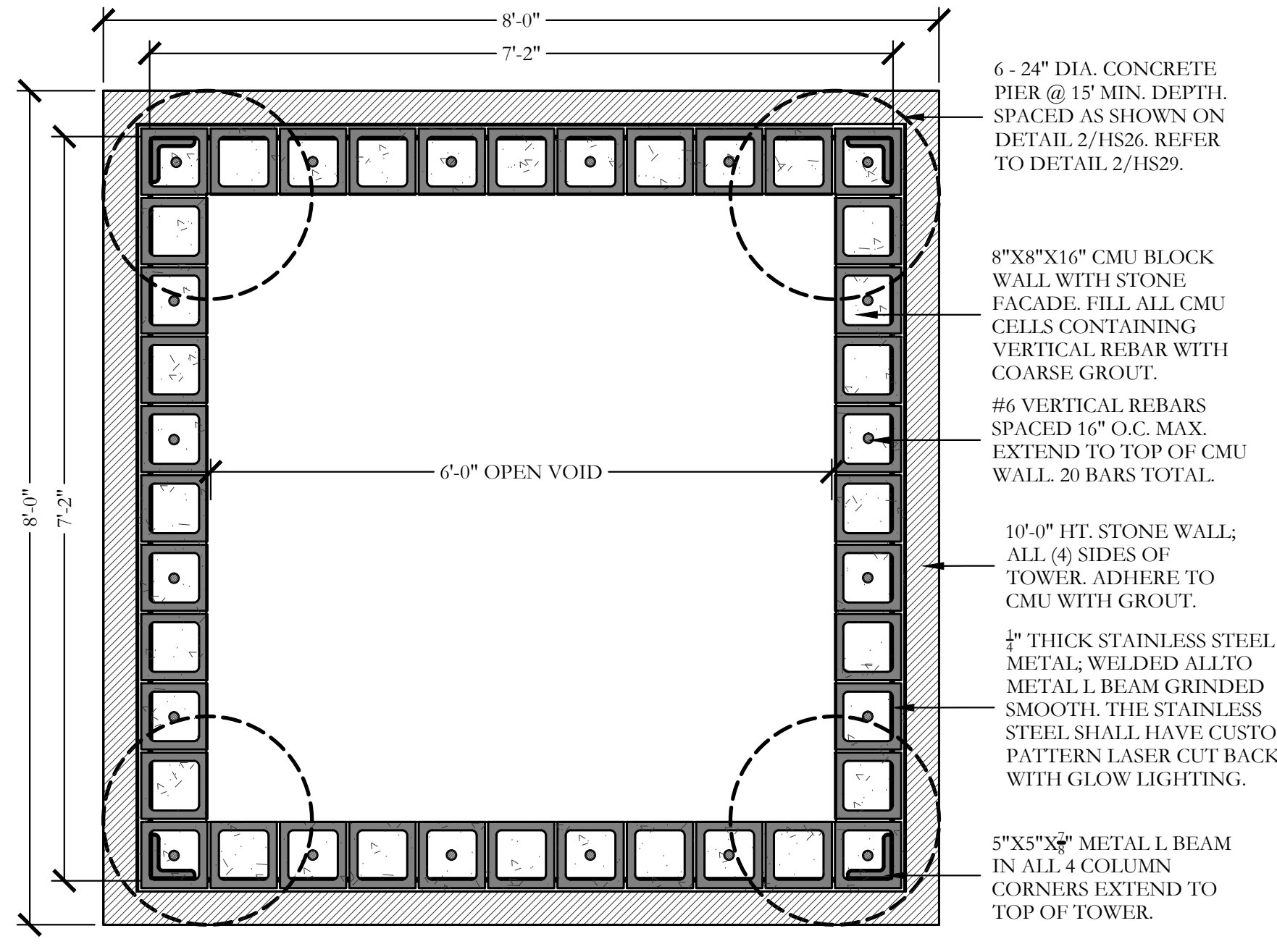
3 8'-0" HT. PERFORATED STEEL SIGN PANEL SECTION

SCALE: 3/4"=1'-0"

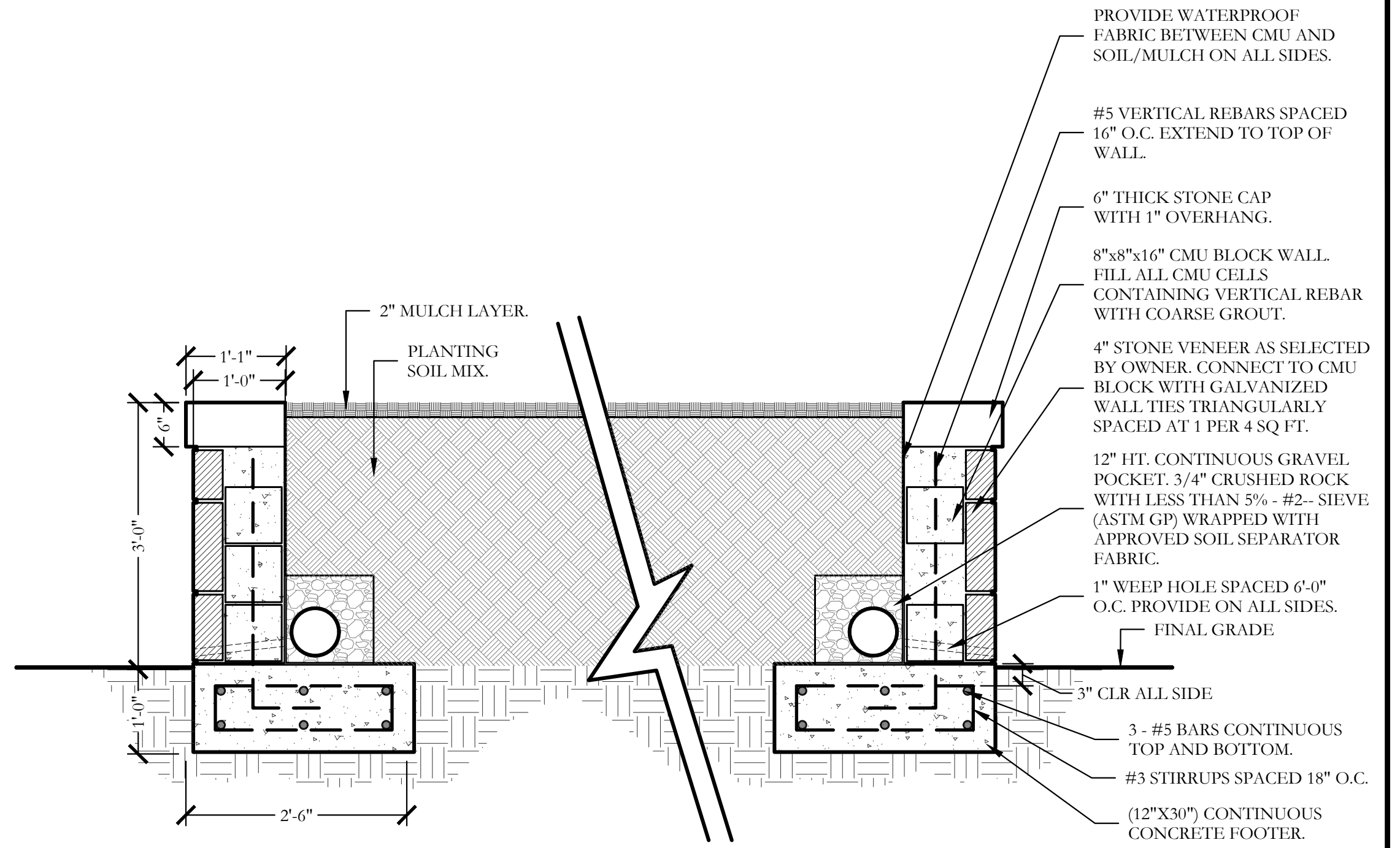
\\p\proj\proj\cd\conson cramer development\cd\01 - southside hills\landscape\hwy\cd\011_hdwg



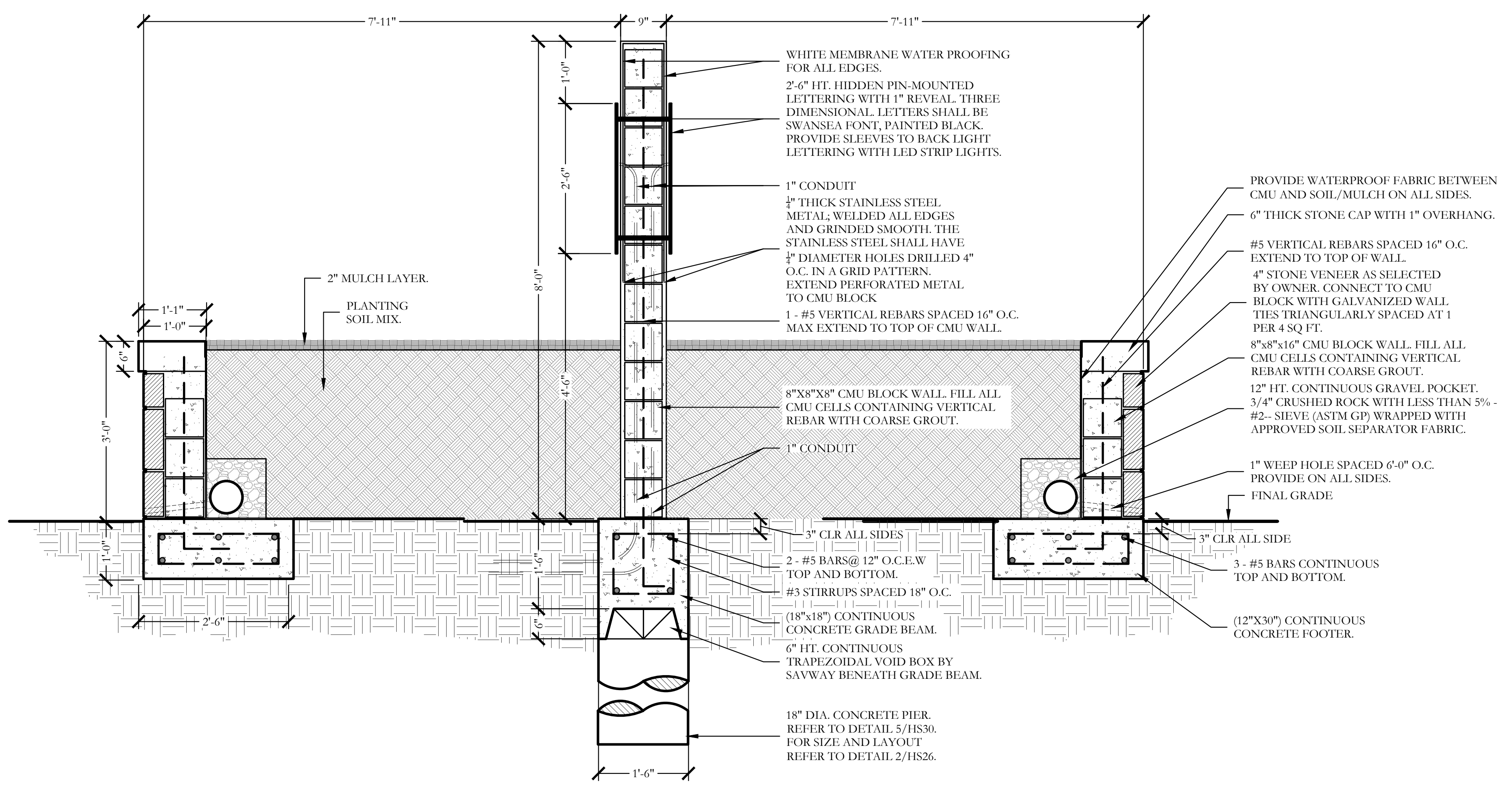
1 18'-0" HT. ENTRY SIGN TOWER SECTION SCALE: 3/4"=1'-0"



2 18'-0" HT. ENTRY SIGN TOWER CMU LAYOUT PLAN/SECTION SCALE: 3/4"=1'-0"

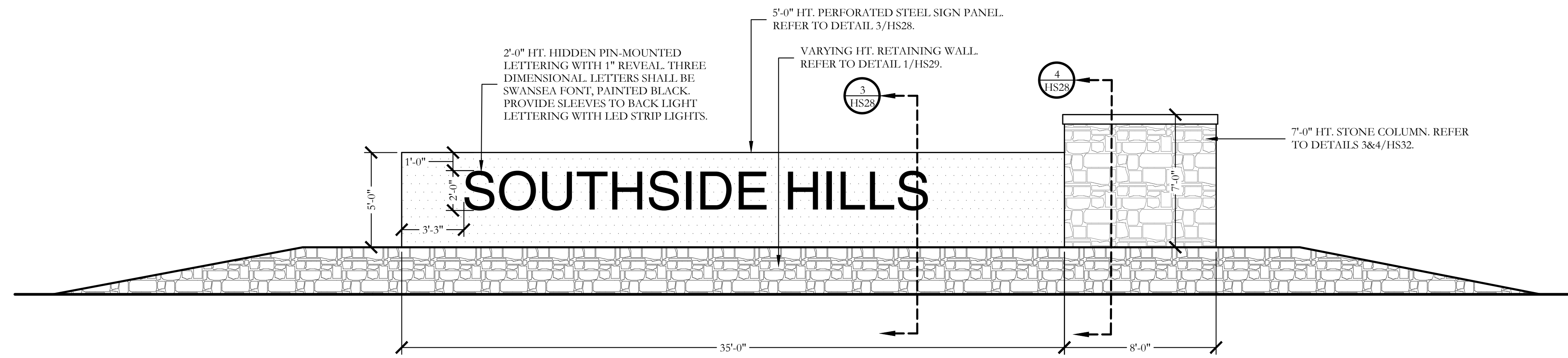


4 3'-0" HT. STONE PLANTER WALL SECTION SCALE: 3/4"=1'-0"



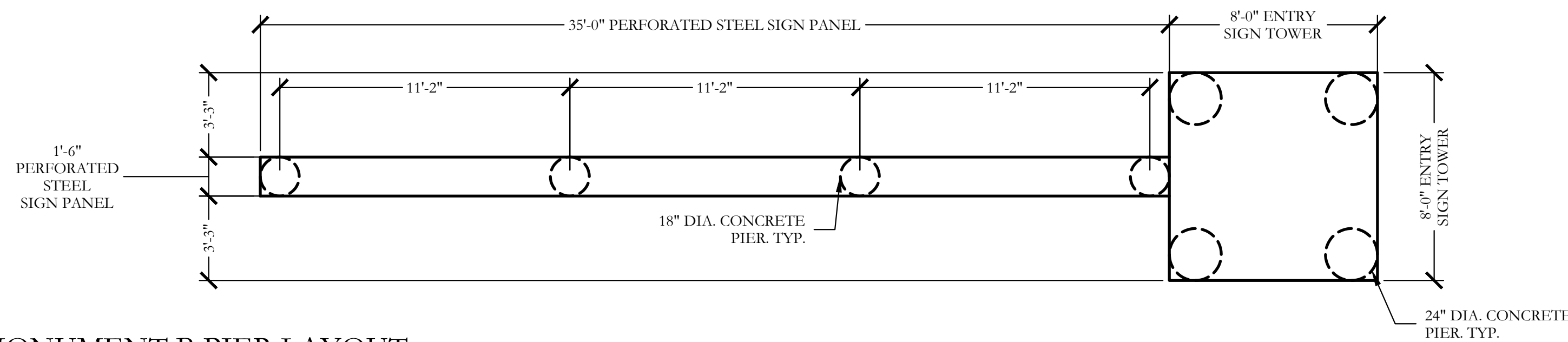
3 8'-0" HT. PERFORATED STEEL SIGN PANEL WITH 3'-0" HT. STONE PLANTER WALL SECTION SCALE: 3/4"=1'-0"

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 WITNESS OUR HANDS, this ___ day of _____.
 Planning & Zoning Commission, Chairman Director of Planning and Zoning



1 MAIN ENTRY MONUMENT B ELEVATION

SCALE: 1/4"=1'-0"

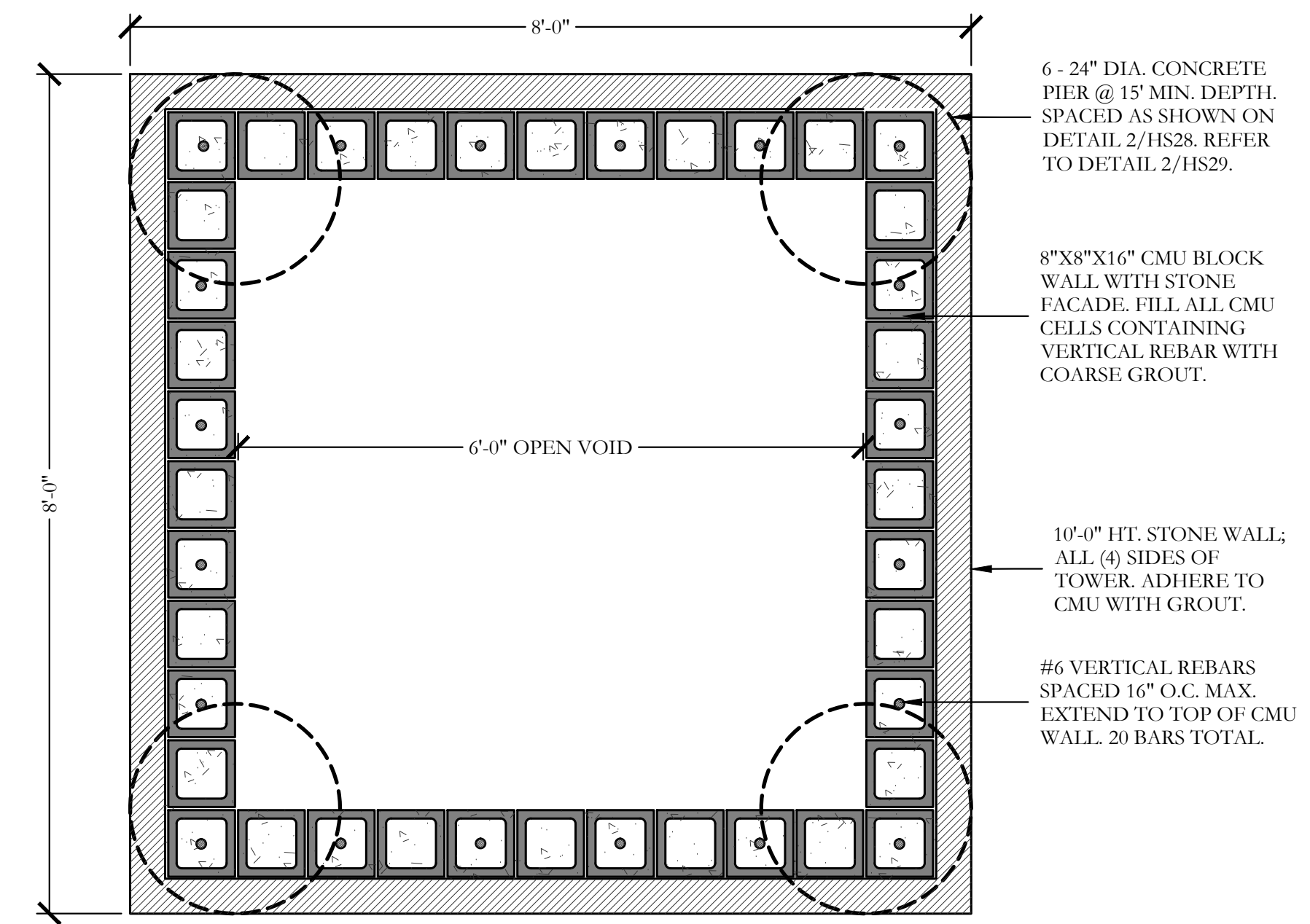


2 MAIN ENTRY MONUMENT B PIER LAYOUT PLAN

SCALE: 1/4"=1'-0"

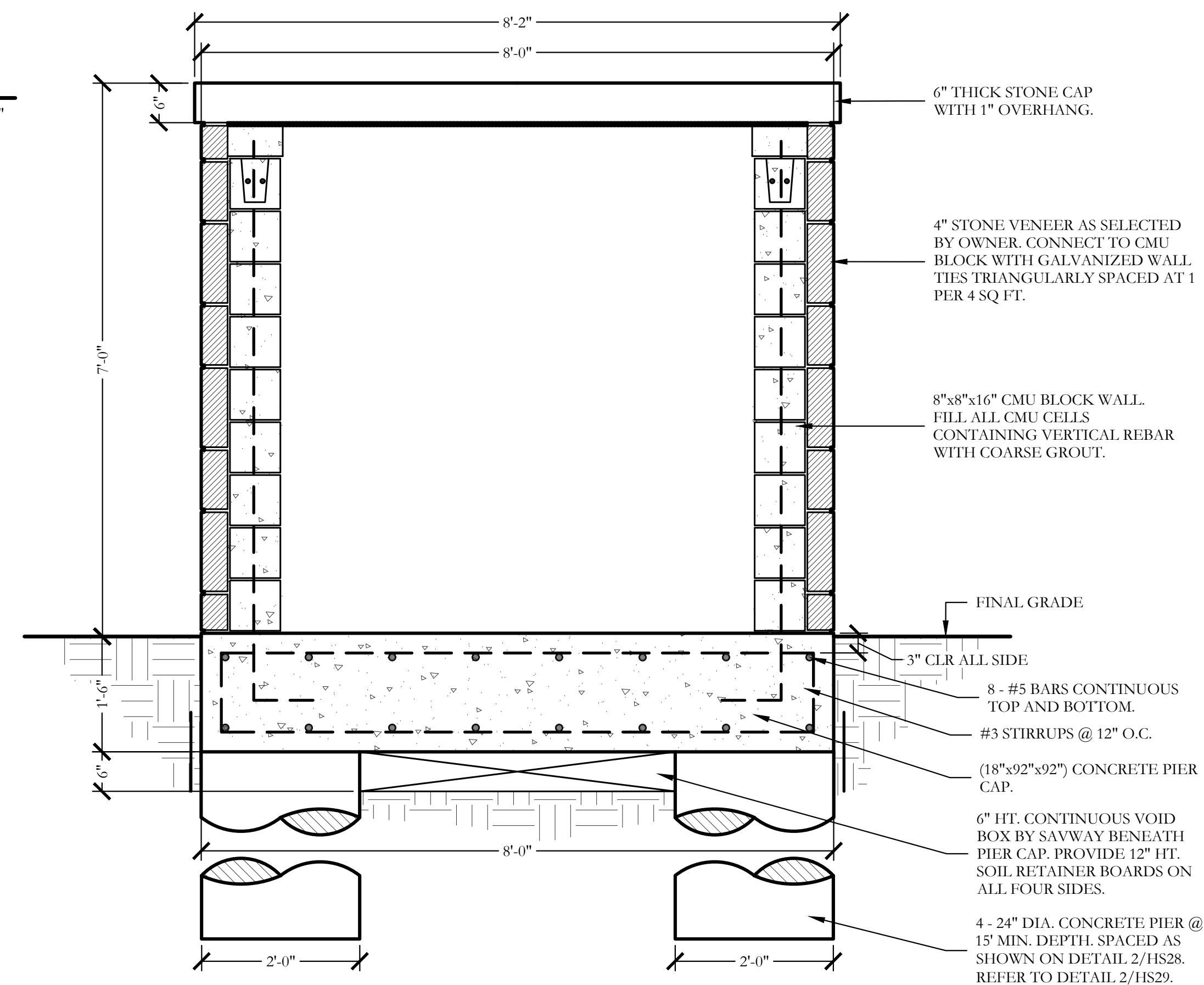
WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
8. ALL MORTAR TO BE TYPE S, MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
9. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
10. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
12. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNERS REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
13. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
14. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
15. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
16. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.



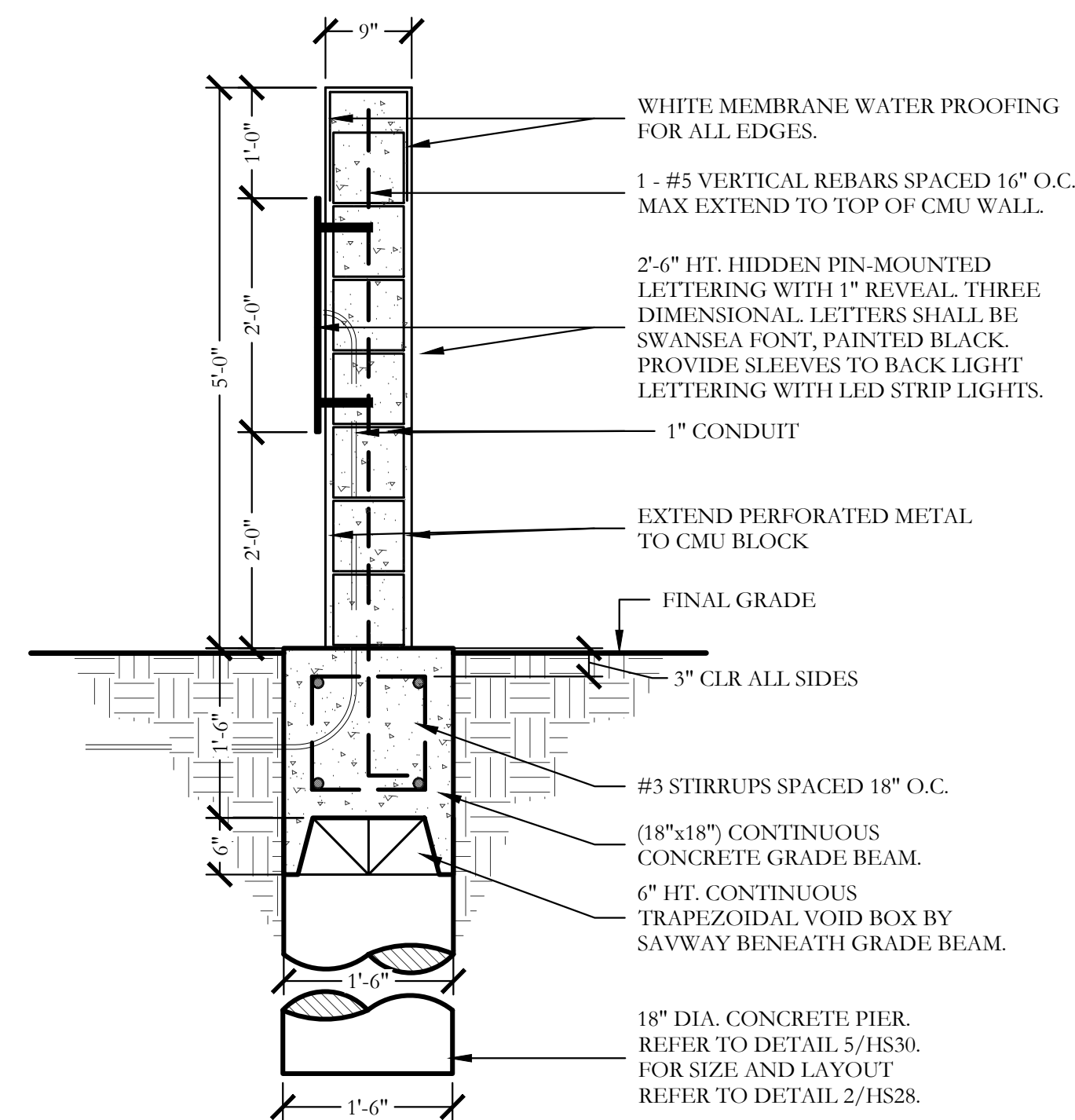
4 7'-0" HT. STONE COLUMN CMU LAYOUT PLAN/SECTION

SCALE: 3/4"=1'-0"



5 7'-0" HT. STONE COLUMN SECTION

SCALE: 3/4"=1'-0"



3 5'-0" HT. PERFORATED STEEL SIGN PANEL SECTION

SCALE: 3/4"=1'-0"

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

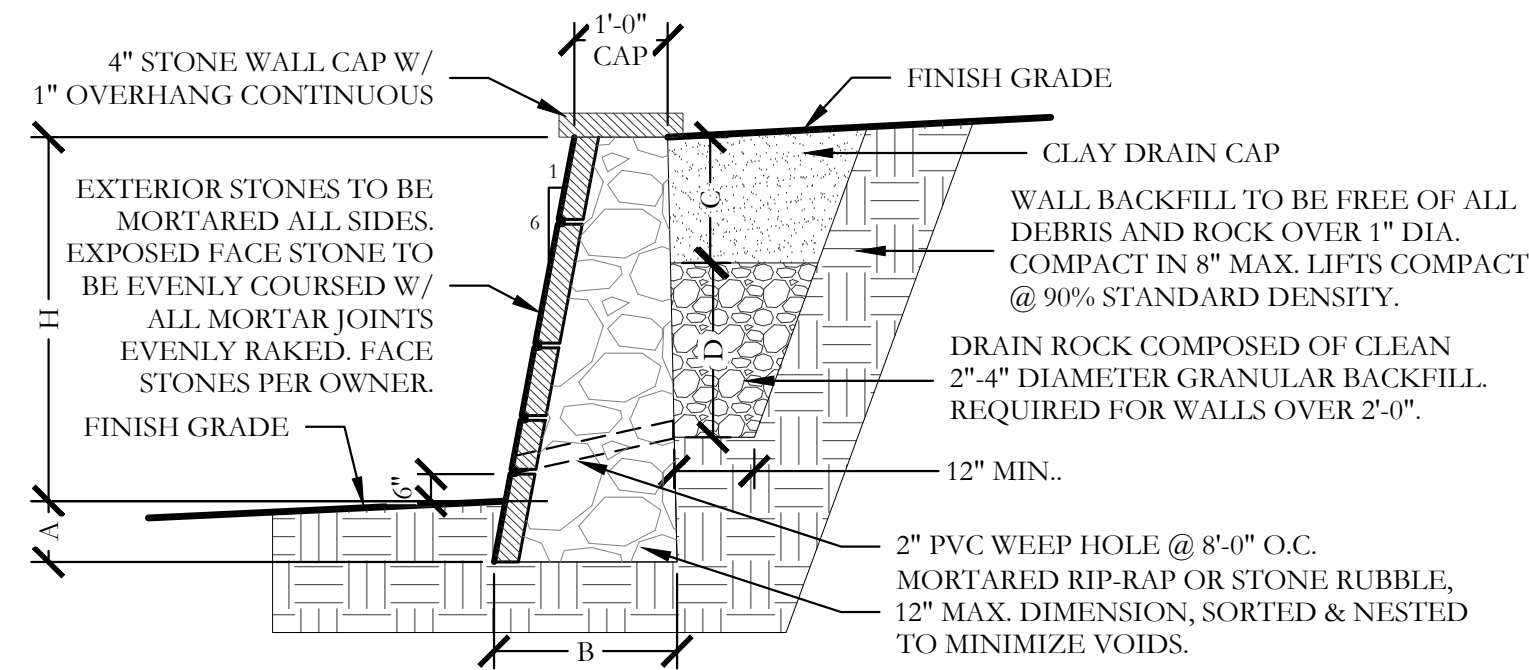
Planning & Zoning Commission, Chairman Director of Planning and Zoning

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Planning & Zoning Commission, Chairman

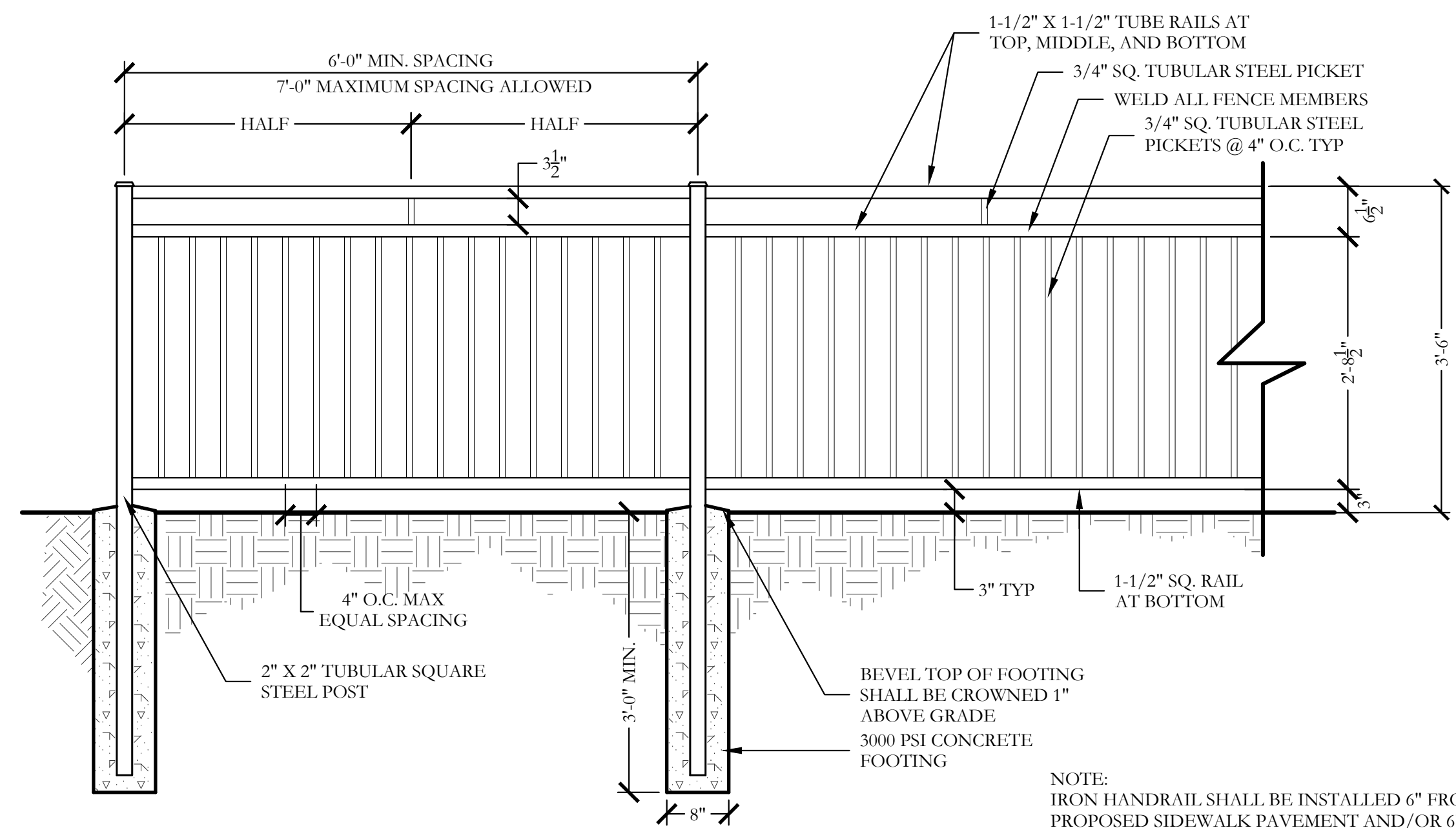
Director of Planning and Zoning



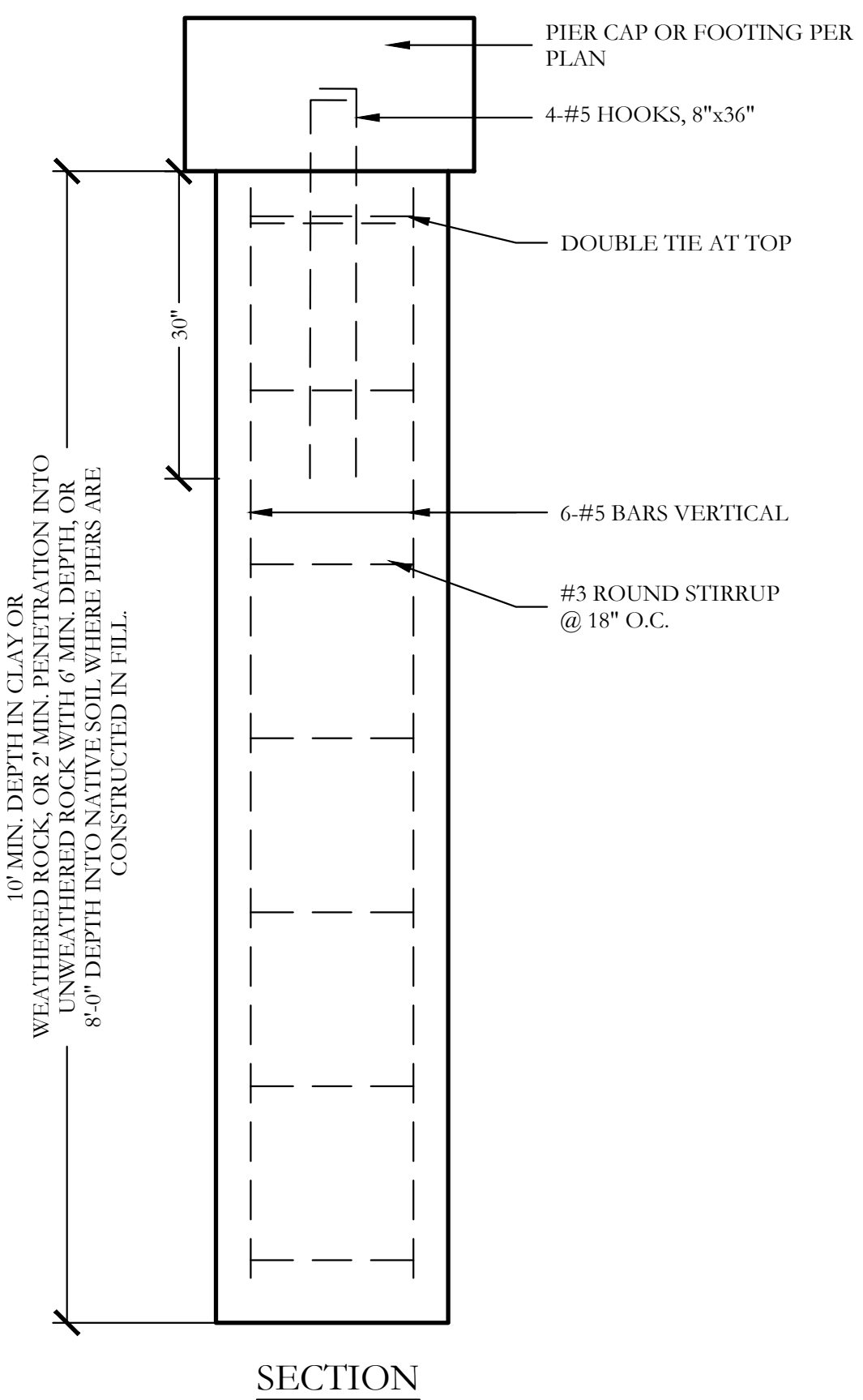
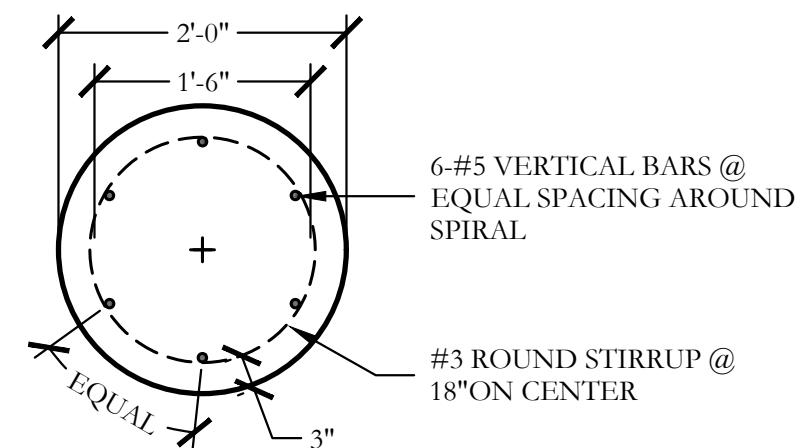
WALL DIMENSION SCHEDULE (BASED ON CLAY (CH) SOIL)				
HEIGHT (H)	1'	2'	3'	4'
BASE DEPTH (A)	6"	9"	12"	15"
BASE WIDTH (B)	14"	16"	18"	24"
CAP DEPTH (C)	FULL	FULL	24"	24"
GRAVEL DEPTH (D)	N/A	N/A	12"	24"
BATTER	2"	4"	6"	8"

- GENERAL NOTES:
- NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO 1.5H FROM WALL.
 - TYPE S MORTAR REQUIRED.
 - CONTROL JOINTS AT 25' MAXIMUM SPACING.
 - INSTALL 2" PVC WEEP HOLES FOR ALL WALLS 2'-0" HEIGHT AND OVER @ 8'-0" O.C. SPACING.
 - MINIMUM 2% AND MAXIMUM 4:1 TOE SLOPE AT FINISH GRADE.

1 4" MAX. HEIGHT GRAVITY RETAINING WALL DETAIL SECTION NOT TO SCALE



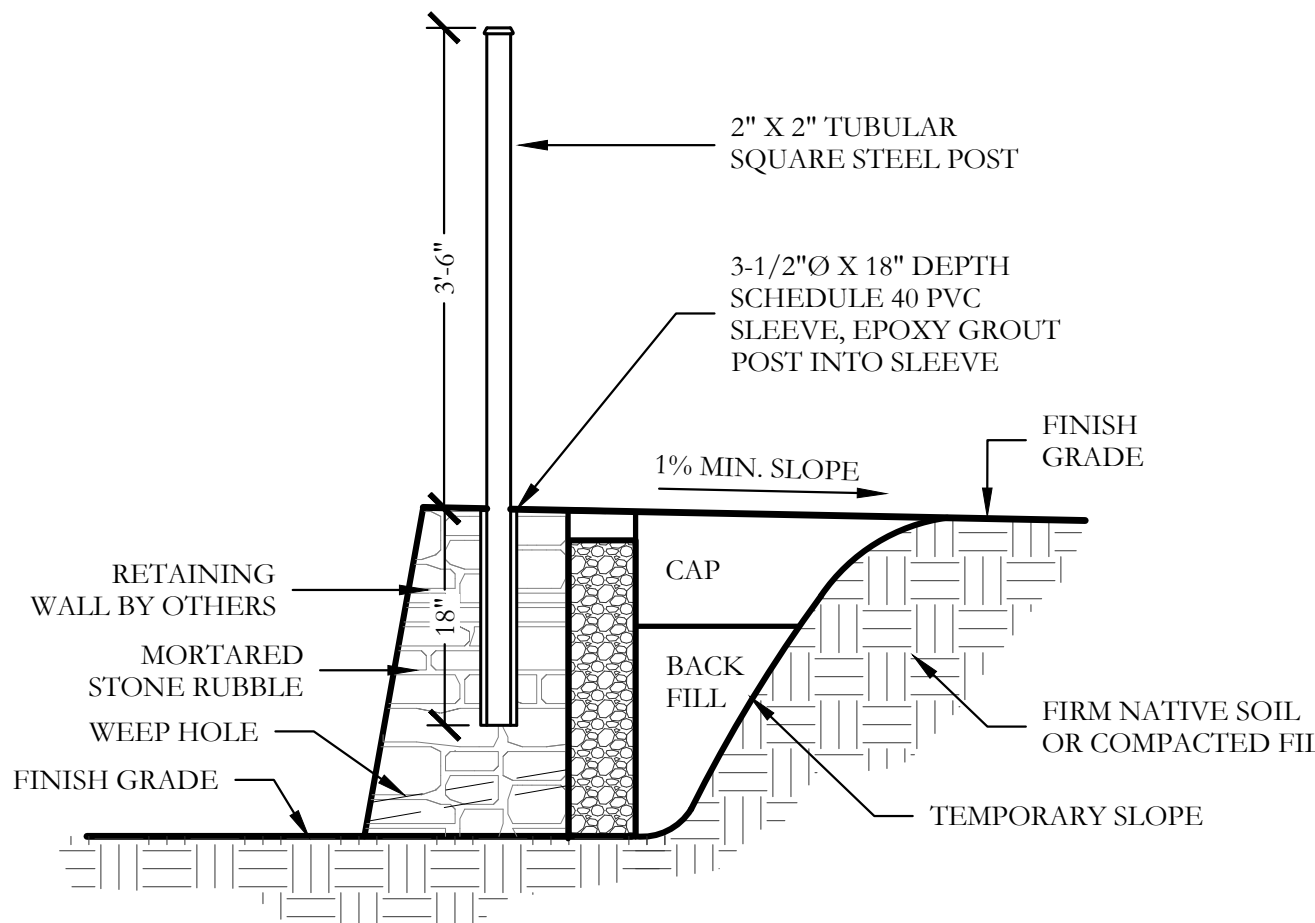
3 42" HT. ORNAMENTAL METAL HANDRAIL ELEVATION SCALE: 3/4"=1'-0"



2 PIER (24" DIA.) PLAN/SECTION SCALE: 3/4"=1'-0"

RETAINING WALL NOTES

- DESIGN BASED ON JOHNSON VOLK CONSULTING GRADING AND DRAINAGE PLAN DATED AUGUST 12, 2017 AND FINAL GEOTECHNICAL REPORT (NO. G160672-1) DATED OCTOBER 21, 2016 BY ALPHA TESTING, INC. AS PROVIDED BY CLIENT.
- NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO 1.5H FROM WALL.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- ALL MORTAR SHALL BE TYPE S.
- CONTROL JOINTS AT 25' MAXIMUM SPACING.
- 4" STONE VENEER TO MATCH BUILDING FACADE PER ARCHITECTURE PLANS.
- MINIMUM 2% TOP & TOE SLOPE AT FINISH GRADE.
- CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
- LAYOUT OF PROPOSED WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- WALL SUBGRADE SHOULD BE CLOSELY MONITORED DURING EXCAVATION. UNSUITABLE MATERIALS AT THE FOUNDATION LEVEL SHOULD BE REMOVED AND REPLACED WITH LEAN CONCRETE (MIN. 2000 PSI @ 28 DAYS) OR COMPACTED FLEX BASE MATERIAL.
- PERIODIC OBSERVATION BY ENGINEER OR RECORD DURING CONSTRUCTION IS RECOMMENDED IN ORDER TO PROVIDE OVERALL OPINION AS TO CONTRACTOR'S ADHERENCE TO PLANS AND SPECIFICATIONS. THIS IN NO WAY IS A GUARANTEE OR WARRANTY AS TO CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROVIDE ENGINEER MINIMUM 72 HOURS NOTICE PRIOR TO BEGINNING CONSTRUCTION TO SCHEDULE REQUIRED INSPECTIONS.
- DUE TO EXPANSIVE CLAY SOILS IN THIS AREA IT IS RECOMMENDED THAT PROPERTY OWNER(S) MAINTAIN GOOD WATERING PRACTICES TO LIMIT SOIL MOVEMENTS AND EXCESSIVE PRESSURES ON WALL.



4 42" HT. ORNAMENTAL METAL HANDRAIL ON TOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"

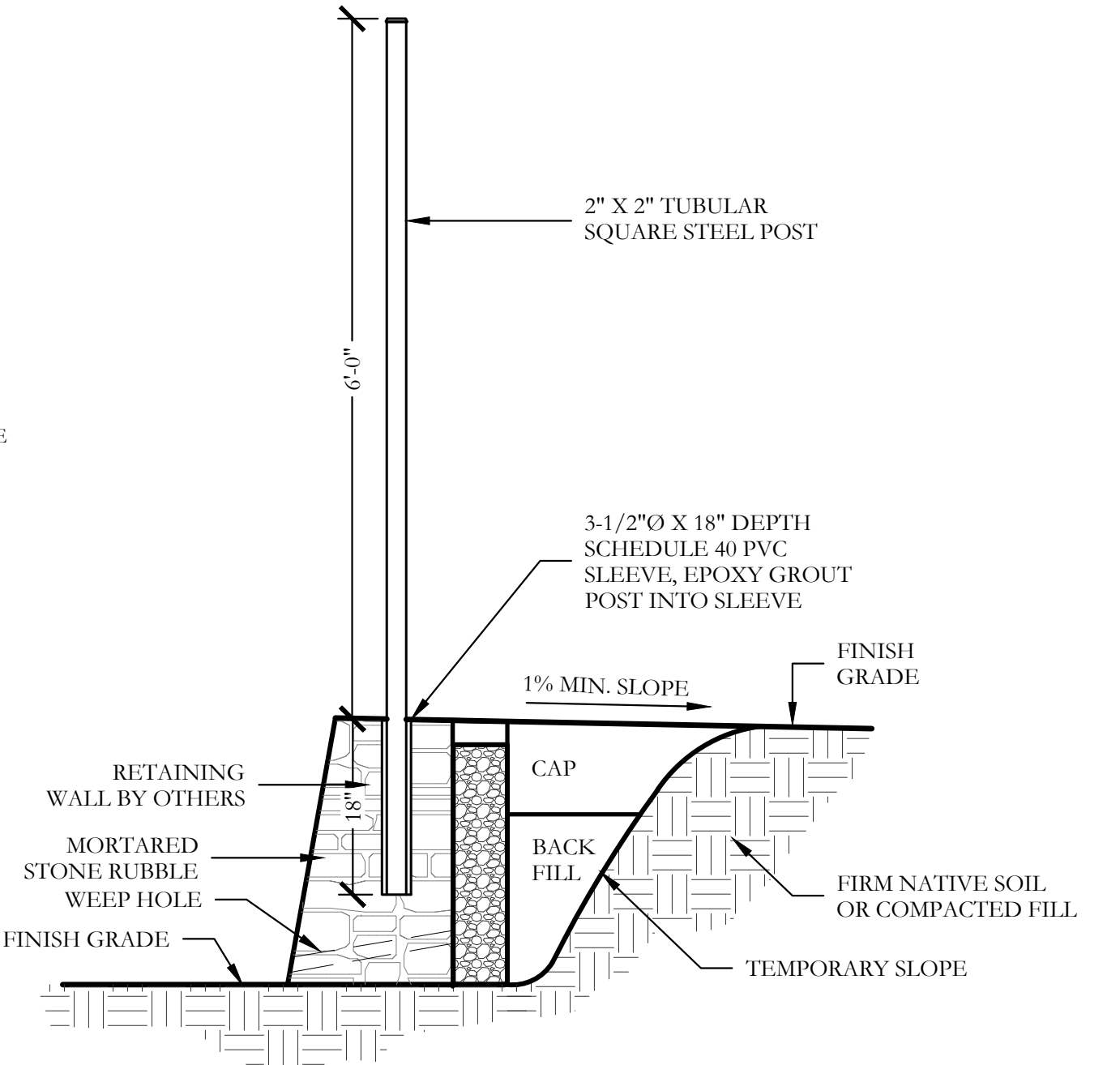
ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
 - POSTS, 3" SQUARE 11 GA.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
- FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

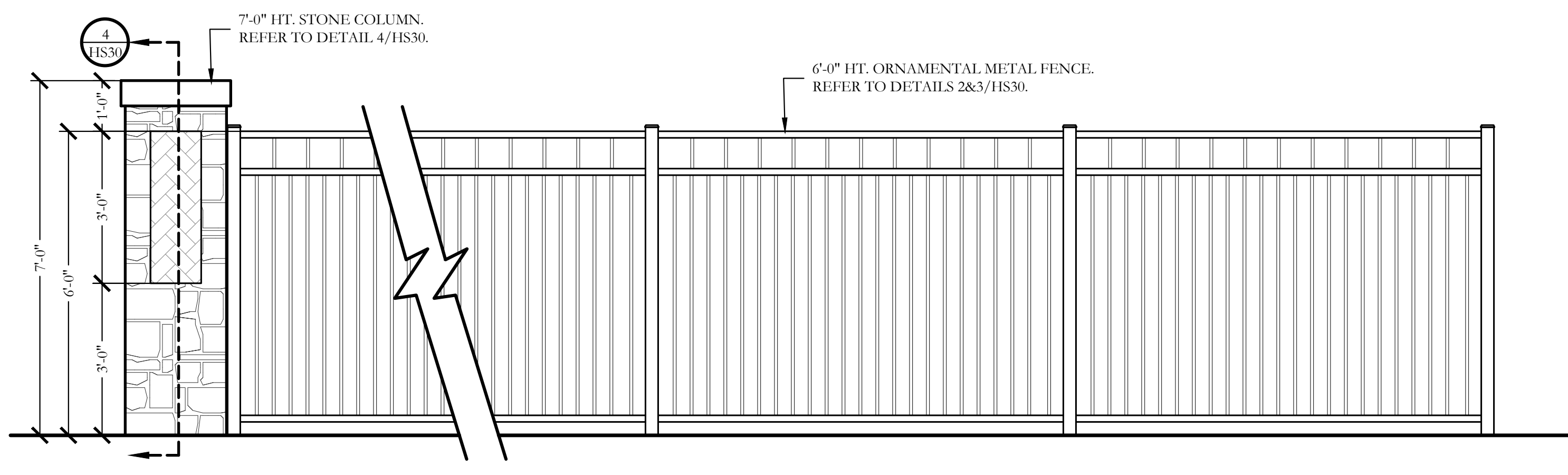
E:\civil_3\projects\ced - cson\cramer.development\ced01 - southside hills\landscape\dwg\ced011_hdwg

ORNAMENTAL METAL FENCE NOTES

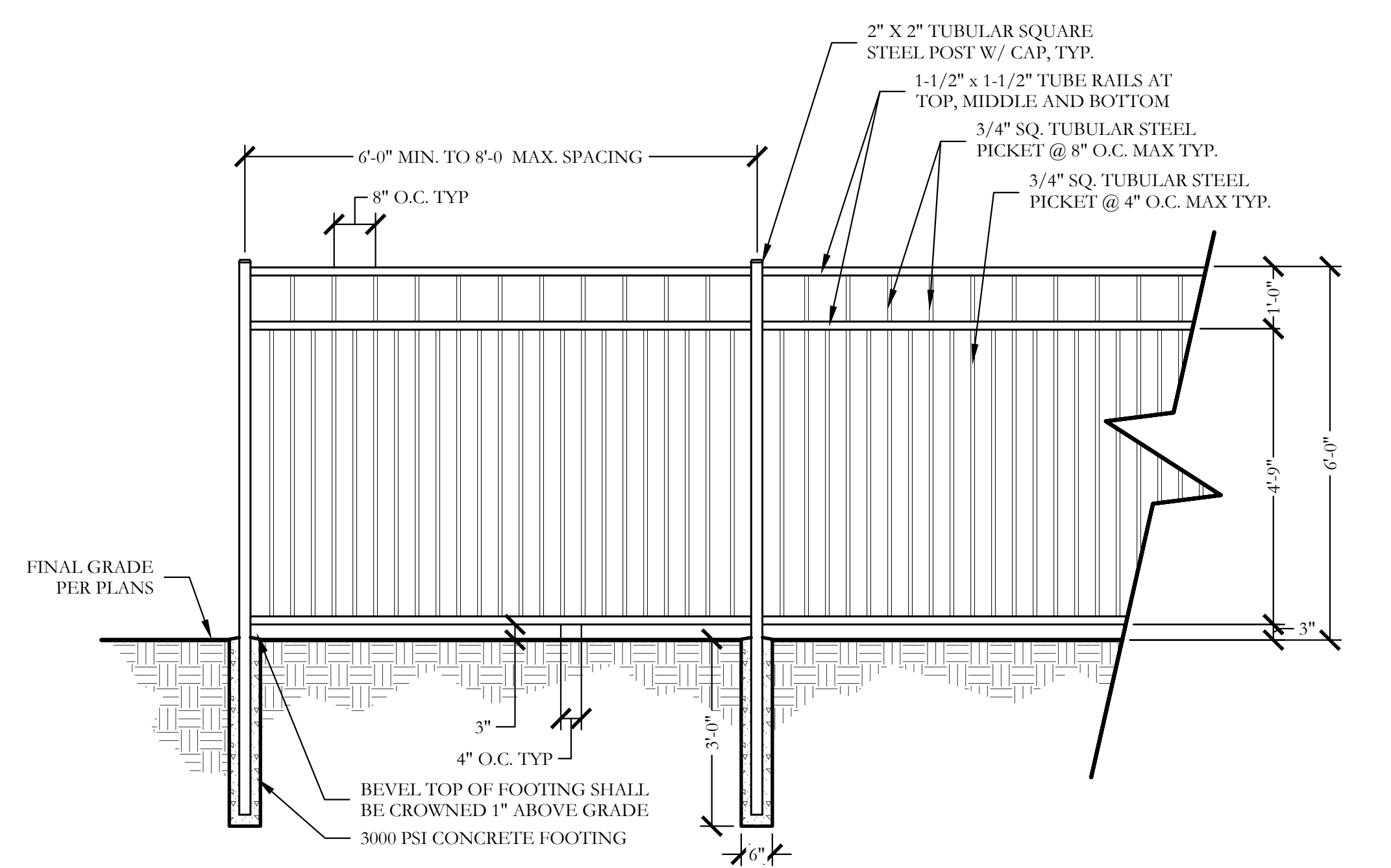
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 515 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
- FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



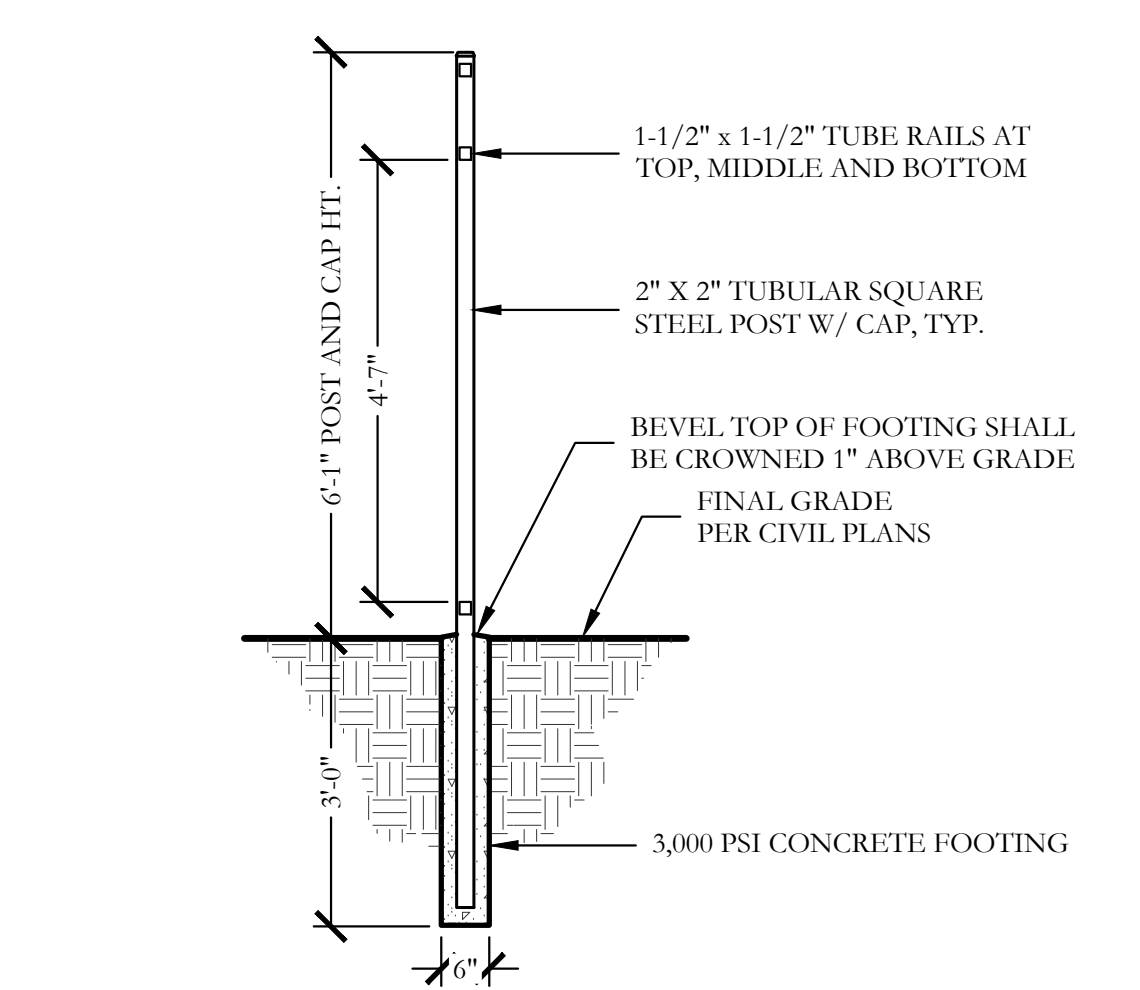
6'-0" HT. ORN. METAL FENCE ATOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



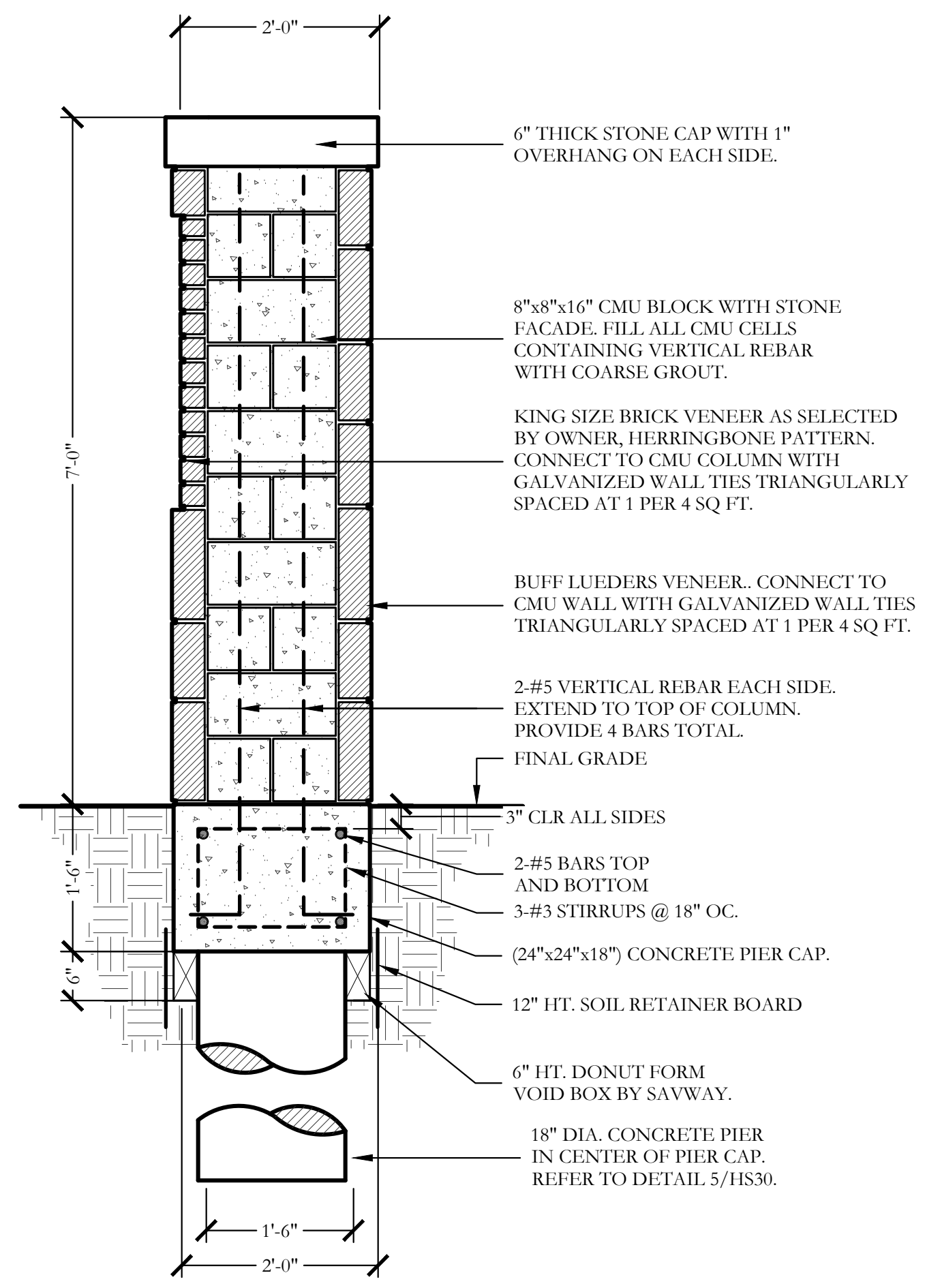
7'-0" HT. STONE COLUMN WITH 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/4"=1'-0"



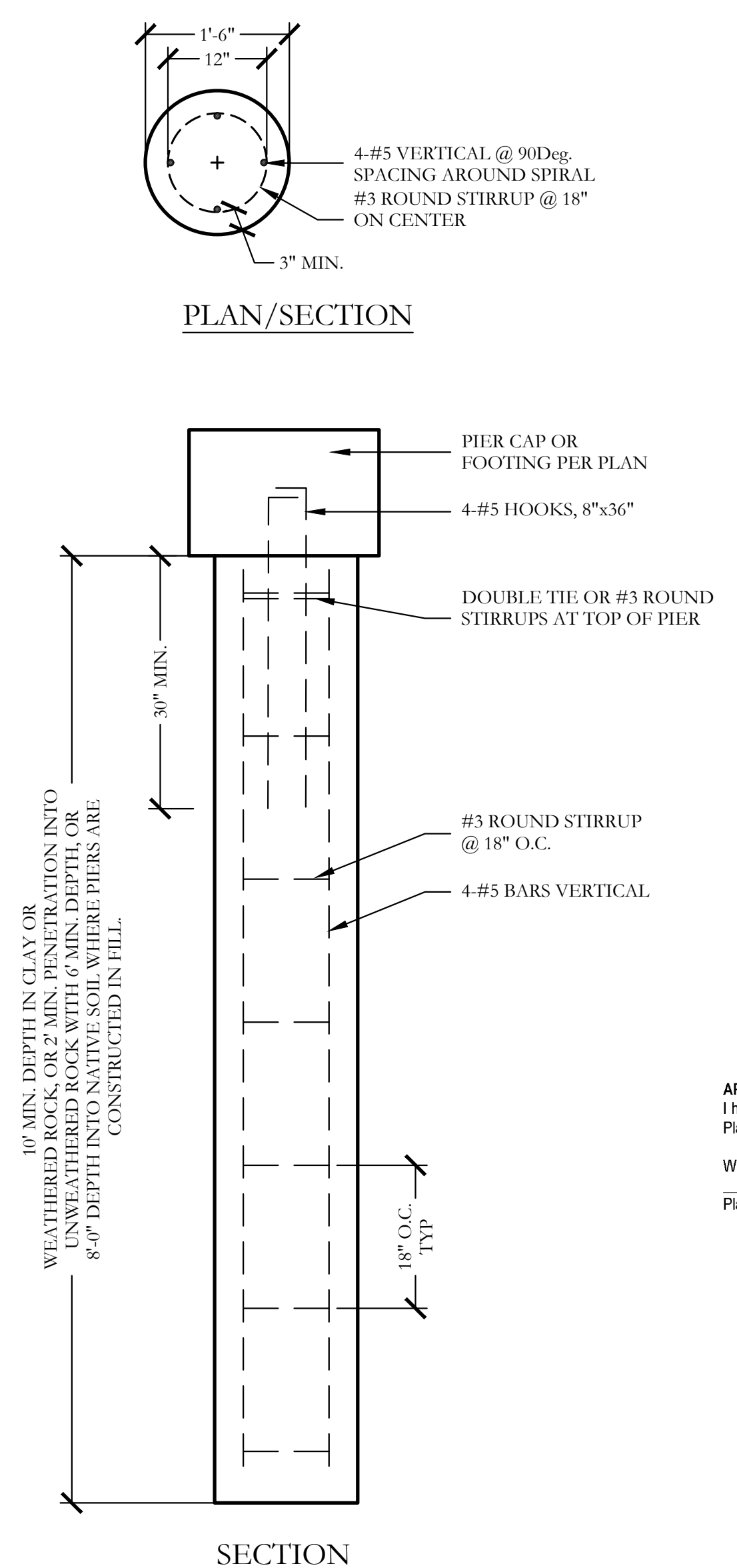
6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"



TYP. METAL POST FOOTING SECTION SCALE: 1/2"=1'-0"



7'-0" HT. STONE COLUMN SECTION SCALE: 3/4"=1'-0"



PIER (18" DIA.) PLAN/SECTION SCALE: 3/4"=1'-0"

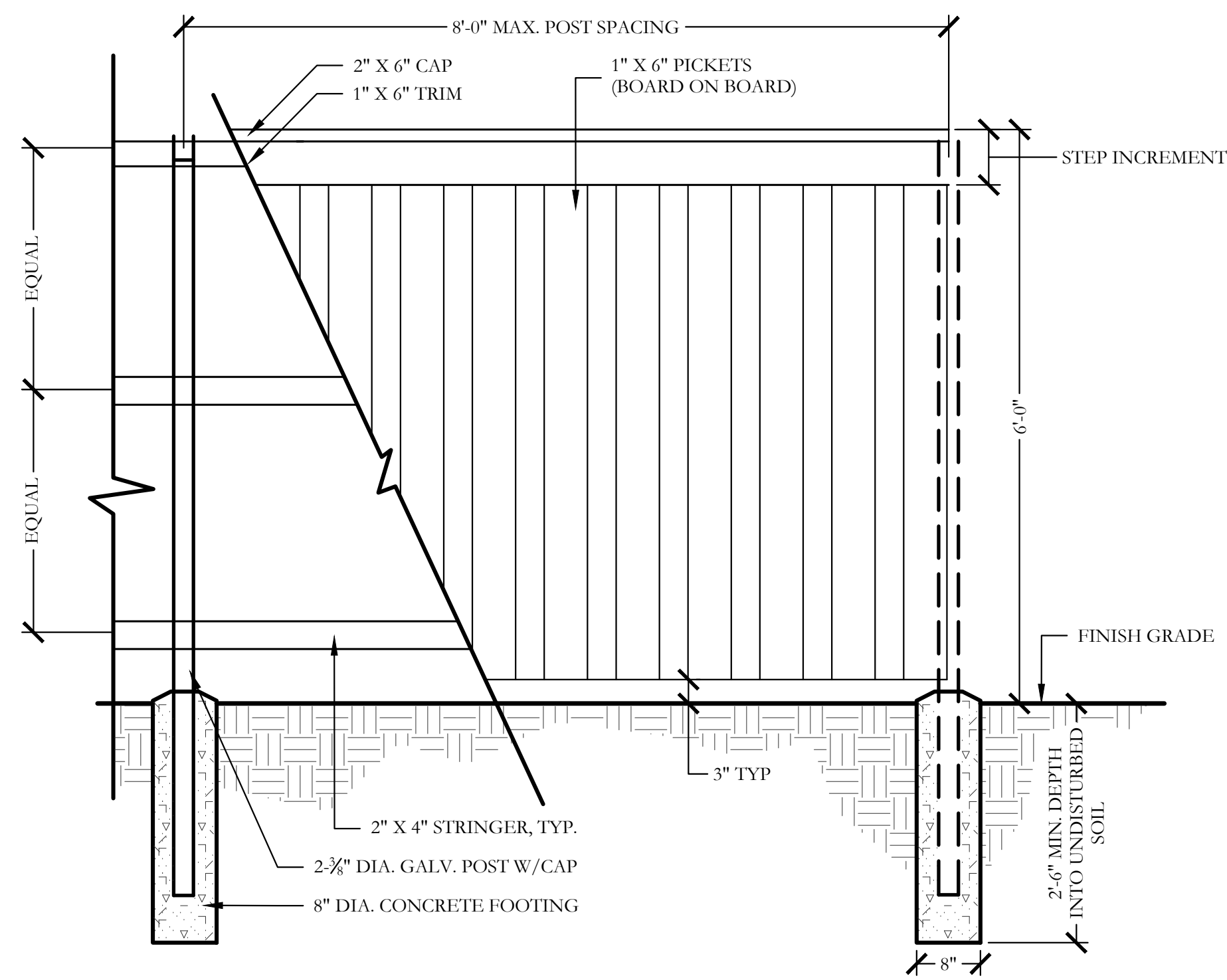
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

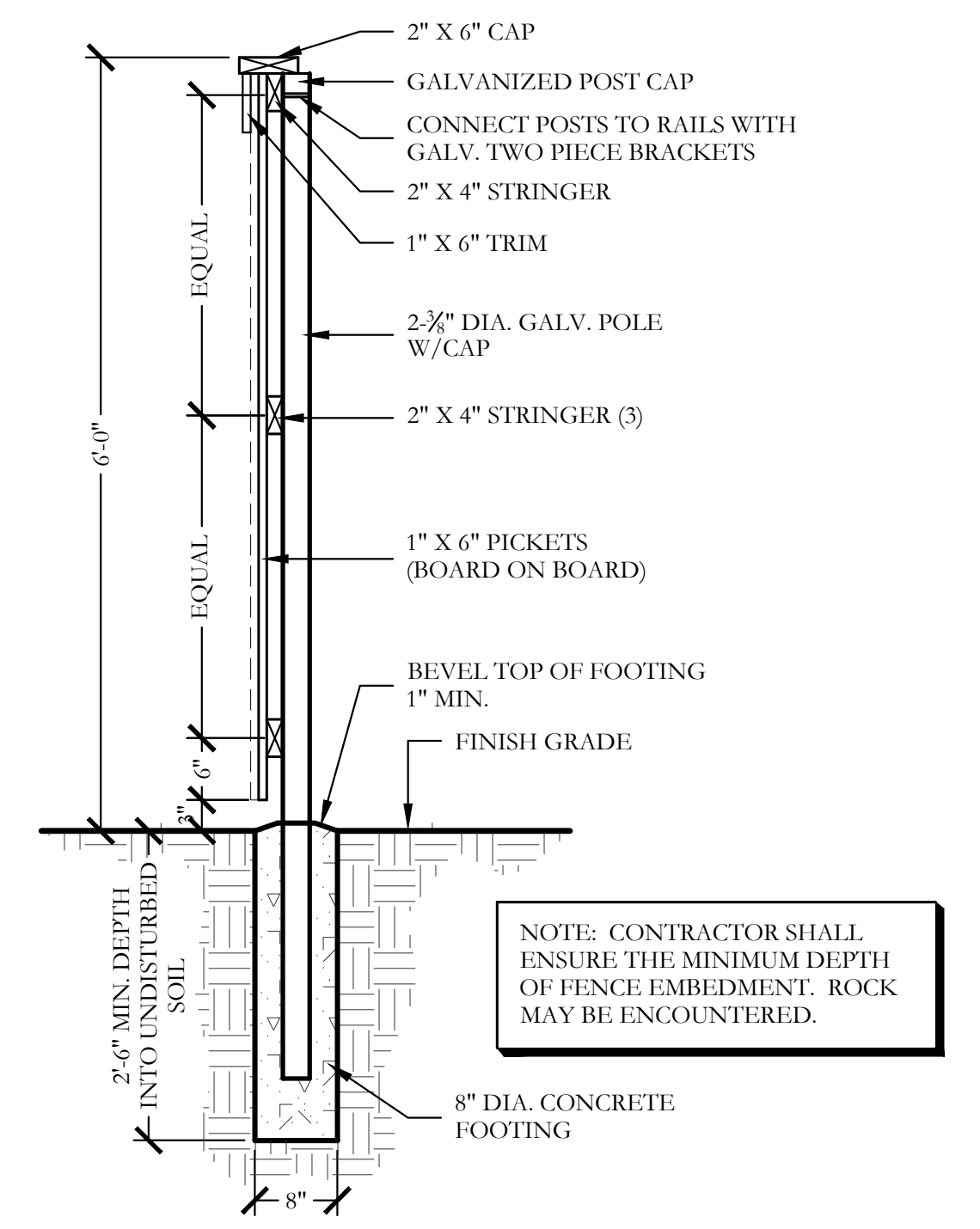
Planning & Zoning Commission, Chairman Director of Planning and Zoning

WOOD FENCE NOTES

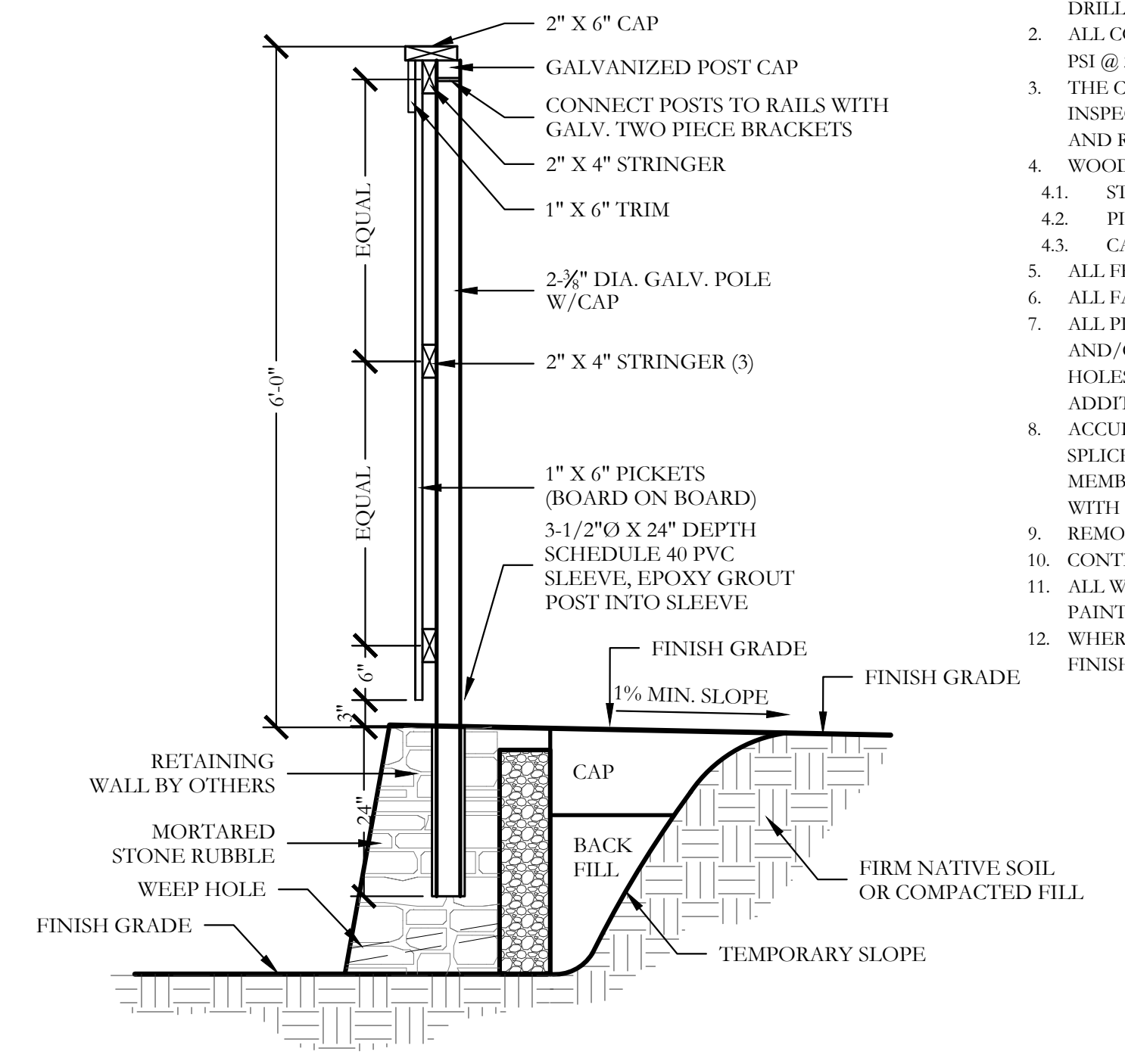
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES. VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALLEN CODES AND REQUIREMENTS.
- WOOD MATERIAL FOR FENCE
 - STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - PICKETS- CEDAR, #2 GRADE OR BETTER.
 - CAPS- CEDAR, #2 GRADE OR, BETTER.
- ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
- ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
- ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
- REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
- WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.



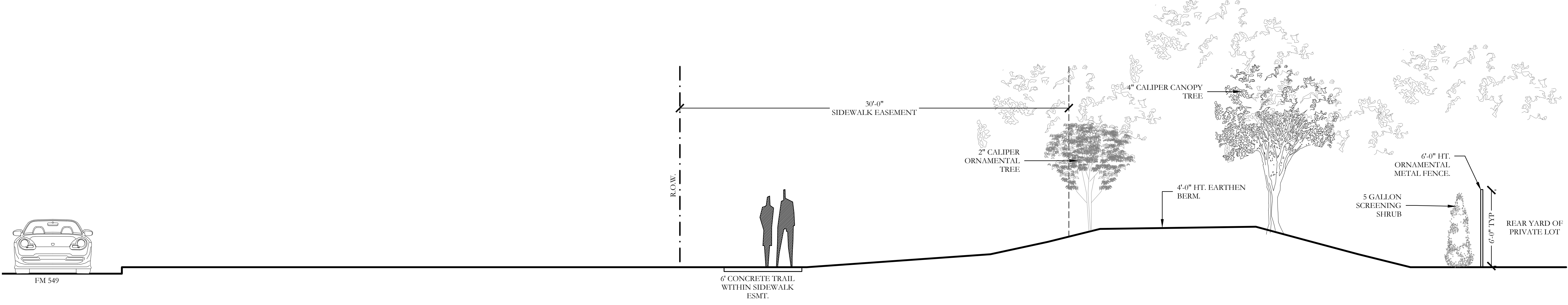
1 PARTIAL 6'-0" HT. WOOD FENCE ELEVATION SCALE: 3/4"=1'-0"



2 6'-0" HT. WOOD FENCE SECTION SCALE: 3/4"=1'-0"

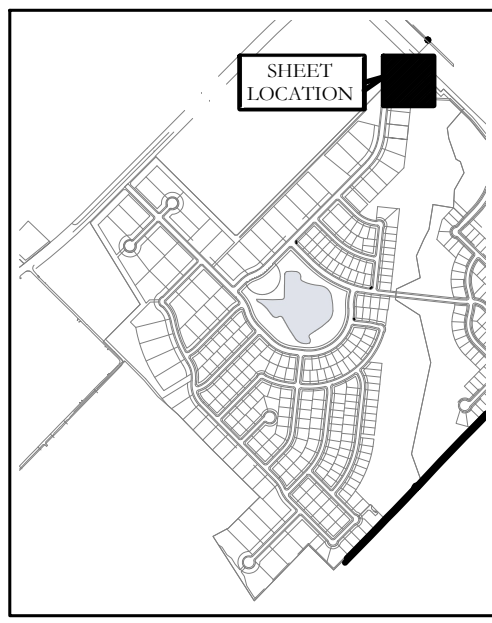


3 6'-0" HT. WOOD FENCE ATOP RETAINING WALL ELEVATION/SECTION SCALE: 3/4"=1'-0"

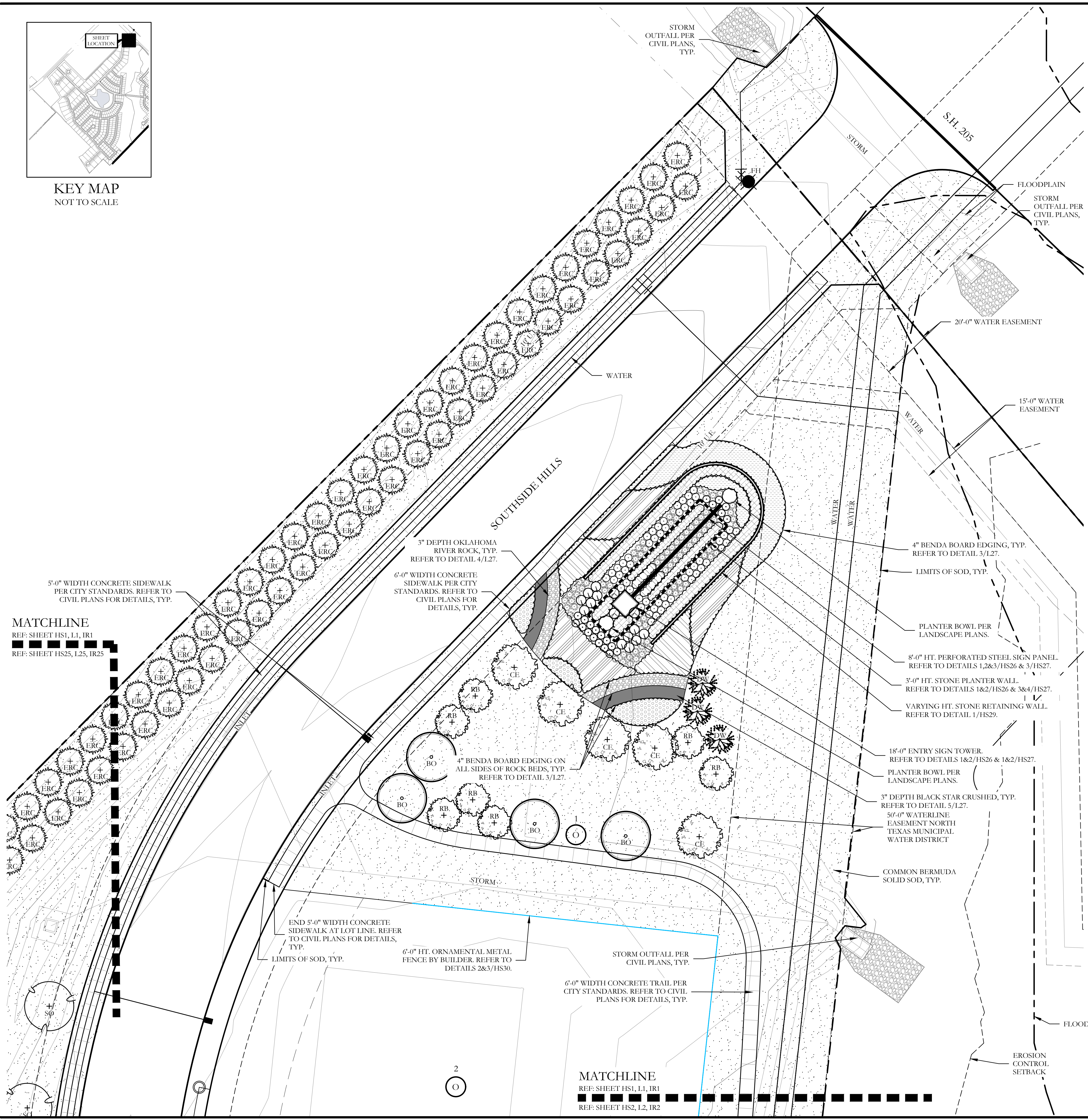


4 TYPICAL CROSS SECTION OF FM 549 SECTION SCALE: 1/4"=1'-0"

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WITNESS OUR HANDS, this ___ day of _____.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning



KEY MAP
NOT TO SCALE



MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS25, L25, IR25

MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS2, L2, IR2

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE RUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

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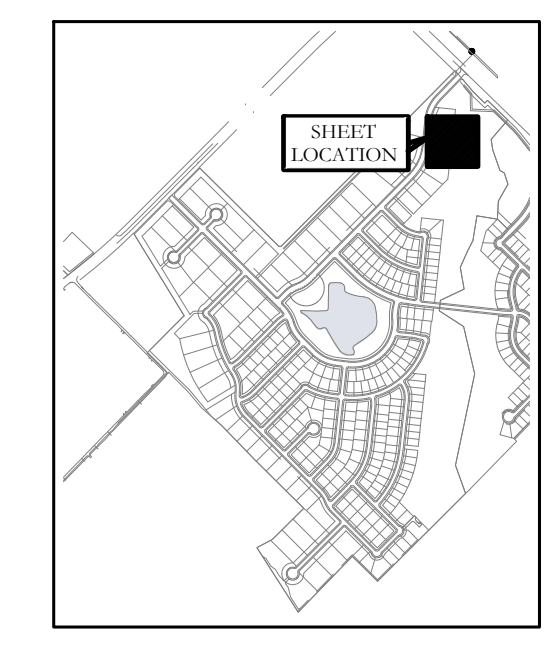
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SCALE 1" = 20'



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	TS	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
	AA	AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
	DBH	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
	DWM	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
	UR	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
	BLY	BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE RUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

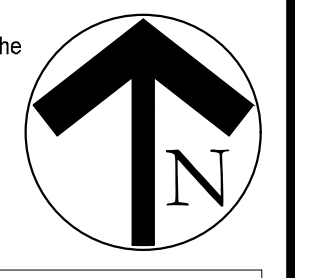
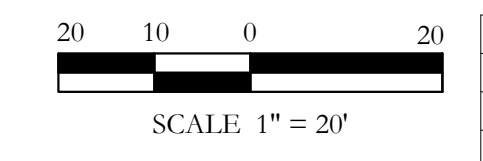


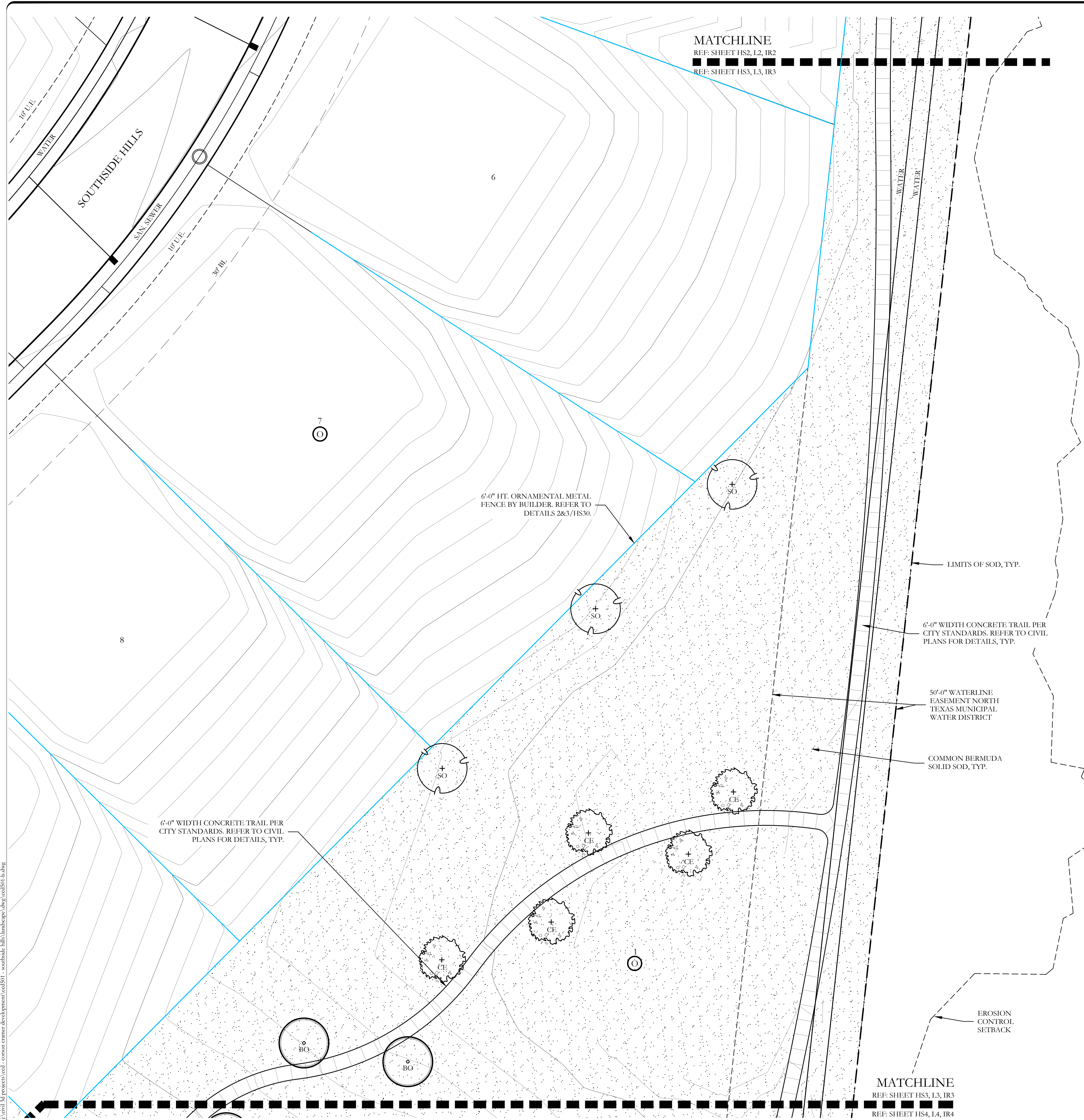
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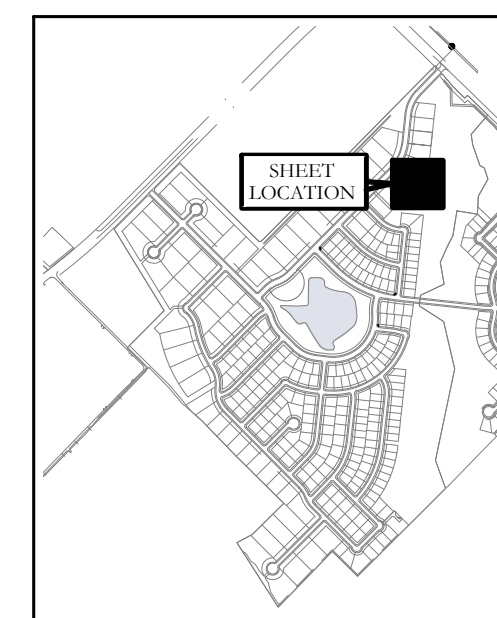
Planning & Zoning Commission, Chairman

Director of Planning and Zoning





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
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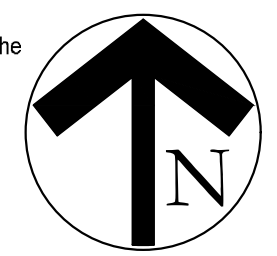
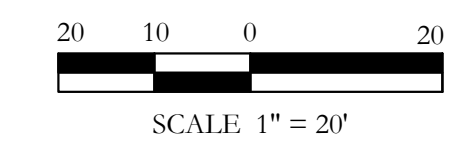


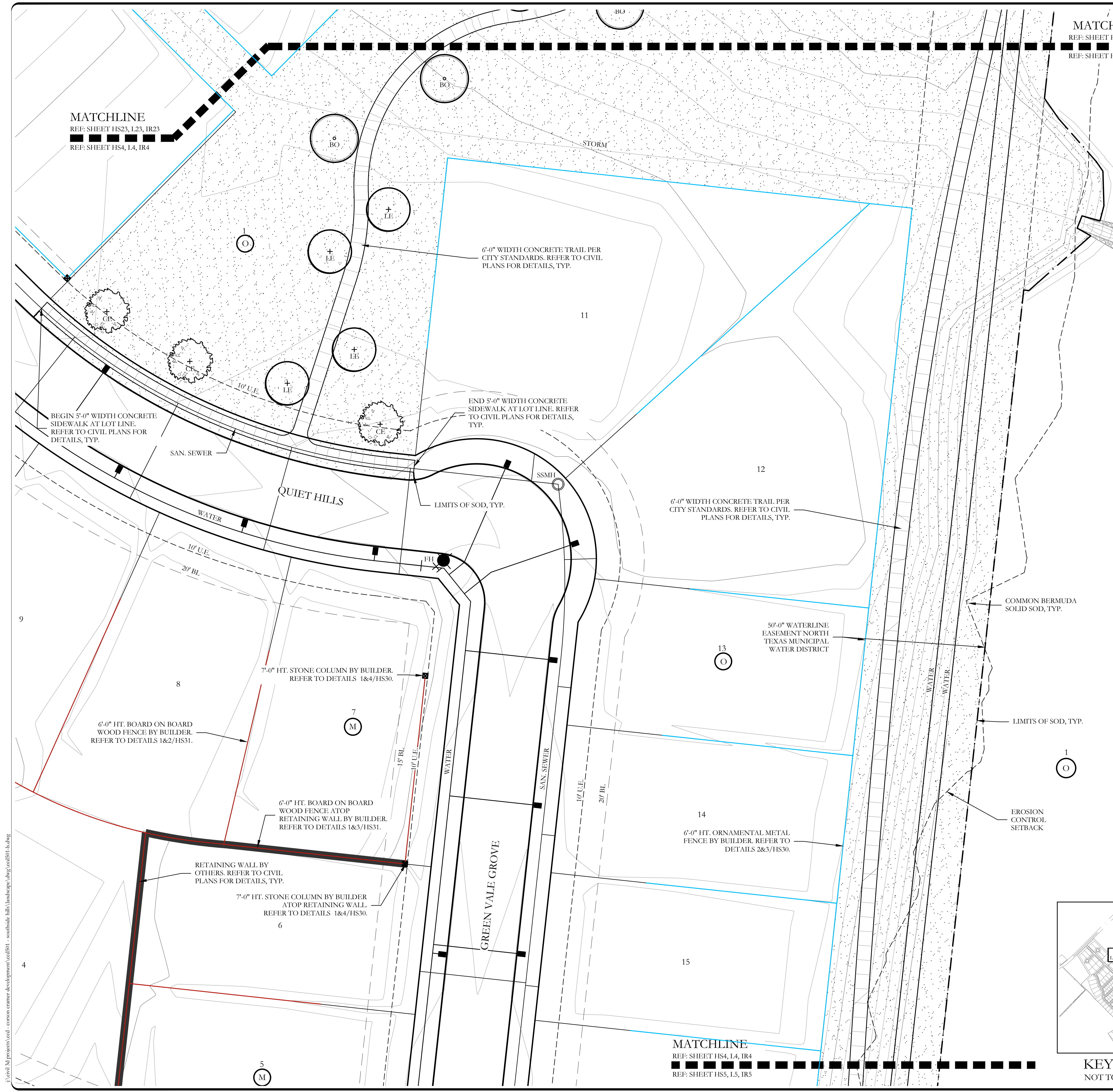
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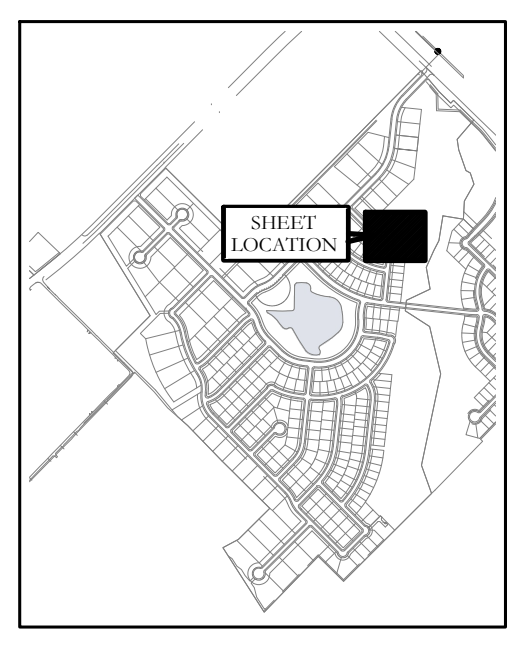


MATCHLINE
REF: SHEET HS3, L3, IR3
REF: SHEET HS4, L4, IR4

MATCHLINE
REF: SHEET HS23, L23, IR23
REF: SHEET HS4, L4, IR4

MATCHLINE
REF: SHEET HS4, L4, IR4
REF: SHEET HS5, L5, IR5

PLANT LEGEND					
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		CREeping ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SCALE: 1" = 20'

One Inch

JVC No CCD501

September 03, 2025

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
 LANDSCAPE PLAN

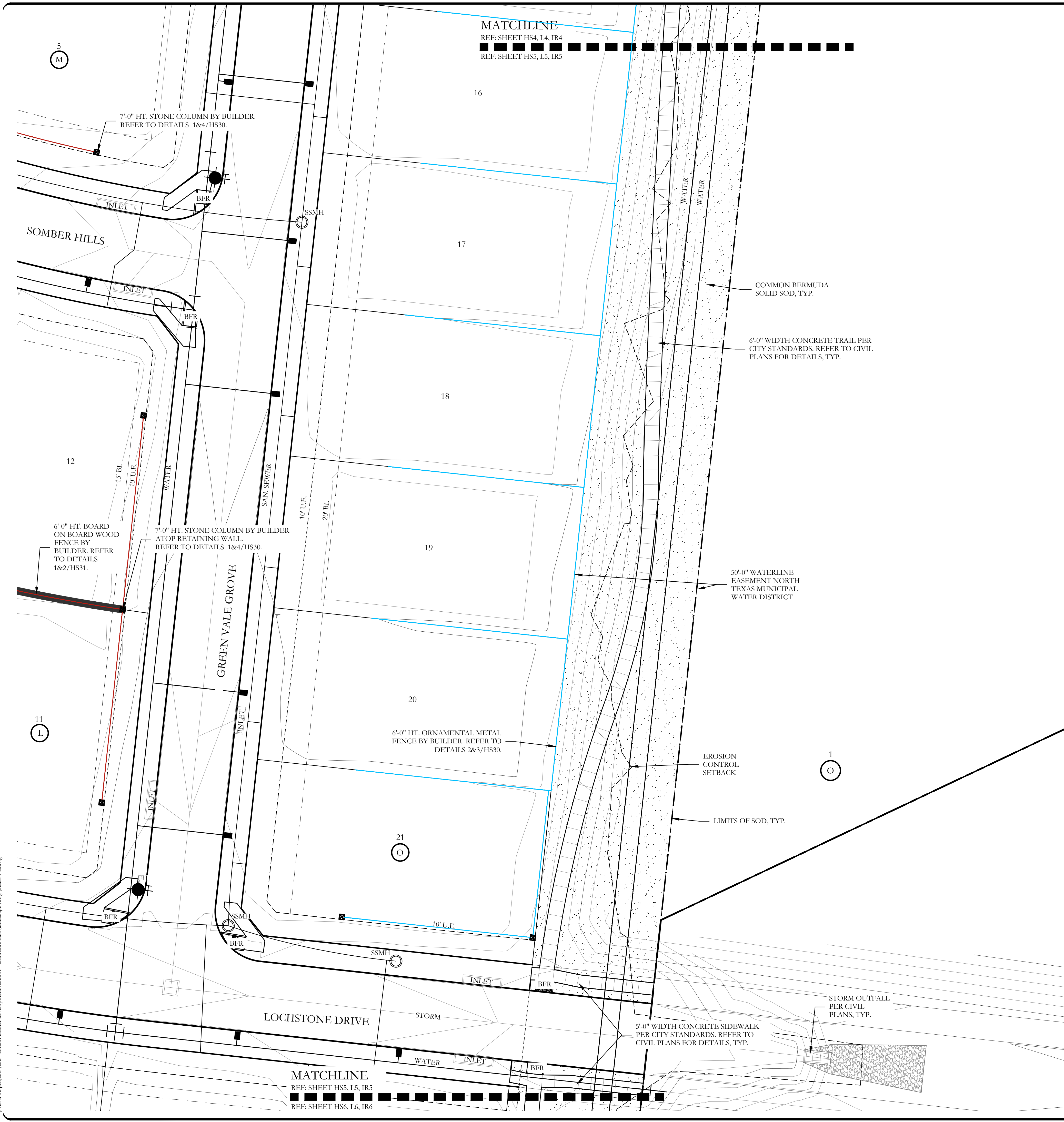
REGISTERED LANDSCAPE ARCHITECT
 COY L. JOHNSON
 2833
 STATE OF TEXAS
 September 03, 2025

CITY CASE NUMBER SP2025-036

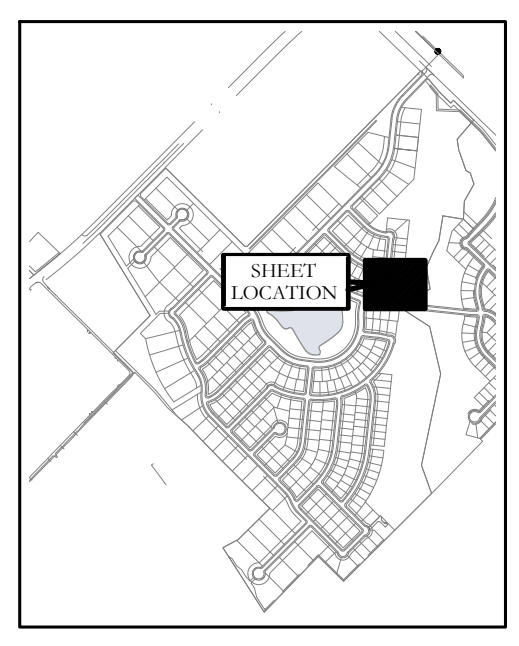
L4 of 28

MATCHLINE
 REF: SHEET HS4, L4, IR4
 REF: SHEET HS5, L5, IR5

MATCHLINE
 REF: SHEET HS5, L5, IR5
 REF: SHEET HS6, L6, IR6



PLANT LEGEND					
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		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	¾" 1" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



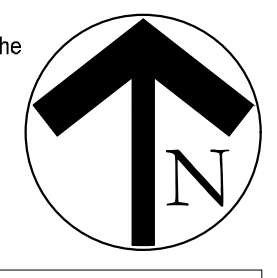
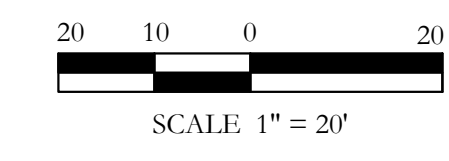
KEY MAP
NOT TO SCALE

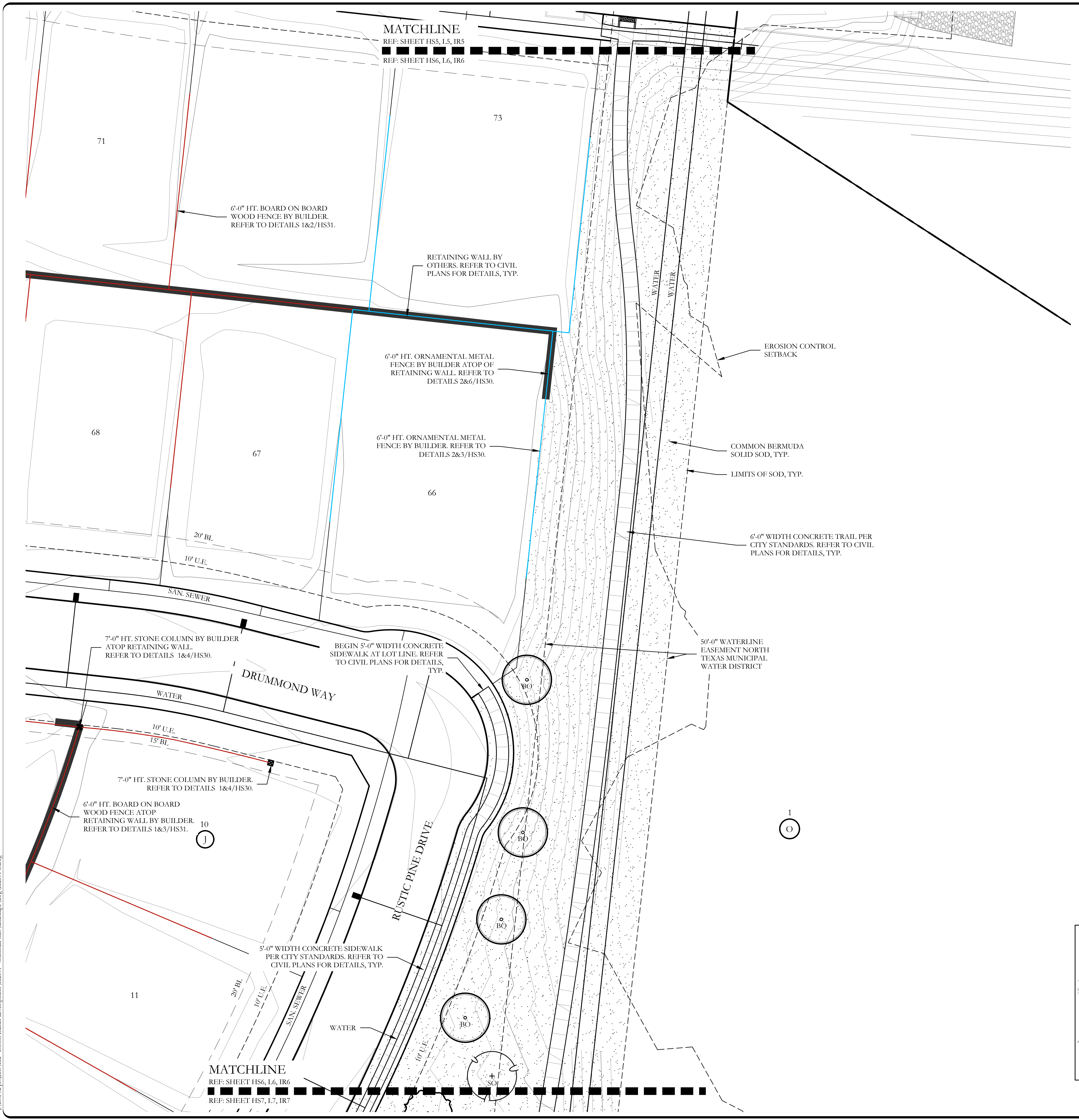
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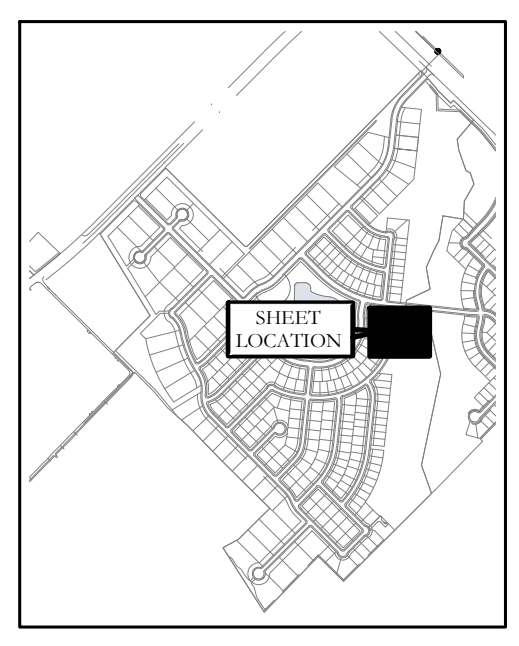
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 Director of Planning and Zoning





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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	¾" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

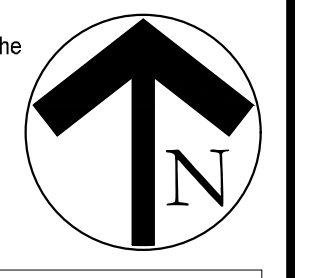
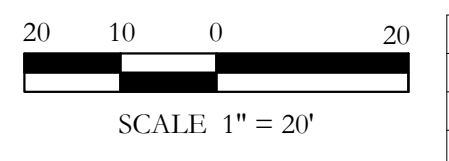


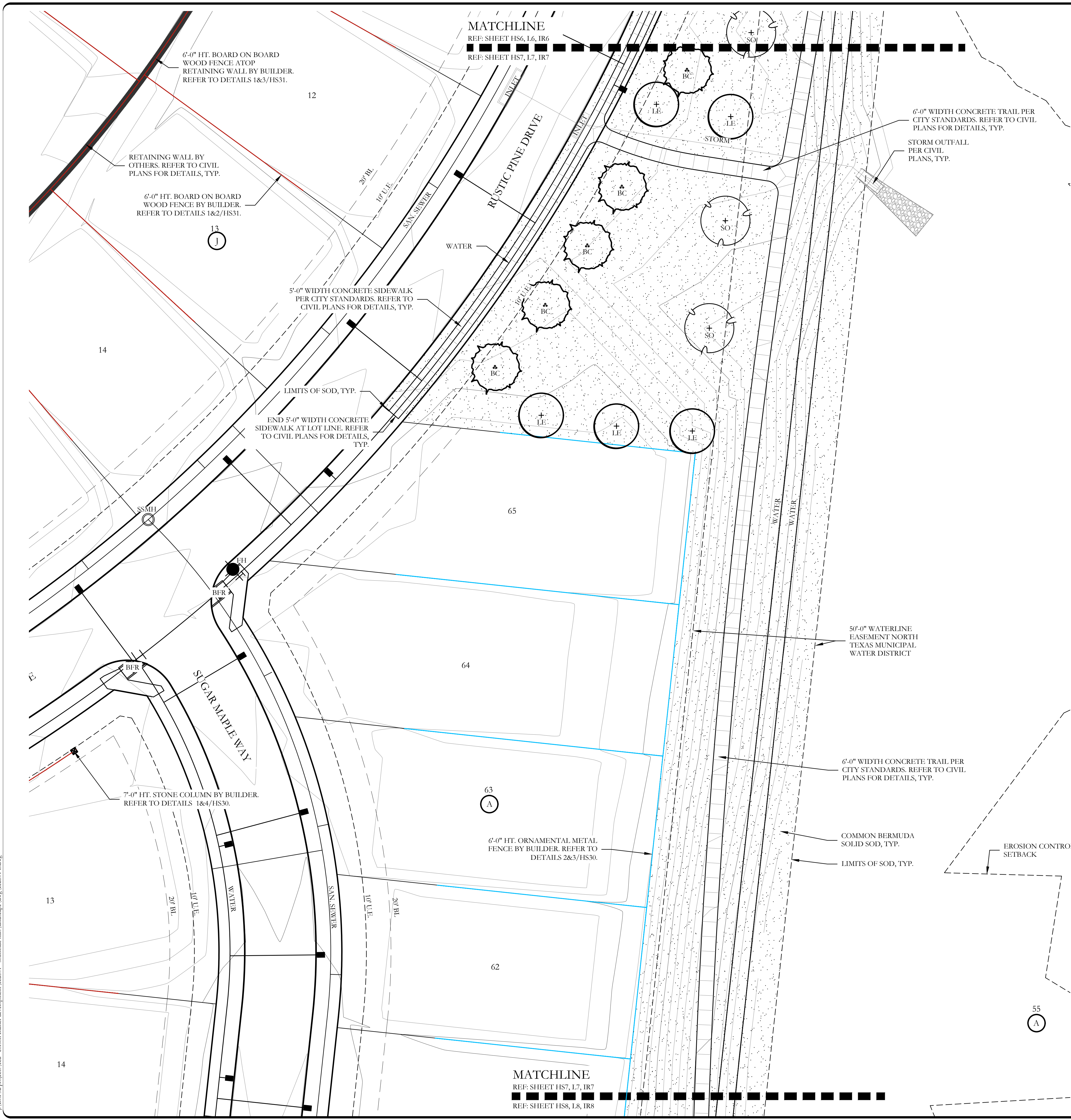
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WITNESS OUR HANDS, this ____ day of ____.

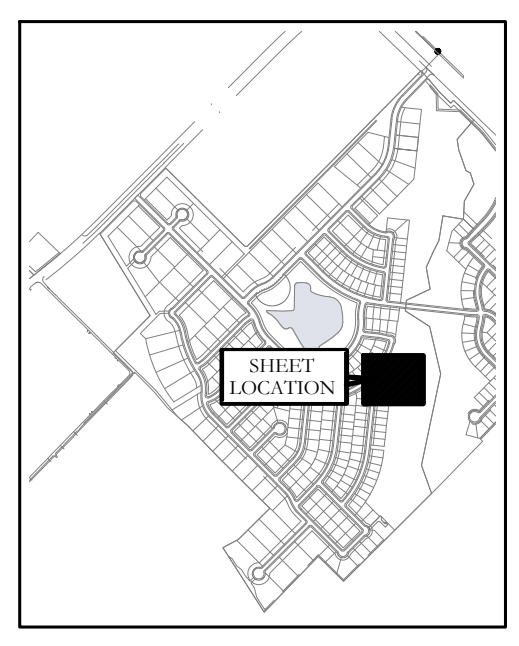
Planning & Zoning Commission, Chairman

Director of Planning and Zoning





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
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	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
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		CREeping ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
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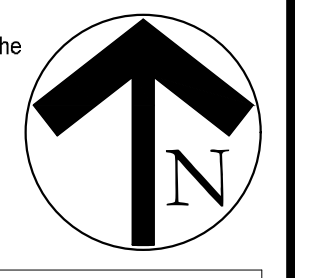
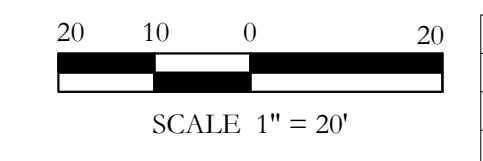


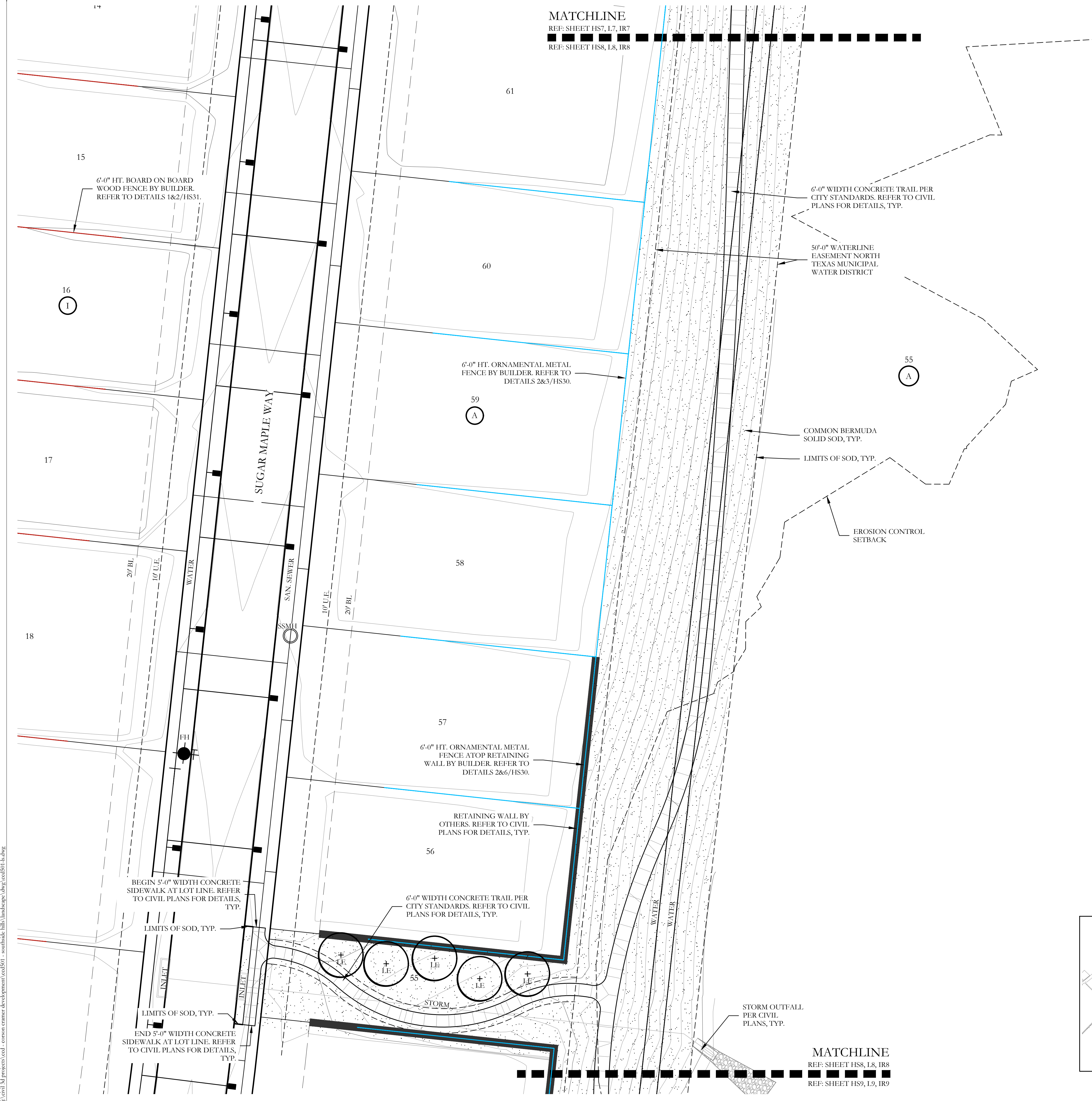
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 Director of Planning and Zoning





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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

September 03, 2025

SCALE: 1" = 20'
One Inch
JVC No CCD501

SCALE 1" = 20'

20 10 0 10 20

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

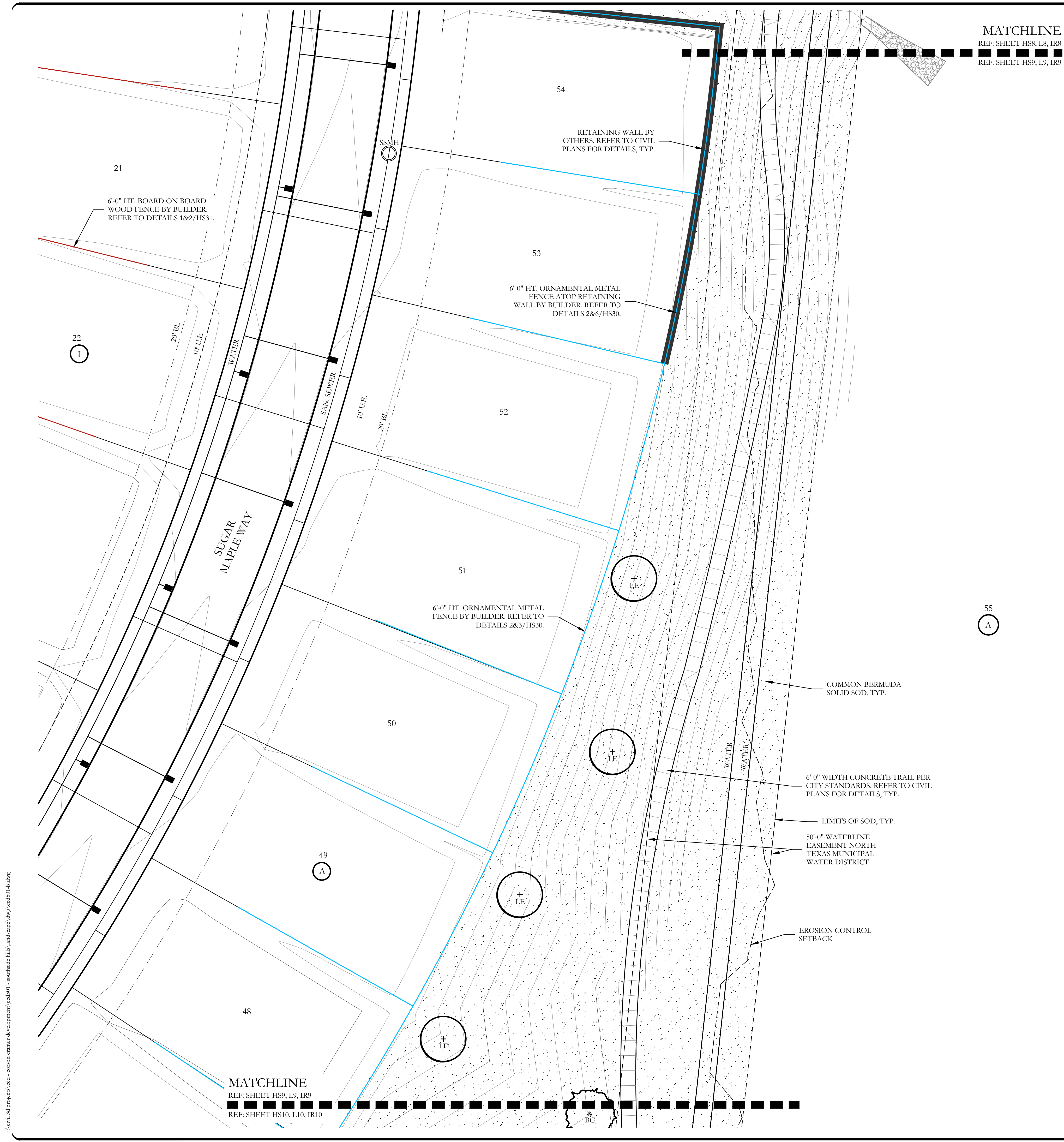
SOUTHSIDE HILLS PHASE I
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
JOHNSON VOLK
2833
STATE OF TEXAS
September 03, 2025

CITY CASE NUMBER SP2025-036

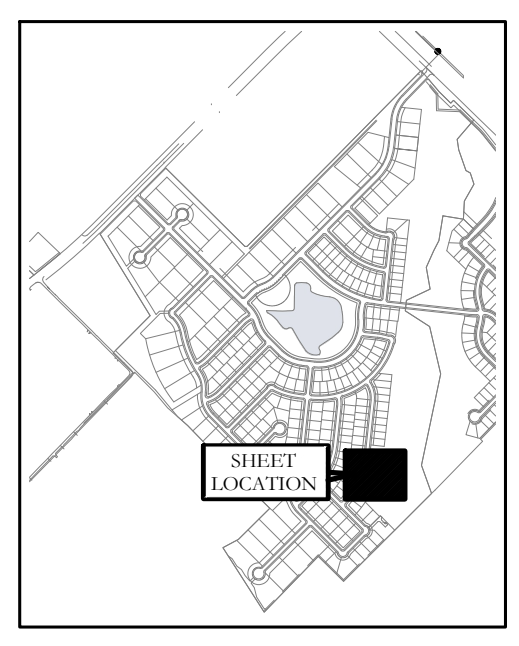
L8 of 28



MATCHLINE
 REF: SHEET HS8, L8, IR8
 REF: SHEET HS9, L9, IR9

MATCHLINE
 REF: SHEET HS9, L9, IR9
 REF: SHEET HS10, L10, IR10

PLANT LEGEND					
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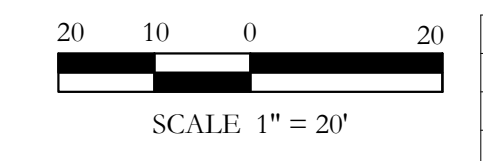
KEY MAP
NOT TO SCALE

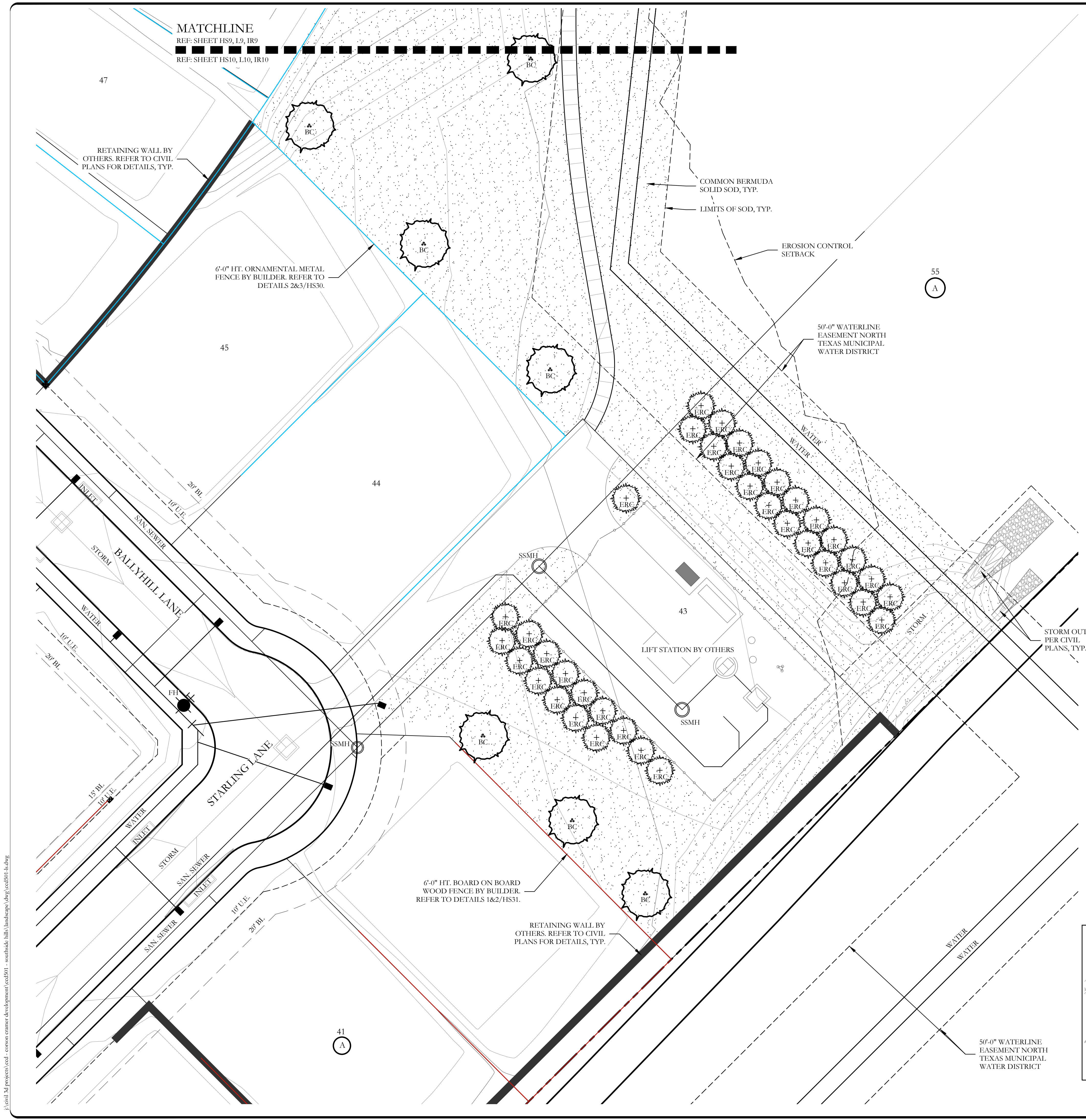
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 Planning & Zoning Commission, Chairman

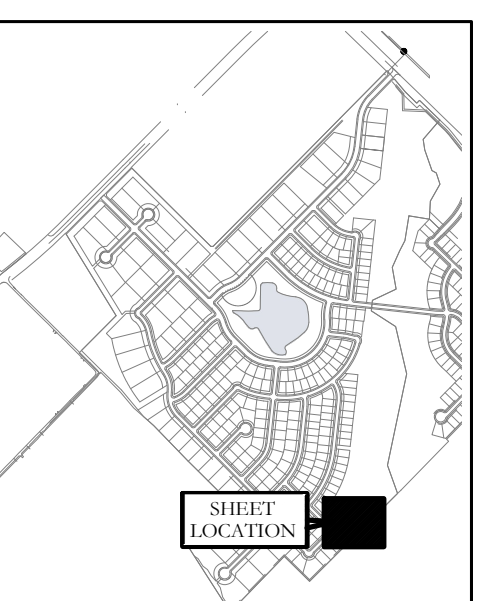
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PLANT LEGEND

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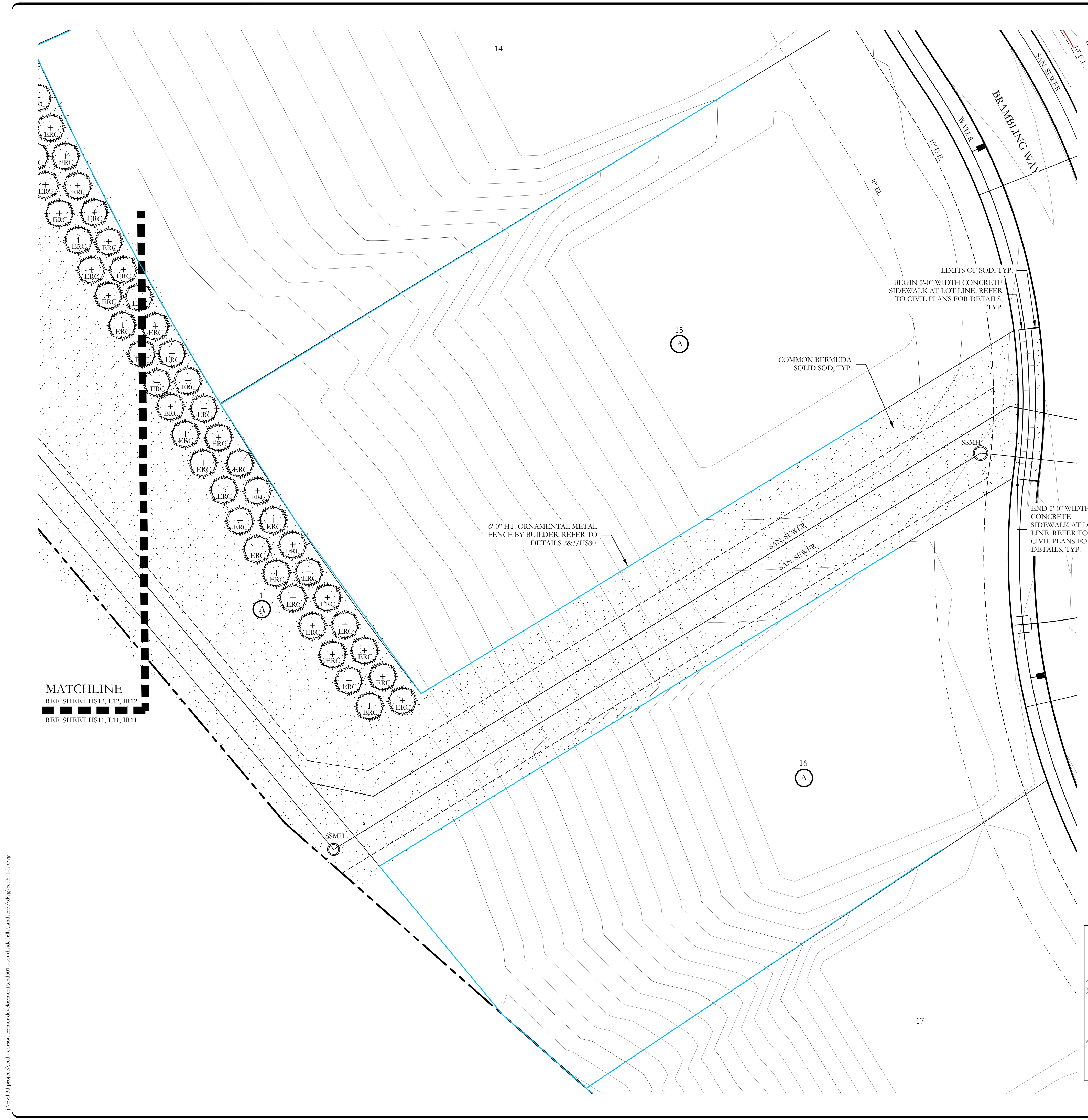
Director of Planning and Zoning

SCALE: 1" = 20'

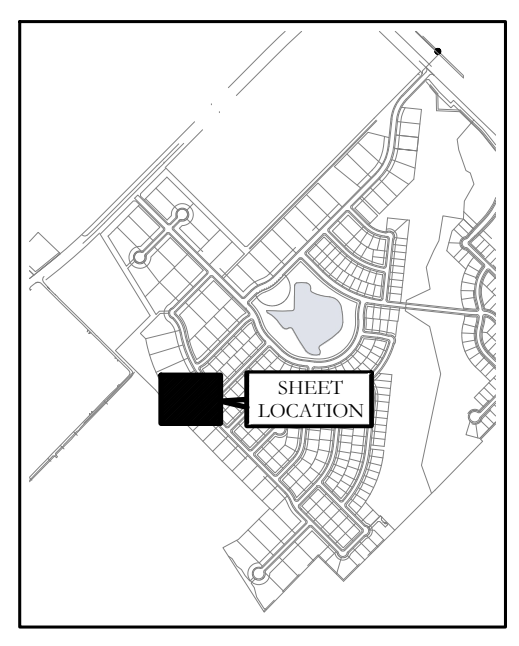
One Inch

JVC No CCD501

September 03, 2025



PLANT LEGEND					
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One Inch

JVC No CCD501

September 03, 2025

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
 LANDSCAPE PLAN

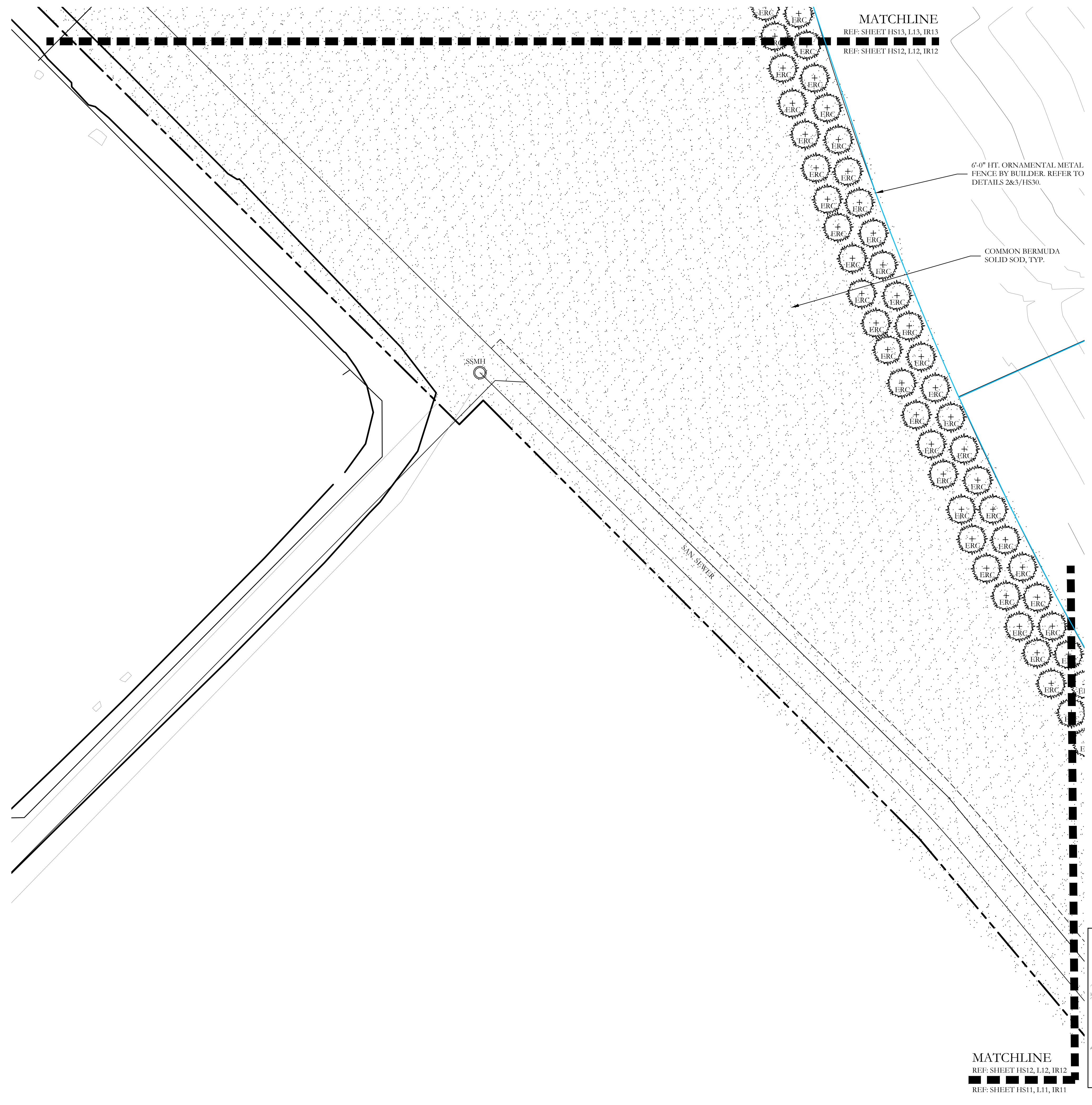
REGISTERED LANDSCAPE ARCHITECT
 JOHNSON VOLK
 2833
 STATE OF TEXAS
 September 03, 2025

SCALE: 1" = 20'
 One Inch
 JVC No CCD501

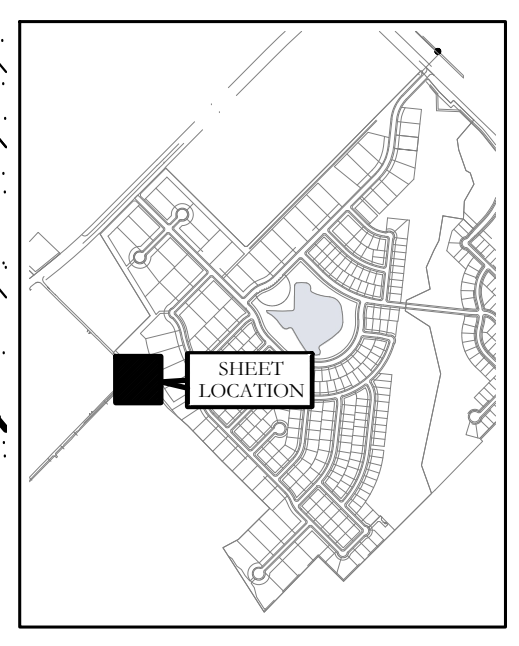
L11 of 28

CITY CASE NUMBER SP2025-036

P:\2025\Projects\2025-036 - southside hills\landscape\dwg\csd501.landscape.dwg



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		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



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WITNESS OUR HANDS, this ____ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SCALE: 1" = 20'

One Inch

JVC No. CCD501

September 03, 2025

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

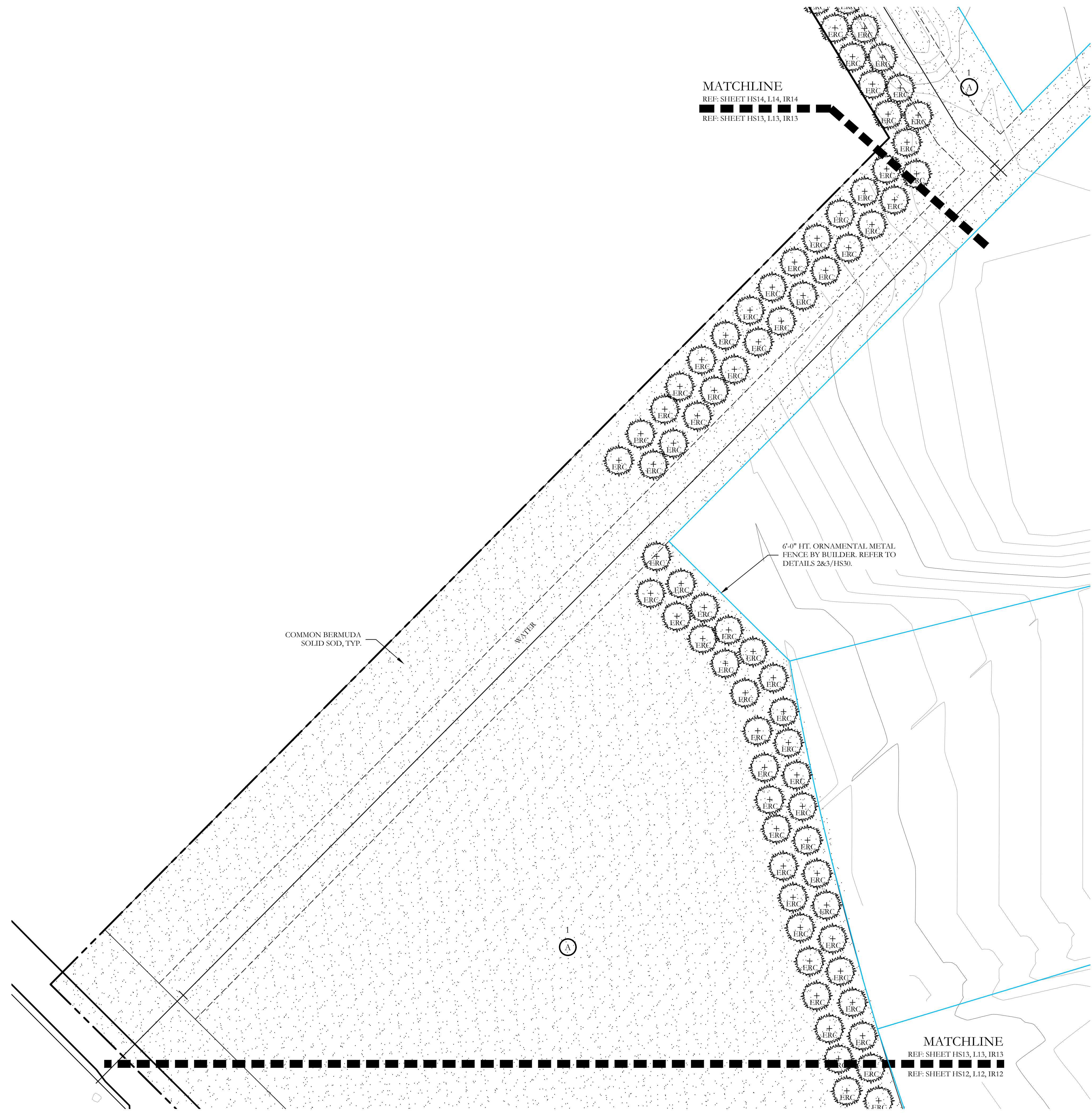
SCREENING AND BUFFERING
 LANDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
 JOY L. JOHNSON
 2833
 STATE OF TEXAS
 September 03, 2025

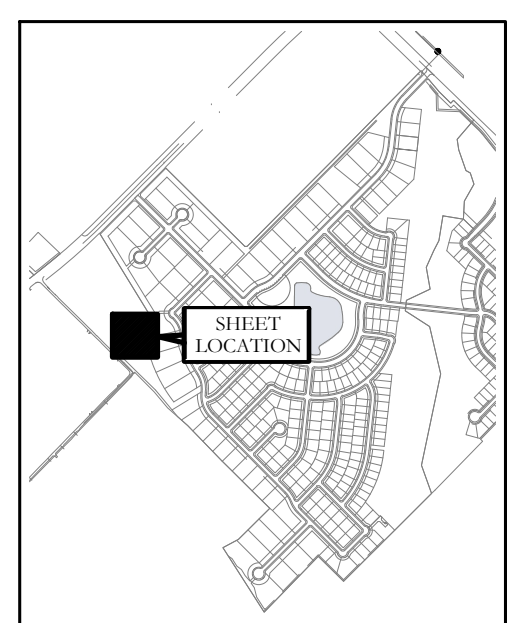
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 JVC No. CCD501

CITY CASE NUMBER SP2025-036

P:\civil_3\projects\ced - common cramer development\ced01 - southside hills\landscape\lbr\lsc\lsc011.landscape.dwg



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



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WITNESS OUR HANDS, this ____ day of ____.

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 Director of Planning and Zoning

SCALE: 1" = 20'

One Inch

JVC No CCD501

September 03, 2025

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

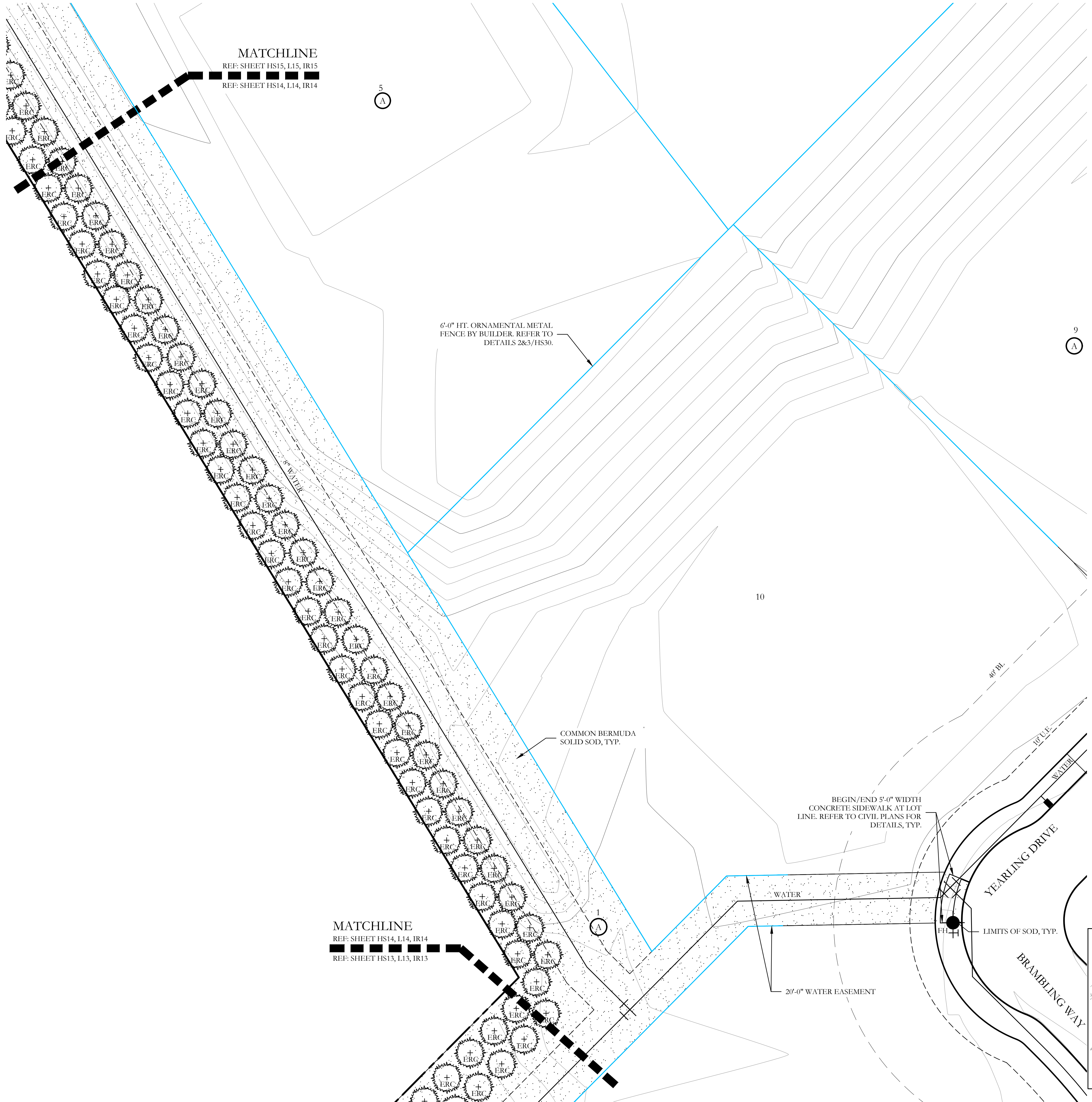
SOUTHSIDE HILLS PHASE I
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SCREENING AND BUFFERING
 LANDSCAPE PLAN

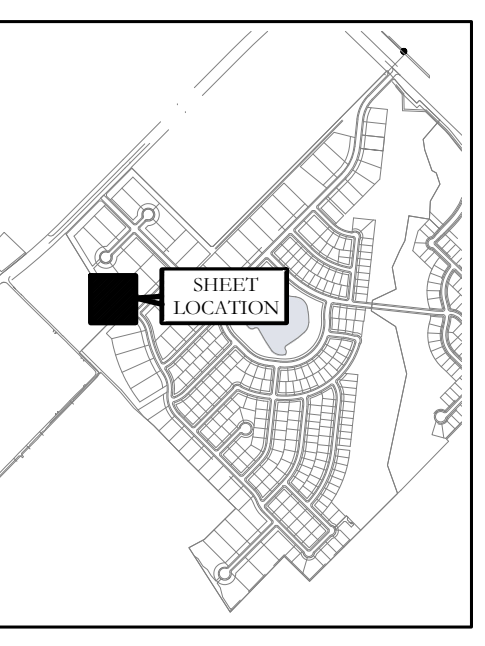
REGISTERED LANDSCAPE ARCHITECT
 JOY L. JOHNSON
 STATE OF TEXAS
 2833
 September 03, 2025

SCALE: 1" = 20'
 One Inch
 JVC No CCD501

CITY CASE NUMBER SP2025-036



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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
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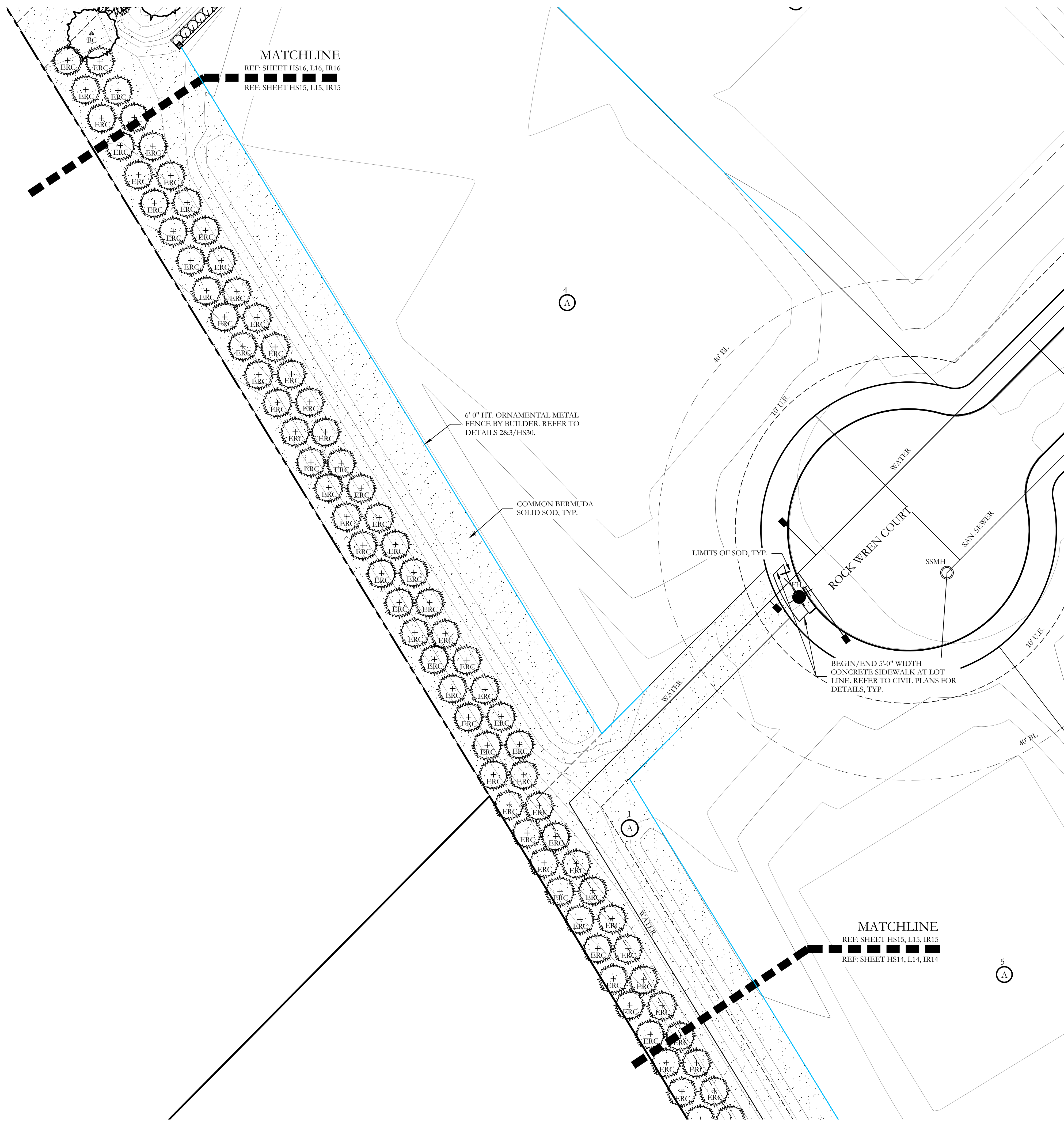
 Director of Planning and Zoning

SCALE: 1" = 20'

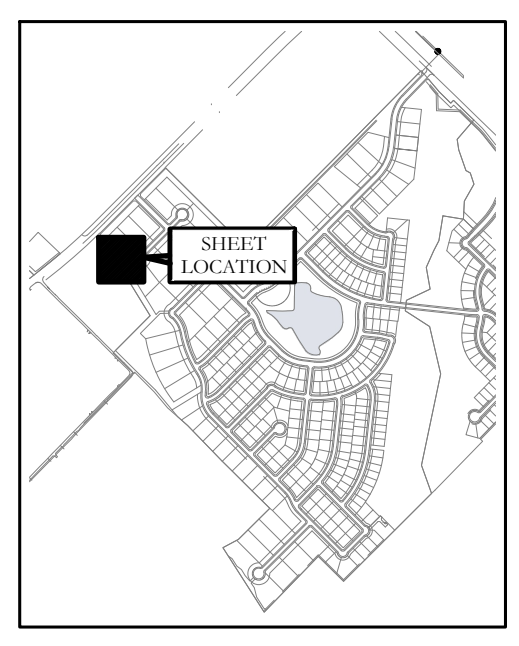
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PLANT LEGEND					
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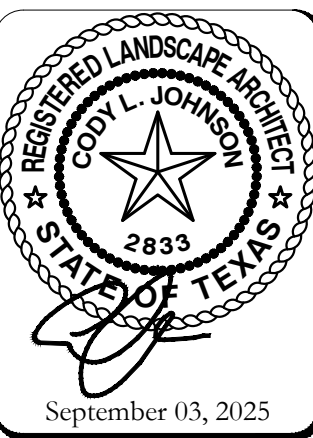
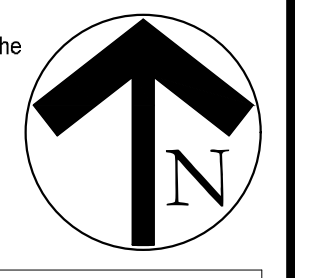
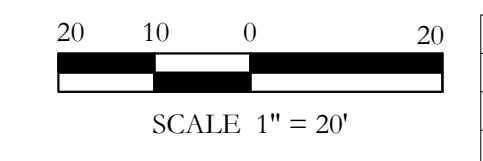


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Planning & Zoning Commission, Chairman

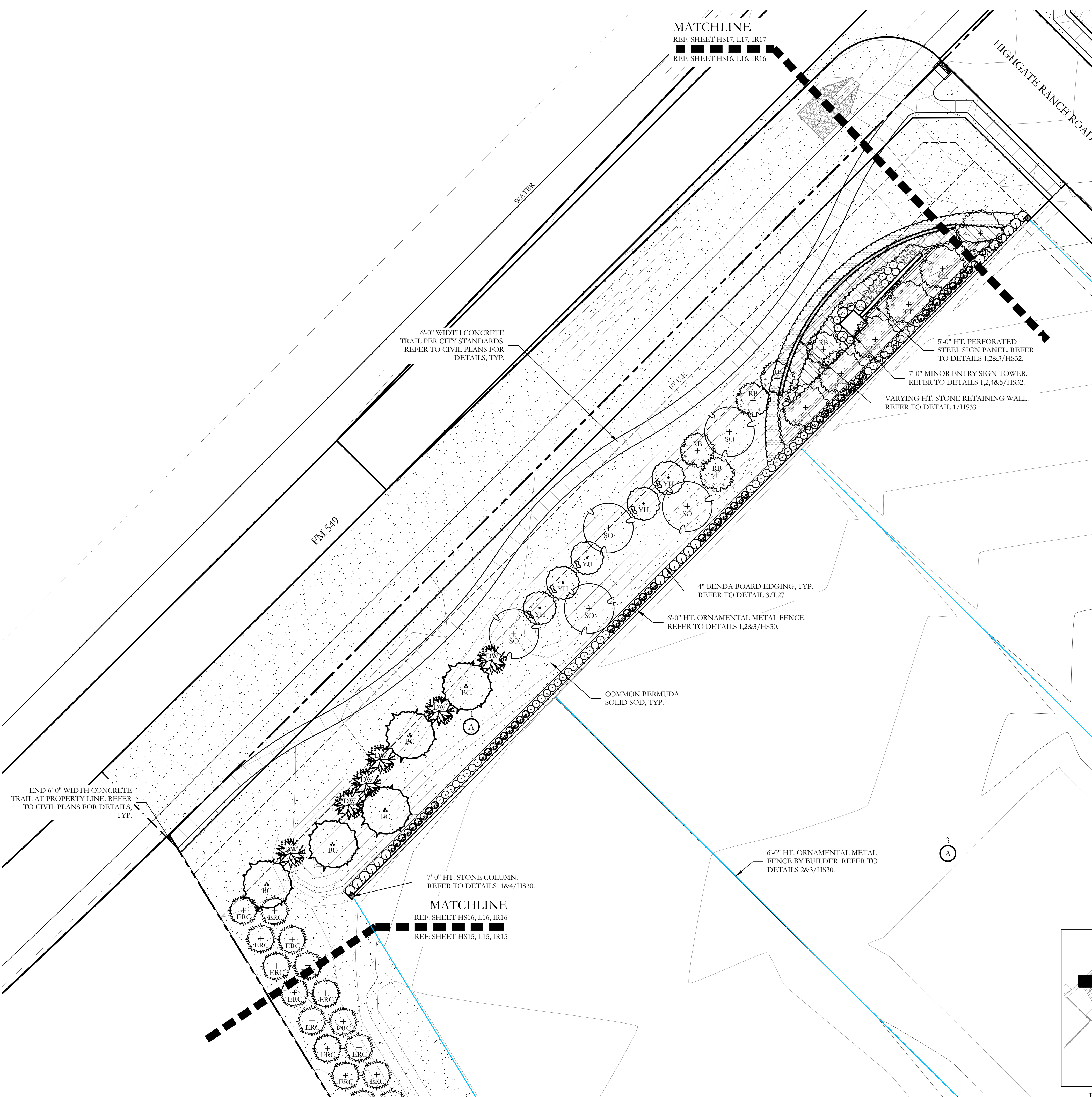
Director of Planning and Zoning



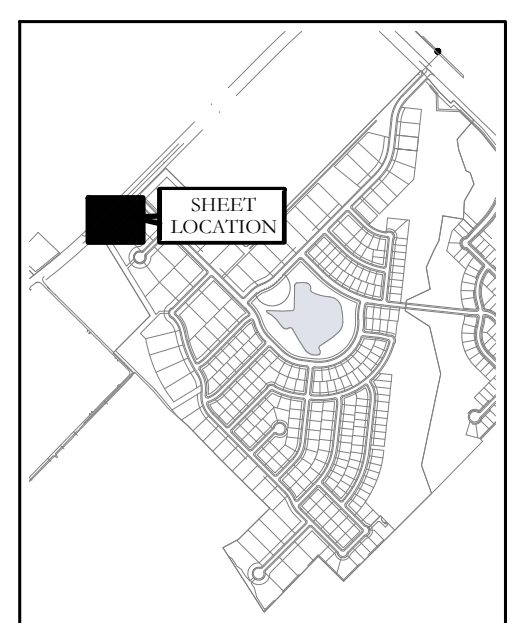
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MATCHLINE
REF: SHEET HS17, L17, IR17
REF: SHEET HS16, L16, IR16

MATCHLINE
REF: SHEET HS16, L16, IR16
REF: SHEET HS15, L15, IR15



PLANT LEGEND					
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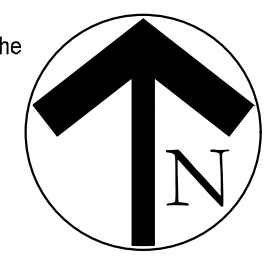
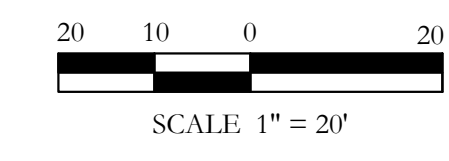


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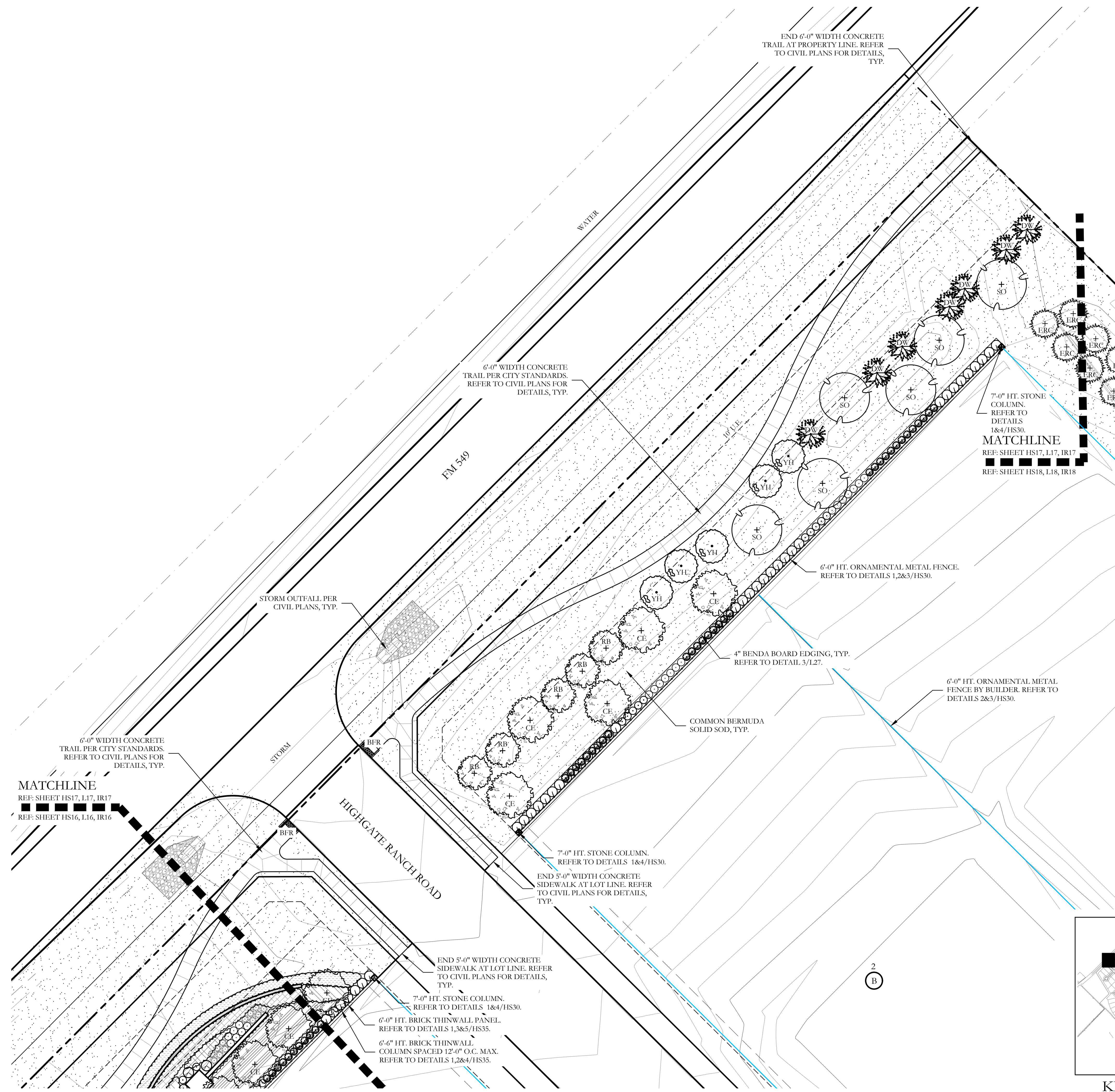
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Director of Planning and Zoning



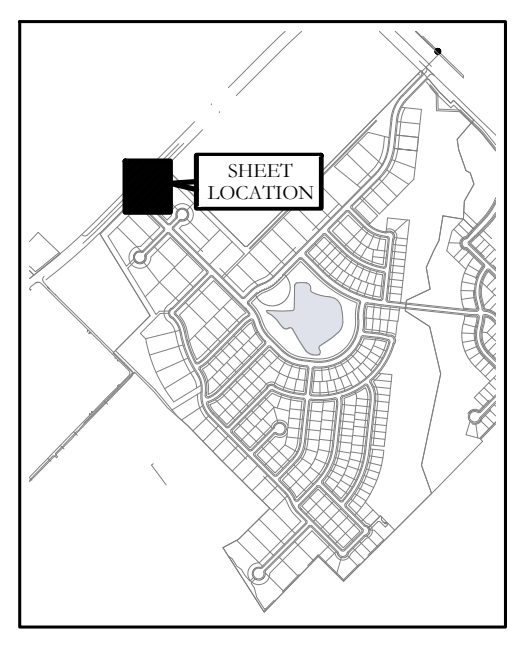
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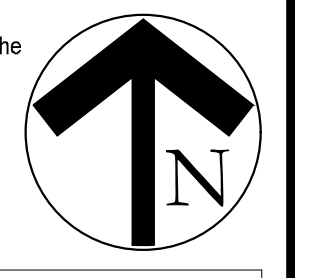
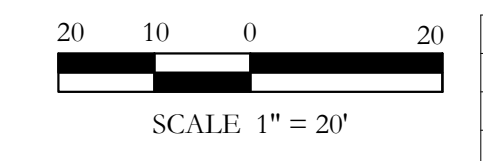
MATCHLINE
 REF: SHEET HS17, L17, IR17
 REF: SHEET HS16, L16, IR16

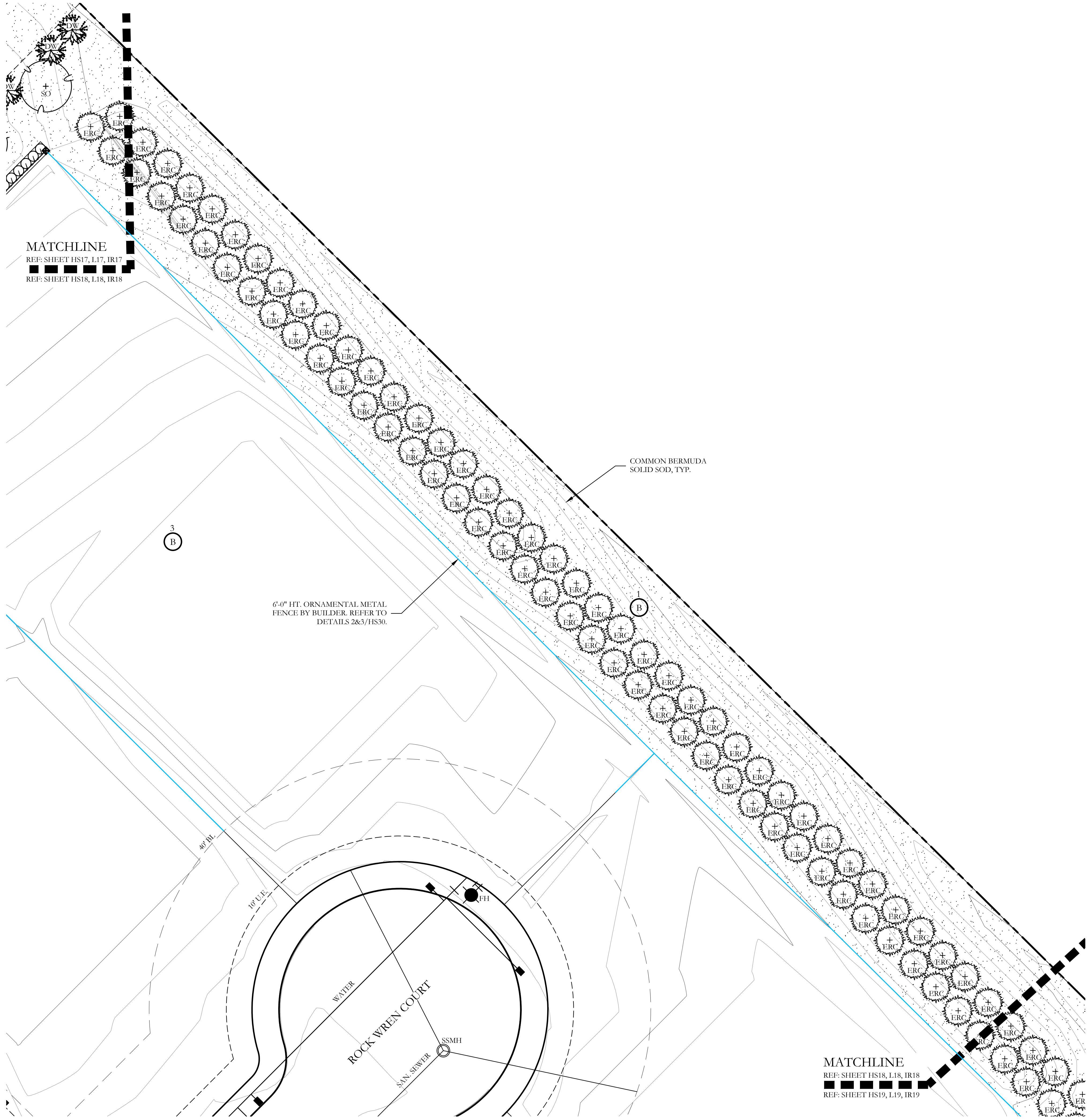
MATCHLINE
 REF: SHEET HS17, L17, IR17
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KEY MAP
NOT TO SCALE

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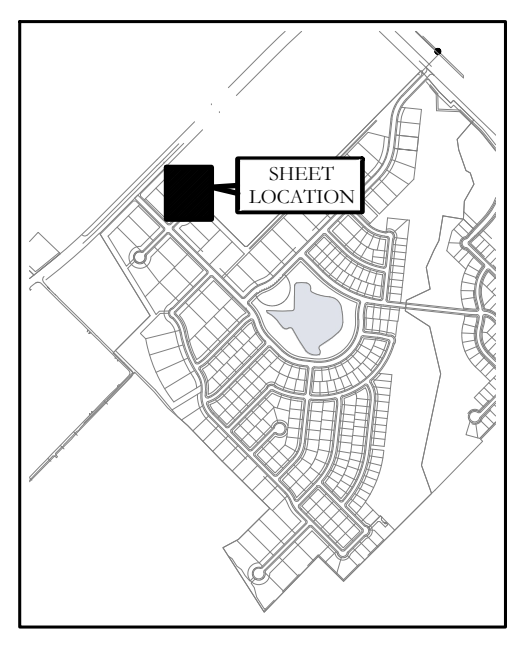




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		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
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		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

MATCHLINE
 REF: SHEET HS17, L17, IR17
 REF: SHEET HS18, L18, IR18

MATCHLINE
 REF: SHEET HS18, L18, IR18
 REF: SHEET HS19, L19, IR19

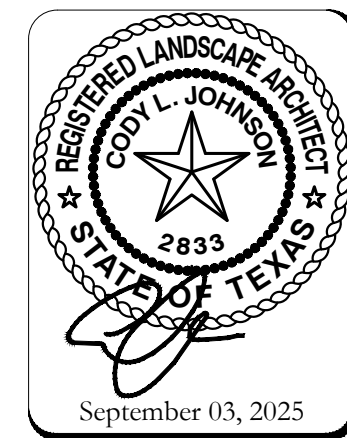
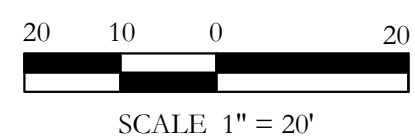


APPROVED:
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WITNESS OUR HANDS, this ____ day of ____

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



SCALE: 1" = 20'
 One Inch
 JVC No. CCD501

MATCHLINE
 REF: SHEET HS18, L18, IR18
 REF: SHEET HS19, L19, IR19

4
B

6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAILS 2&3/HS30.

RETAINING WALL BY OTHERS. REFER TO CIVIL PLANS FOR DETAILS, TYP.

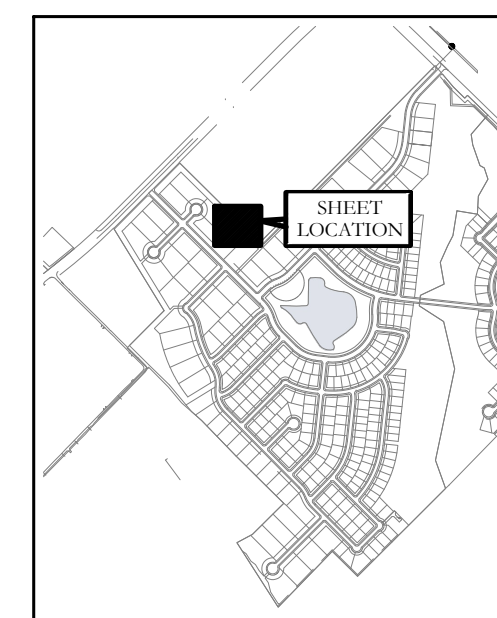
COMMON BERMUDA SOLID SOD, TYP.

MATCHLINE
 REF: SHEET HS19, L19, IR19
 REF: SHEET HS20, L20, IR20

6

P:\civil_3\projects\cedl - coroner cramer development\cedl01 - southside hills\landscape\dwg\ce0101.landscape.dwg

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



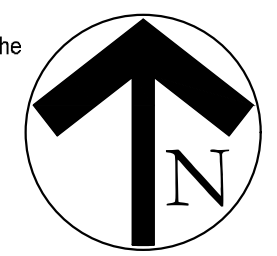
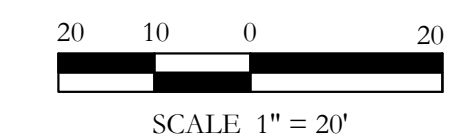
KEY MAP
NOT TO SCALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____

 Planning & Zoning Commission, Chairman

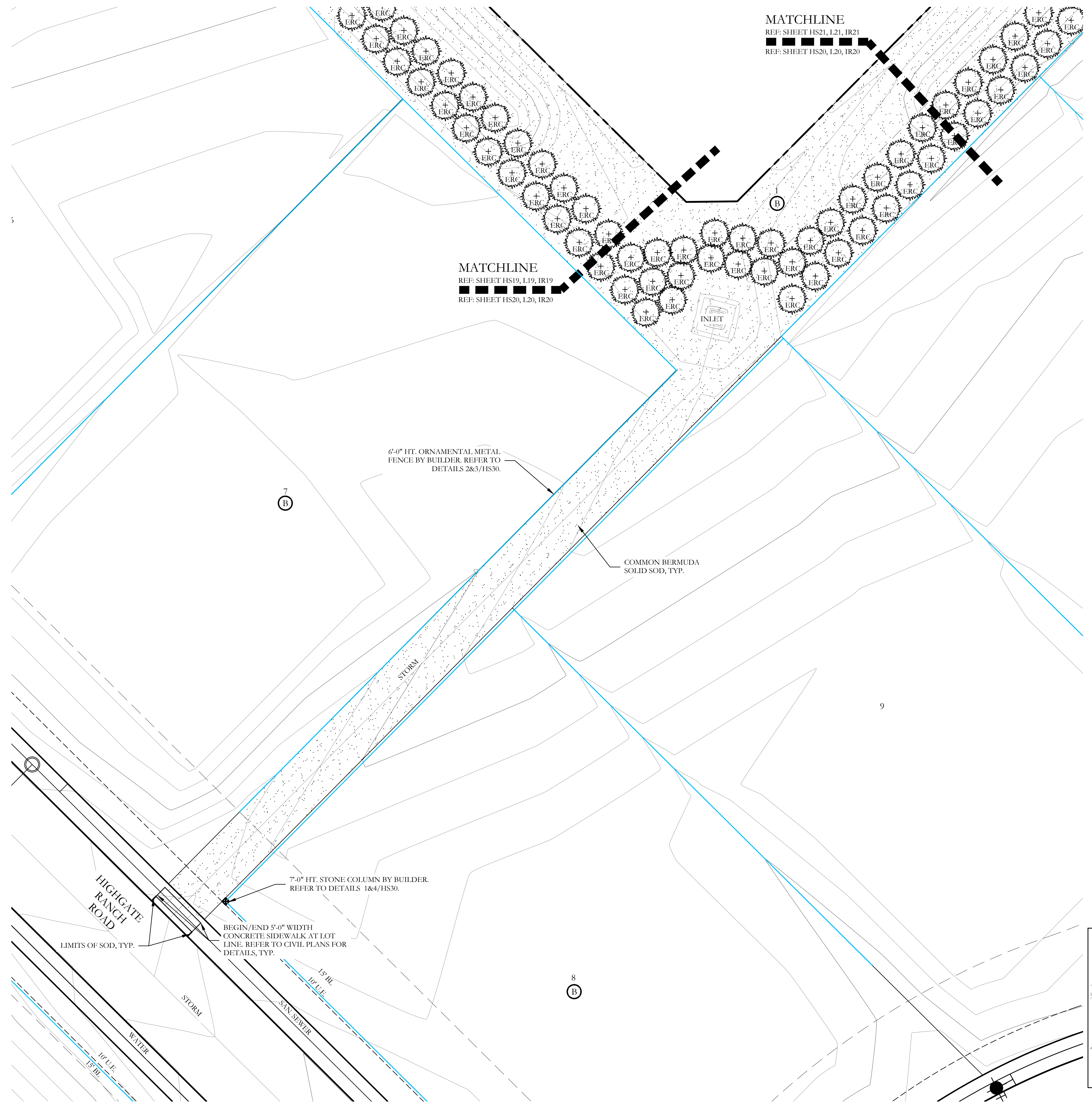
 Director of Planning and Zoning



September 03, 2025

SCALE: 1" = 20'
 One Inch
 JVC No CCD501

F:\proj\31 projects\cedl - crosston cranner development\cedl01 - southside hills\landscape\lbr\lsc\lsc011.lbr.dwg



MATCHLINE
 REF: SHEET HS21, L21, TR21
 REF: SHEET HS20, L20, TR20

MATCHLINE
 REF: SHEET HS19, L19, TR19
 REF: SHEET HS20, L20, TR20

6'-0" HT. ORNAMENTAL METAL
 FENCE BY BUILDER. REFER TO
 DETAILS 2&3/HS30.

COMMON BERMUDA
 SOLID SOD, TYP.

7'-0" HT. STONE COLUMN BY BUILDER.
 REFER TO DETAILS 1&4/HS30.

BEGIN/END 5'-0" WIDTH
 CONCRETE SIDEWALK AT LOT
 LINE. REFER TO CIVIL PLANS FOR
 DETAILS, TYP.

HIGHGATE
 RANCH
 ROAD

LIMITS OF SOD, TYP.

STORM

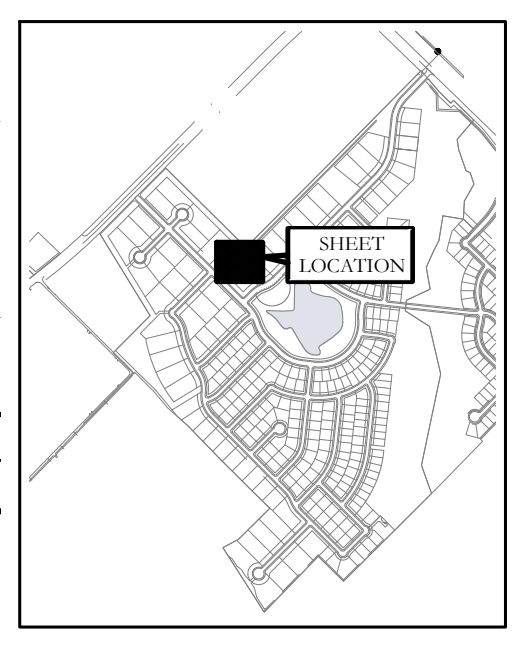
WATER

SAN SEWER

15" W/L

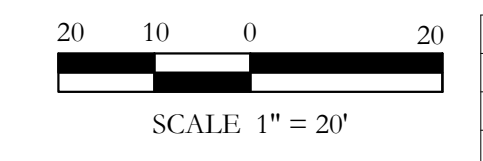
10" W/L

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
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		LITTLE RUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



KEY MAP
 NOT TO SCALE

APPROVED:
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 WITNESS OUR HANDS, this ____ day of _____.
 Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____



MATCHLINE
 REF: SHEET HS22, L22, IR22
 REF: SHEET HS21, L21, IR21

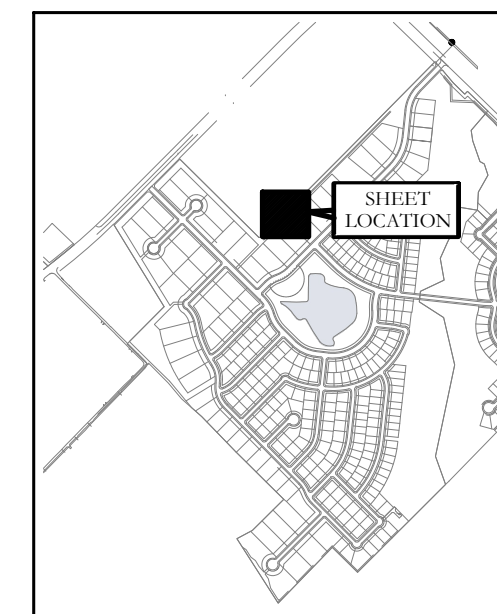
MATCHLINE
 REF: SHEET HS21, L21, IR21
 REF: SHEET HS20, L20, IR20

COMMON BERMUDA
 SOLID SOD, TYP.

6'-0" HT. ORNAMENTAL METAL
 FENCE BY BUILDER. REFER TO
 DETAILS 2&3/HS30.

12

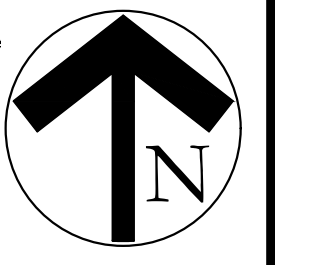
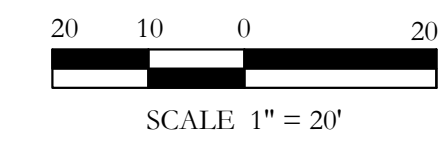
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREeping ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

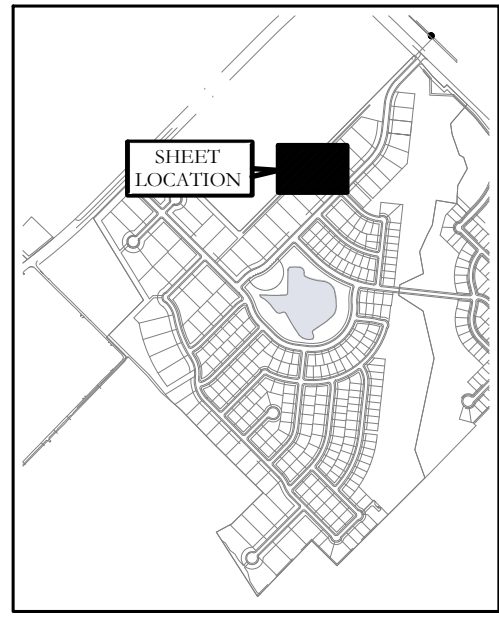


KEY MAP
 NOT TO SCALE

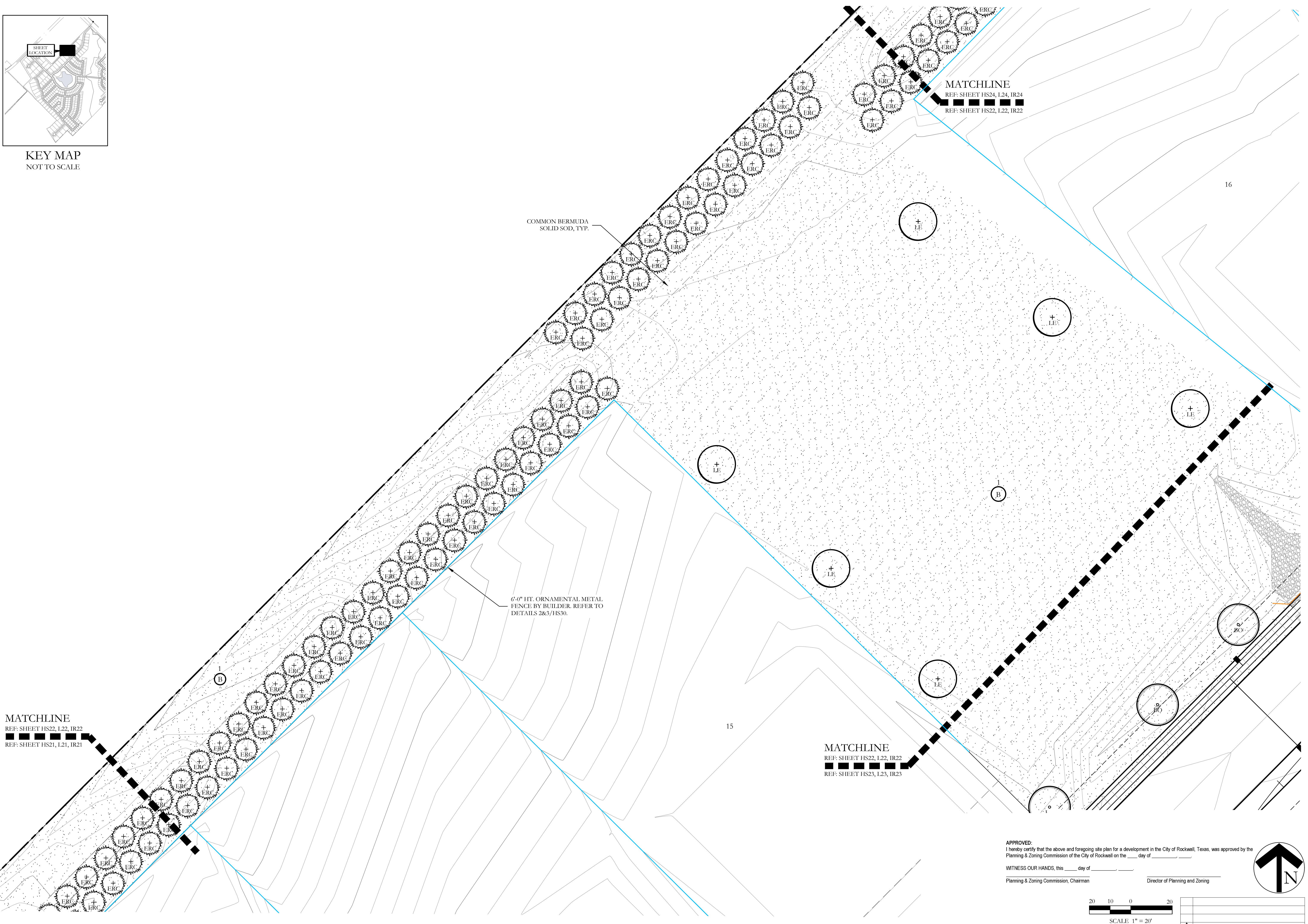
APPROVED:
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WITNESS OUR HANDS, this ___ day of _____
 Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____





KEY MAP
NOT TO SCALE



MATCHLINE
REF: SHEET HS22, L22, IR22
REF: SHEET HS21, L21, IR21

MATCHLINE
REF: SHEET HS24, L24, IR24
REF: SHEET HS22, L22, IR22

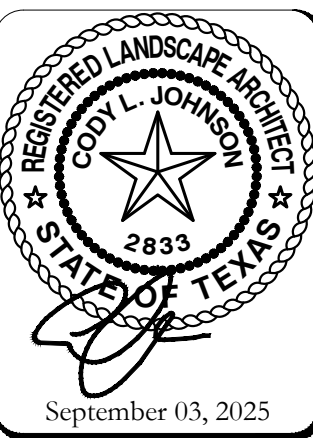
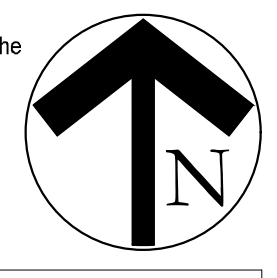
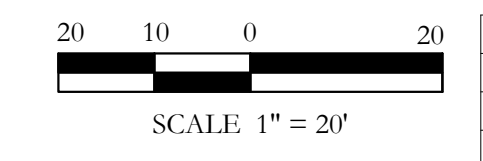
MATCHLINE
REF: SHEET HS22, L22, IR22
REF: SHEET HS23, L23, IR23

APPROVED:
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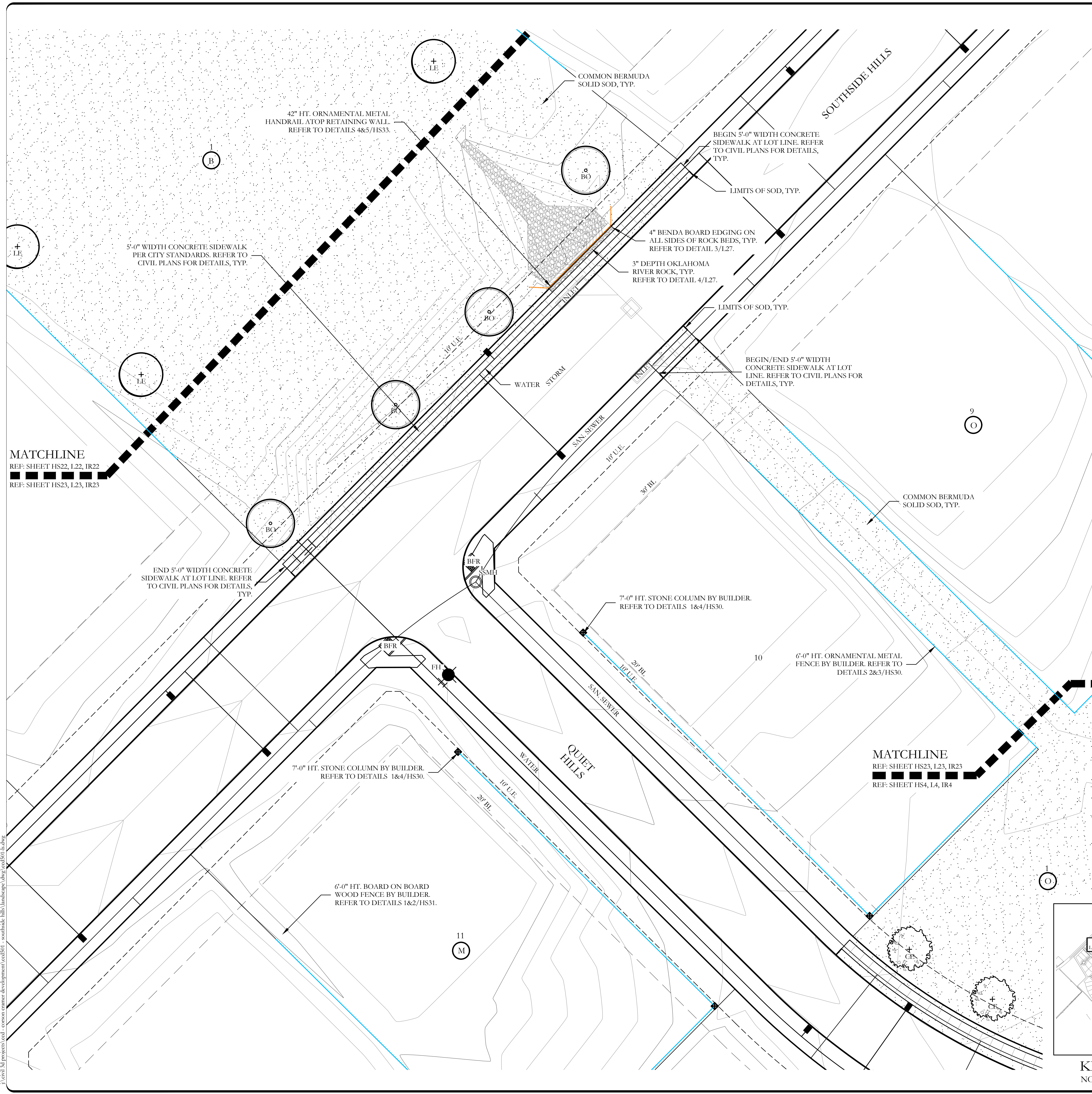
WITNESS OUR HANDS, this ____ day of ____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



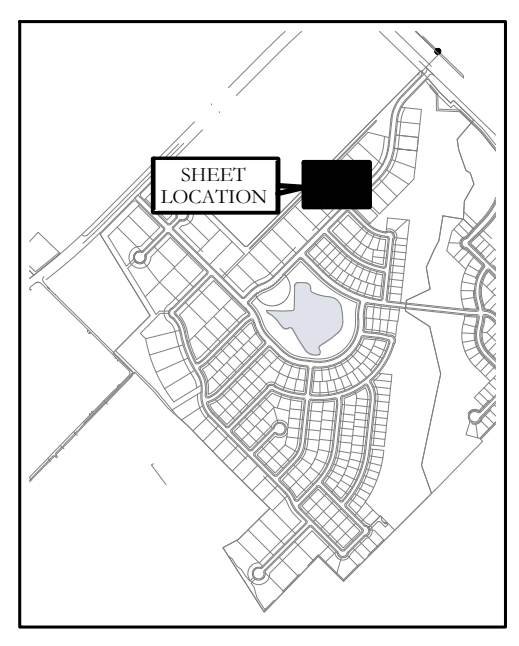
SCALE:
1" = 20'
One Inch
JVC No. CCD501



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE RUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

MATCHLINE
 REF: SHEET HS22, L22, IR22
 REF: SHEET HS23, L23, IR23

MATCHLINE
 REF: SHEET HS23, L23, IR23
 REF: SHEET HS4, L4, IR4



APPROVED:
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WITNESS OUR HANDS, this ____ day of ____

 Planning & Zoning Commission, Chairman

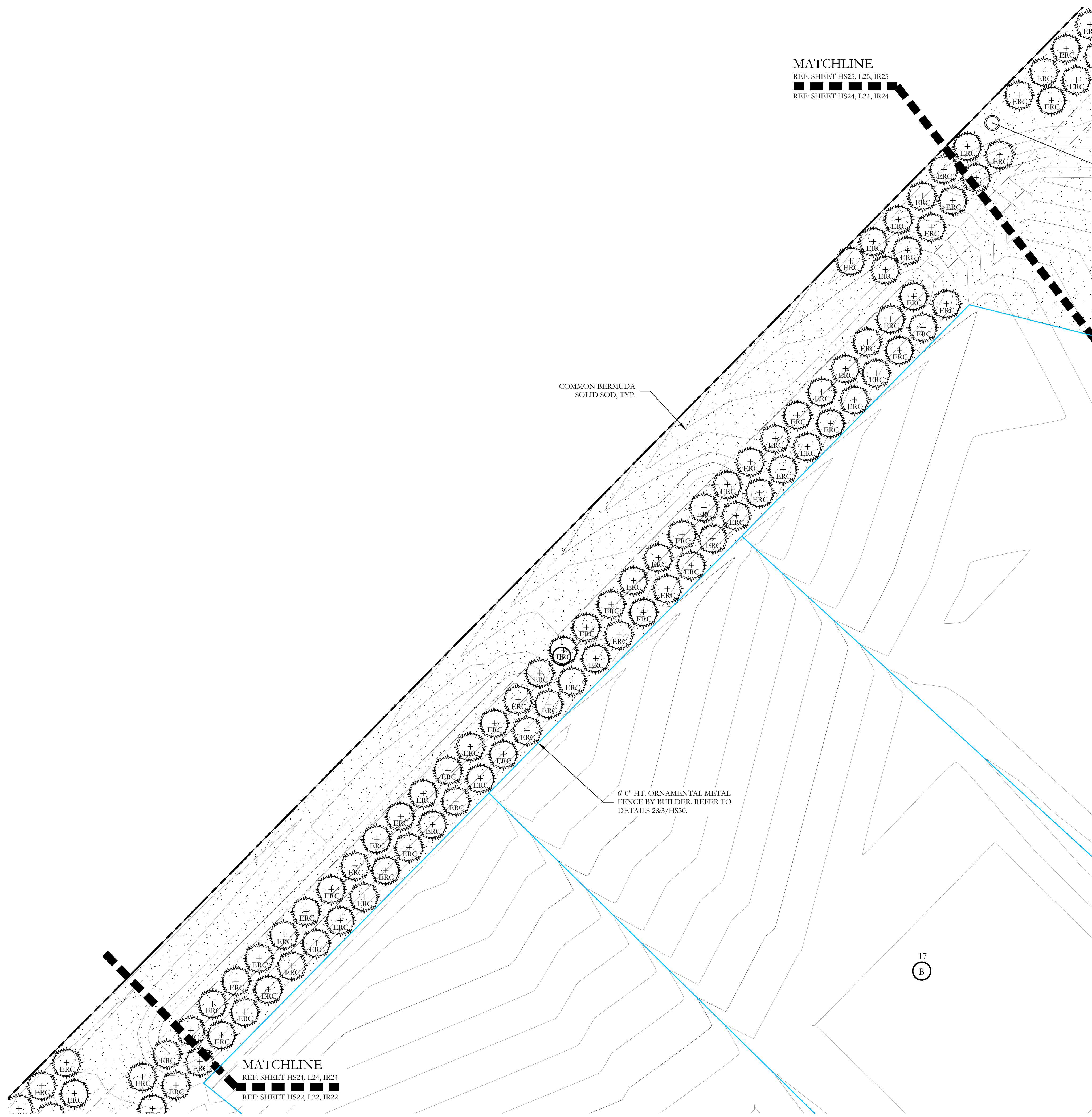
 Director of Planning and Zoning

SCALE: 1" = 20'
 One Inch

JVC No CCD501

SCALE 1" = 20'

P:\proj\31 projects\ced - common cramer development\cd801 - southside hills\landscape\lbr\lsc\0511.lbr.dwg



MATCHLINE
REF: SHEET HS25, L25, IR25
REF: SHEET HS24, L24, IR24

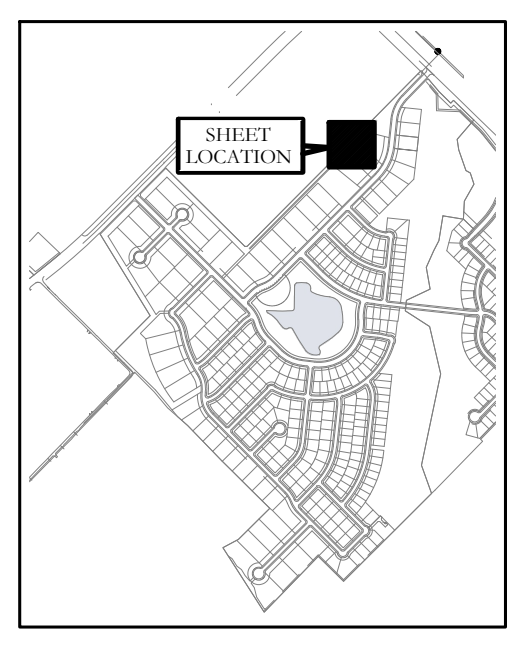
MATCHLINE
REF: SHEET HS24, L24, IR24
REF: SHEET HS22, L22, IR22

COMMON BERMU DA
SOLID SOD, TYP.

6'-0" HT. ORNAMENTAL METAL
FENCE BY BUILDER. REFER TO
DETAILS 2&3/HS30.

17
B

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
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		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMU DA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



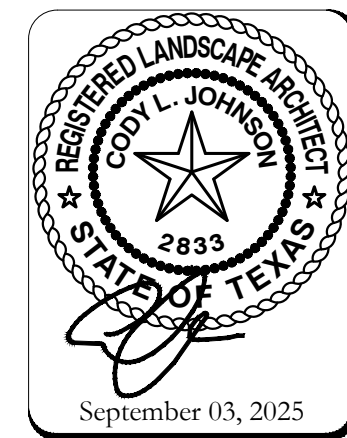
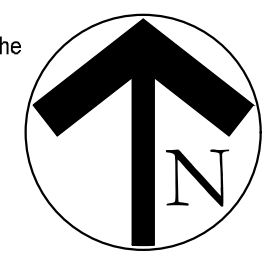
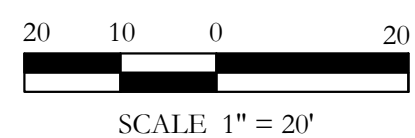
KEY MAP
NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

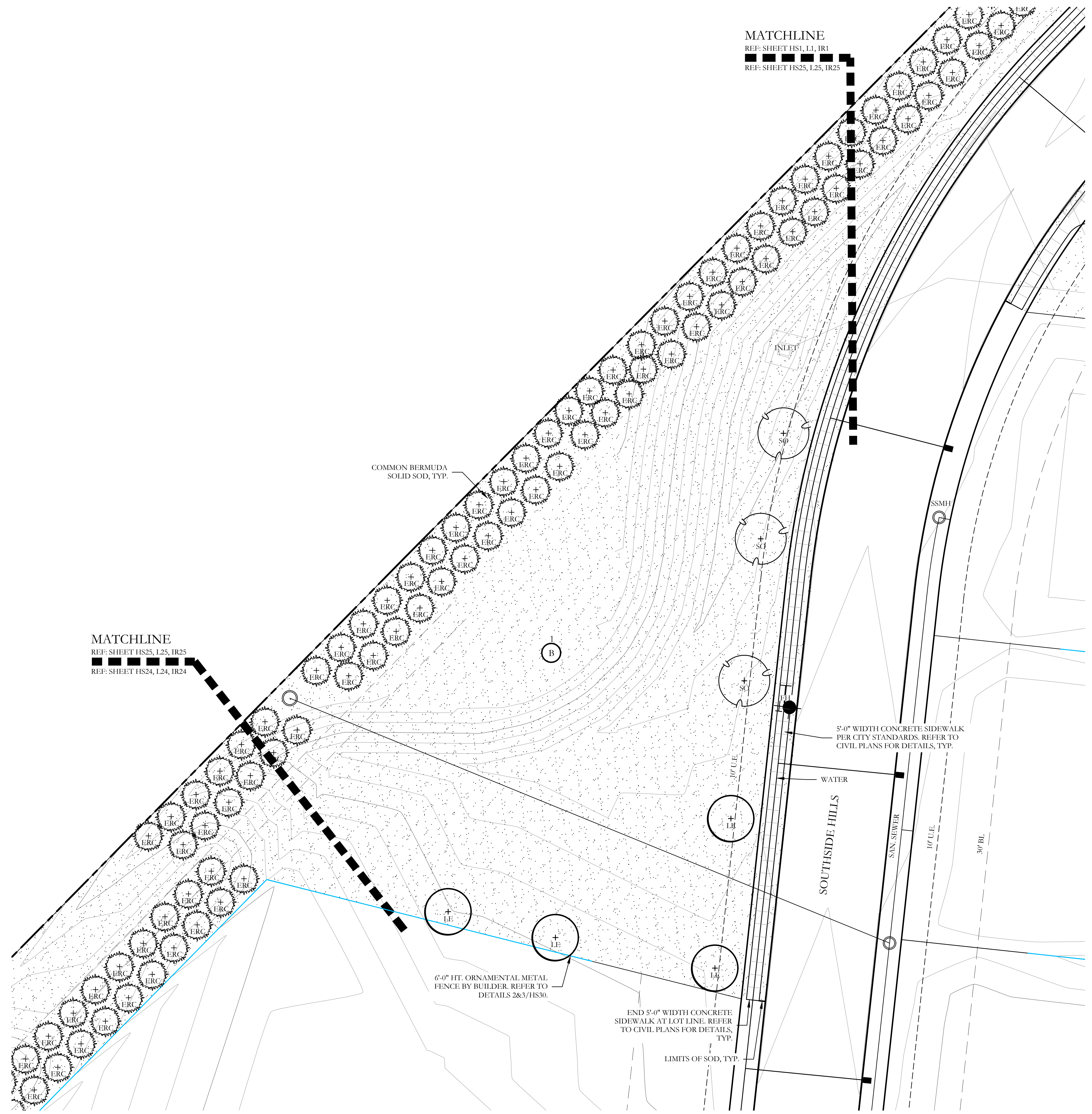
WITNESS OUR HANDS, this ____ day of ____

Planning & Zoning Commission, Chairman

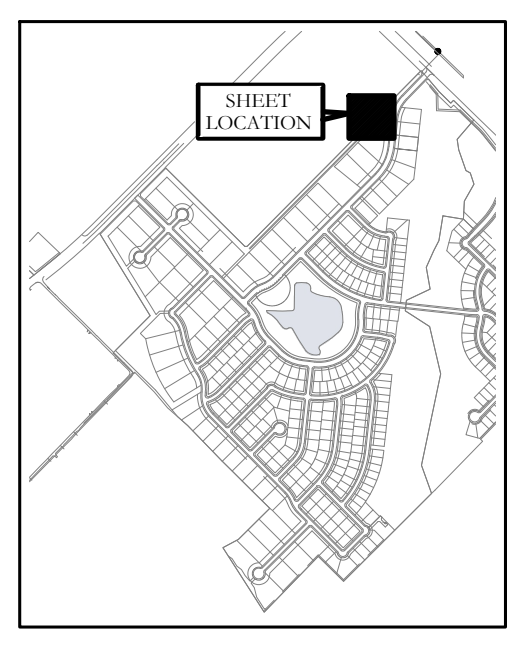
Director of Planning and Zoning



P:\2025\Projects\CDL - Conson Cranner Development\cdl01 - southside hills\landscape\lbrg\cdl01.landscape.dwg



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6-0" HT.	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA' PP	5 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2025.

WITNESS OUR HANDS, this ____ day of _____, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SCALE: 1" = 20'

One Inch

JVC No. CCD501

SCALE 1" = 20'

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SOUTHSIDE HILLS
 PHASE I
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
 LANDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
 JOY L. JOHNSON
 STATE OF TEXAS
 2833
 September 03, 2025

SCALE: 1" = 20'
 One Inch
 JVC No. CCD501

L25 of 28

CITY CASE NUMBER SP2025-036

LANDSCAPE PROVIDED

- FM 529
- A. MINIMUM TWENTY (30) FOOT LANDSCAPE BUFFER PROVIDED
 - B. 6' HT. WROUGHT IRON METAL SCREENING FENCE PROVIDED.
 - C. 3-4" CAL. CANOPY TREE / 100 LF OF LANDSCAPE EDGE
682 LF OF FRONTAGE / 100 LF*3 = 2046 - 4" CAL. TREES REQUIRED PROVIDED: 27 - 4" CALIPER CANOPY TREES PROVIDED
4-2" CAL. ACCENT TREE / 100 LF OF LANDSCAPE EDGE
682 LF OF FRONTAGE / 100 LF*4 = 2728 - 2" CAL. TREES REQUIRED PROVIDED: 33 - 2" CALIPER ACCENT TREES PROVIDED
 - D. SHRUBBERY SHALL HAVE A MINIMUM HEIGHT OF 30 INCHES AND A MAXIMUM HEIGHT OF 48 INCHES.
 - E. EACH RESIDENTIAL LOT MUST HAVE (2) TWO LOT 4" CALIPER CANOPY TREES.

APPROXIMATELY 39.5-ACRES OF EXISTING TREE CANOPY IS PROPOSED TO BE PRESERVED WITHIN THE DEVELOPMENT.

1,281 - 4" CALIPER TREES ARE PROPOSED TO BE PLANTED ON PRIVATE LOTS.

301 - 4" CALIPER TREES ARE PROPOSED TO BE PLANTED WITHIN THE PUBLIC PARK, PRIVATE AMENITY CENTER, AND HOA LOTS. THIS PLAN SET HAS 105 THE ADDITIONAL 196 WILL BE PLANTED AT THE PUBLIC PARK, AMENITY CENTER AND PHASE 2 HOA LOTS.

808 - 3" CALIPER EASTERN RED CEDARS ARE PROPOSED TO BE PLANTED WITHIN HOA LOTS. THIS PLAN SET HAS 792 THE ADDITIONAL 16 WILL BE PLANTED IN PHASE 2 HOA LOTS.

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	16	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	24	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	28	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	17	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	792	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6'-0" HT.	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 6'-0" OVERALL HEIGHT.
DW	16	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	10	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	17	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	68	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	6	AMERICAN AGAVE	AGAVE AMERICANA	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	87	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	109	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	90	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	55	BRAKE LIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERLA' PP	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	735	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	575	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	890	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	805	CREEPING ROSEMARY	SALVIA ROSMARINUS	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	620	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,065,470	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	320	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	400	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

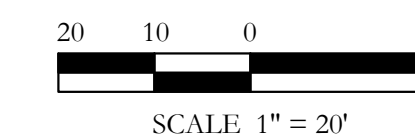
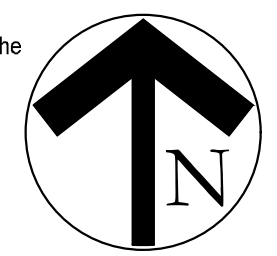
APPROVED:

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WITNESS OUR HANDS, this ___ day of _____

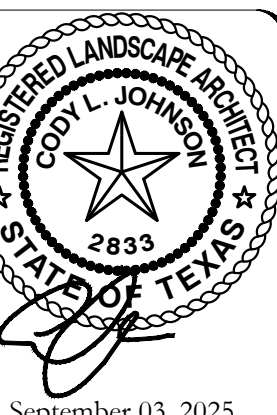
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SOUTHSIDE HILLS
PHASE I
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

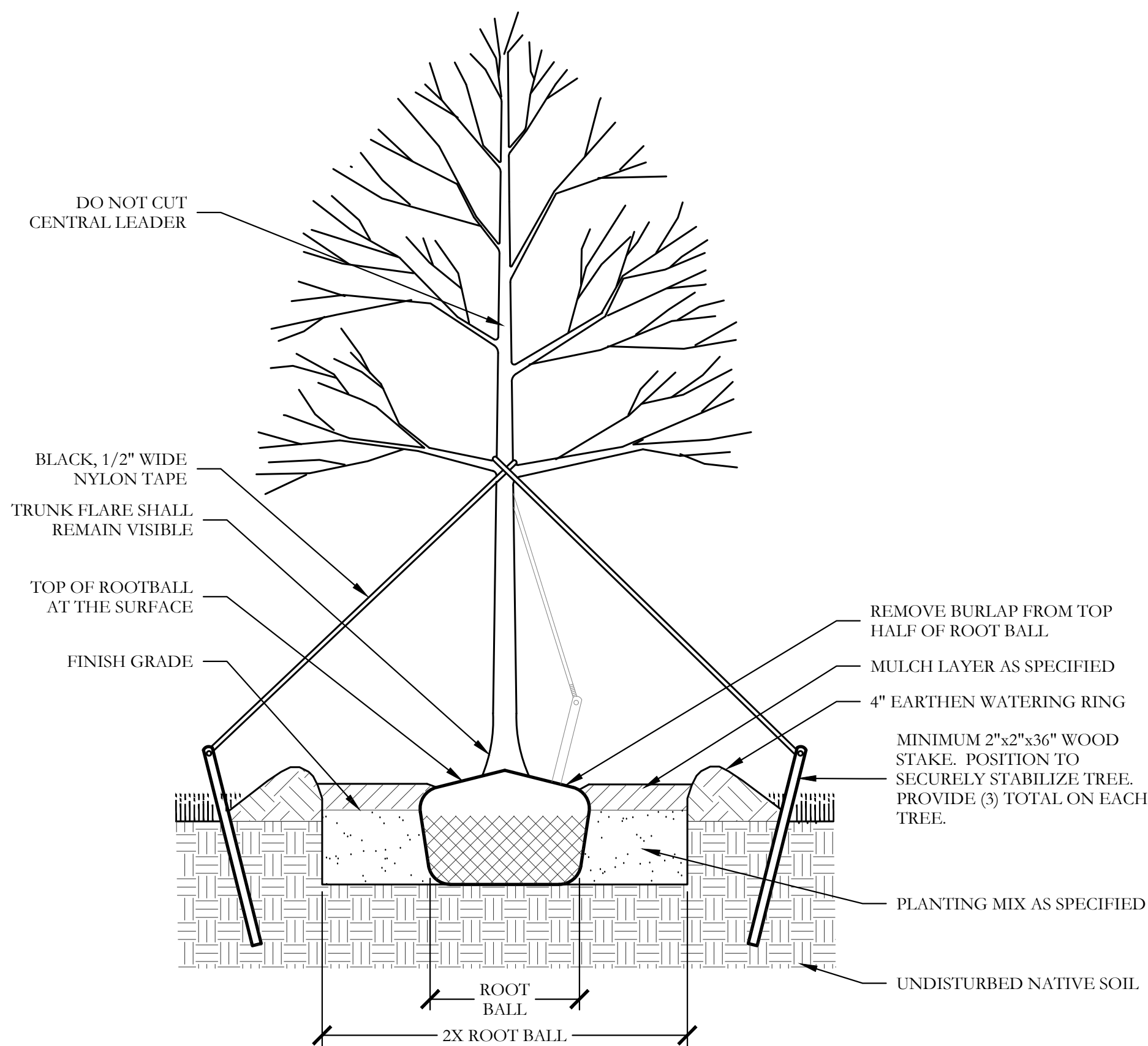
SCREENING AND BUFFERING
LANDSCAPE SCHEDULE & DETAILS



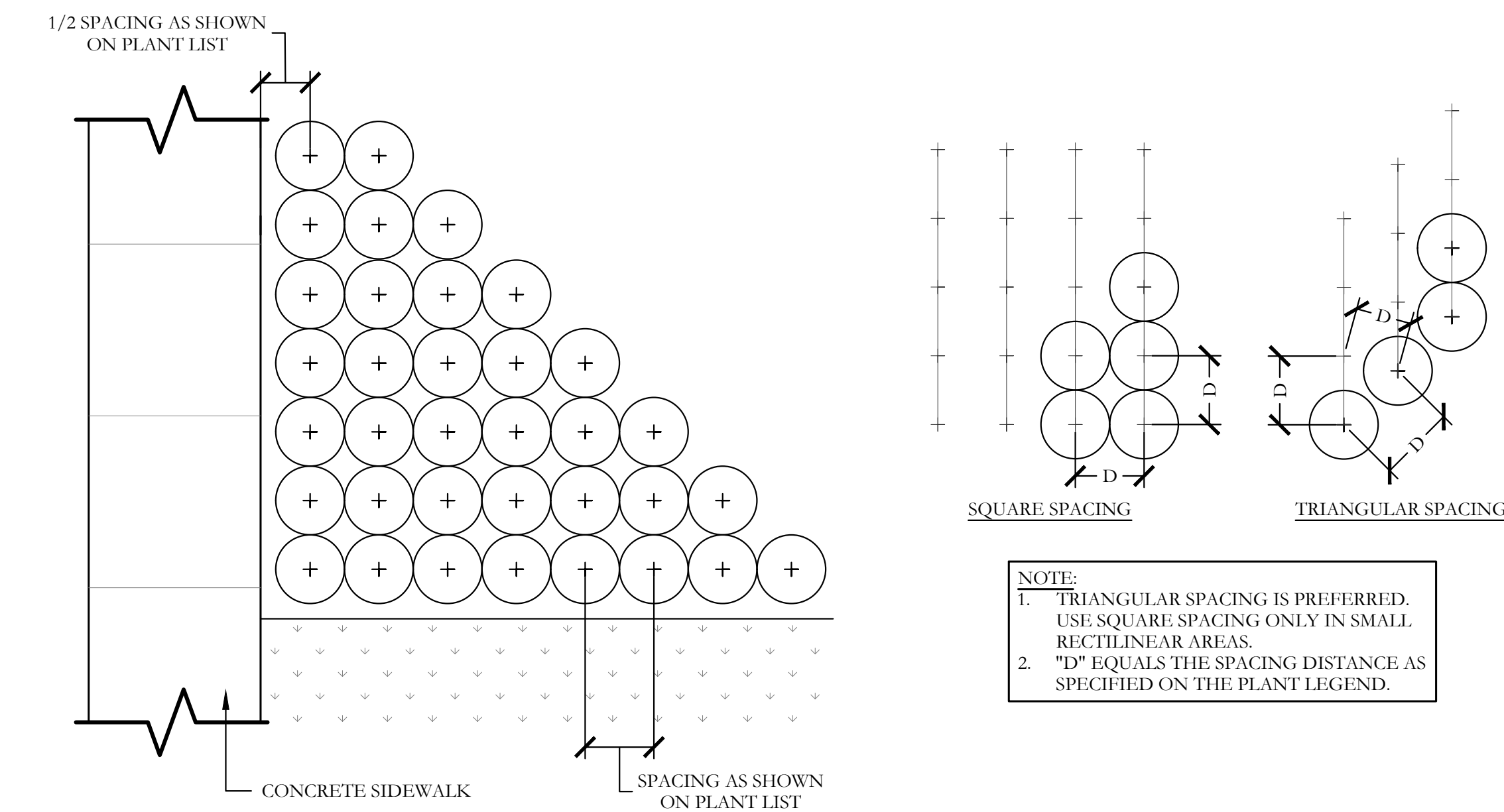
SCALE:
1" = 20'
One Inch
JVC No. CCD501

L26 of 28

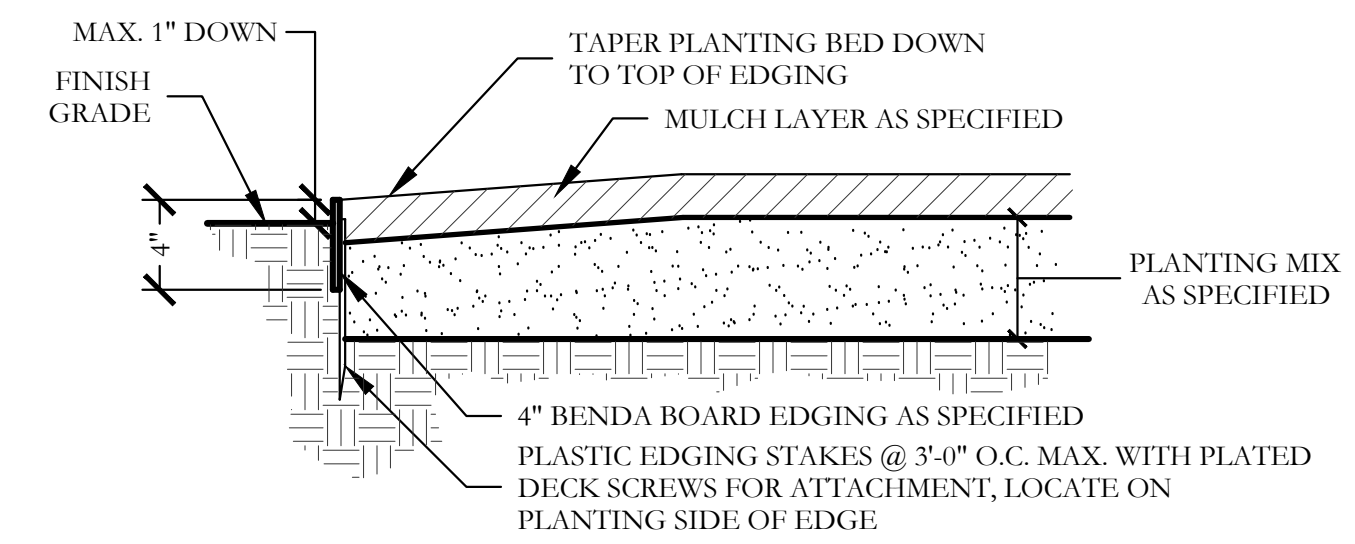
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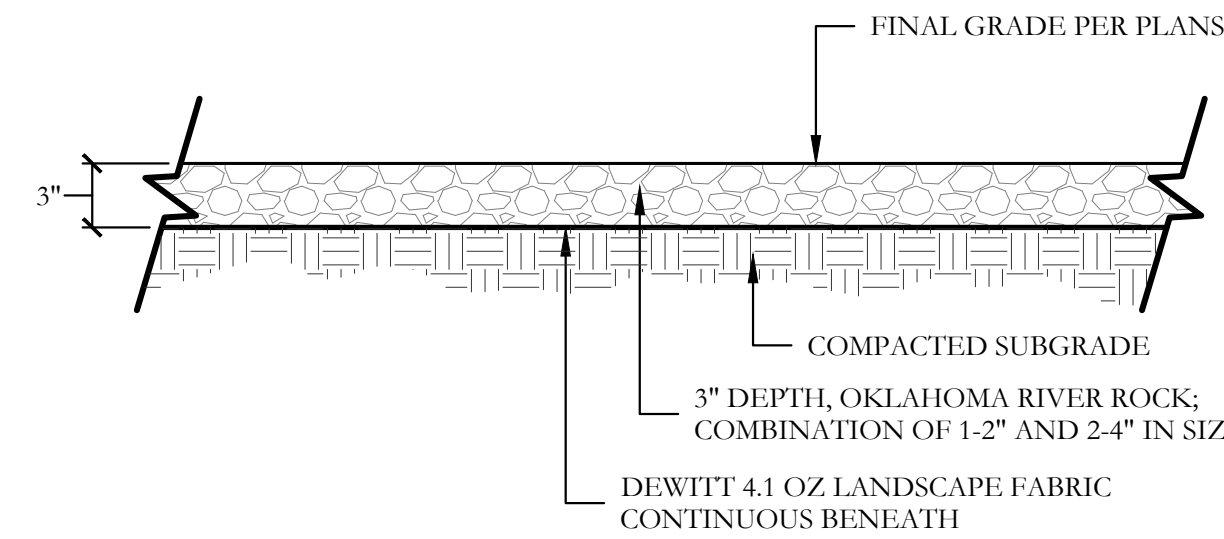
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



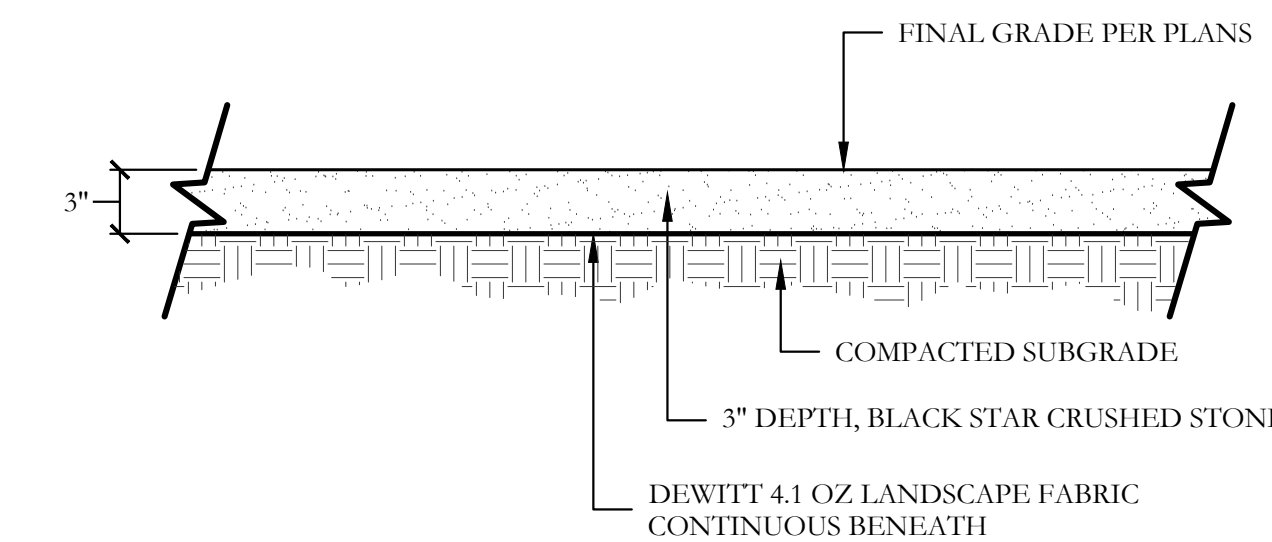
2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION



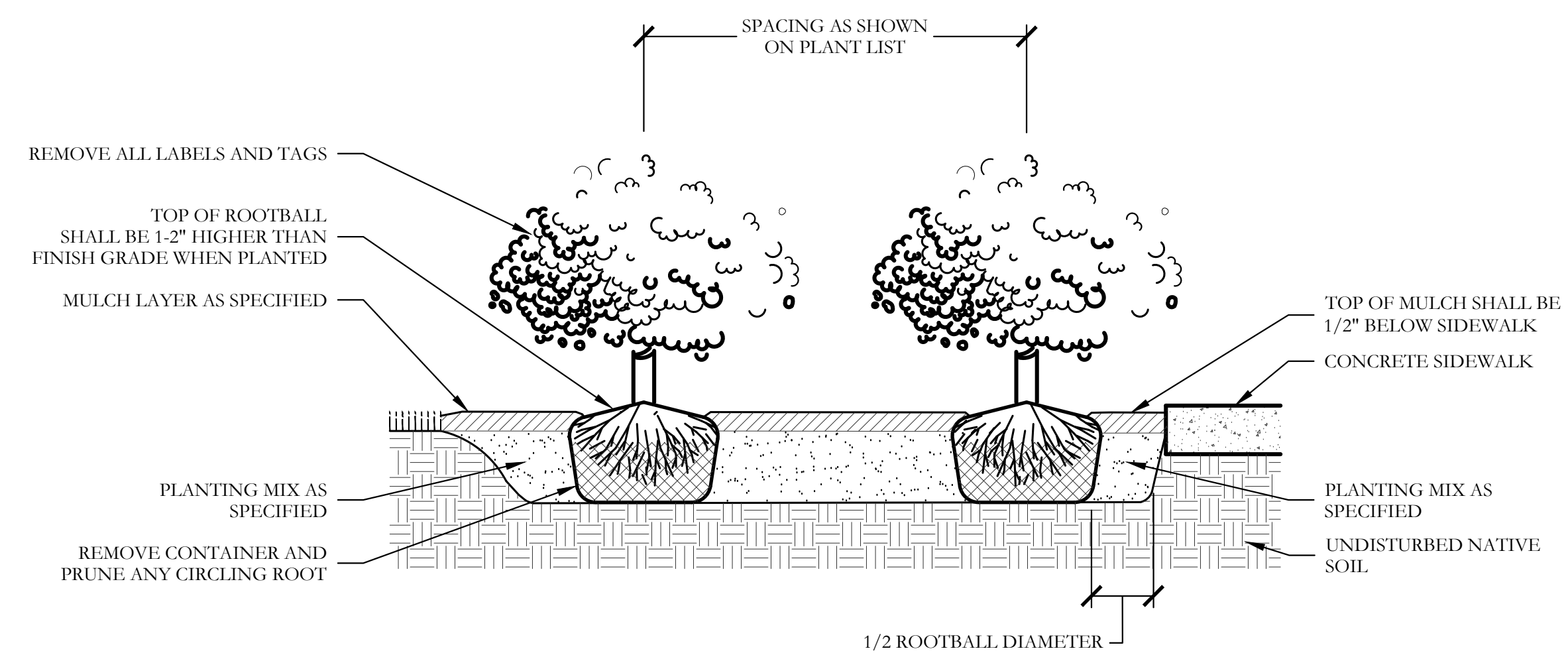
3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



4 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



5 BLACK STAR CRUSHED STONE SECTION SCALE: 1" = 1'-0"



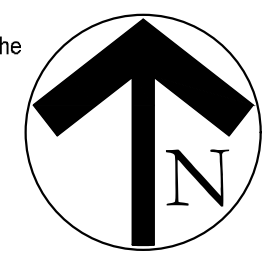
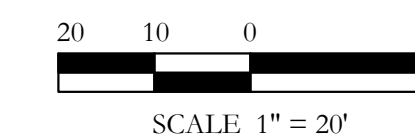
6 TYPICAL SHRUB AND GROUNDCOVER PLANTING SECTION NOT TO SCALE

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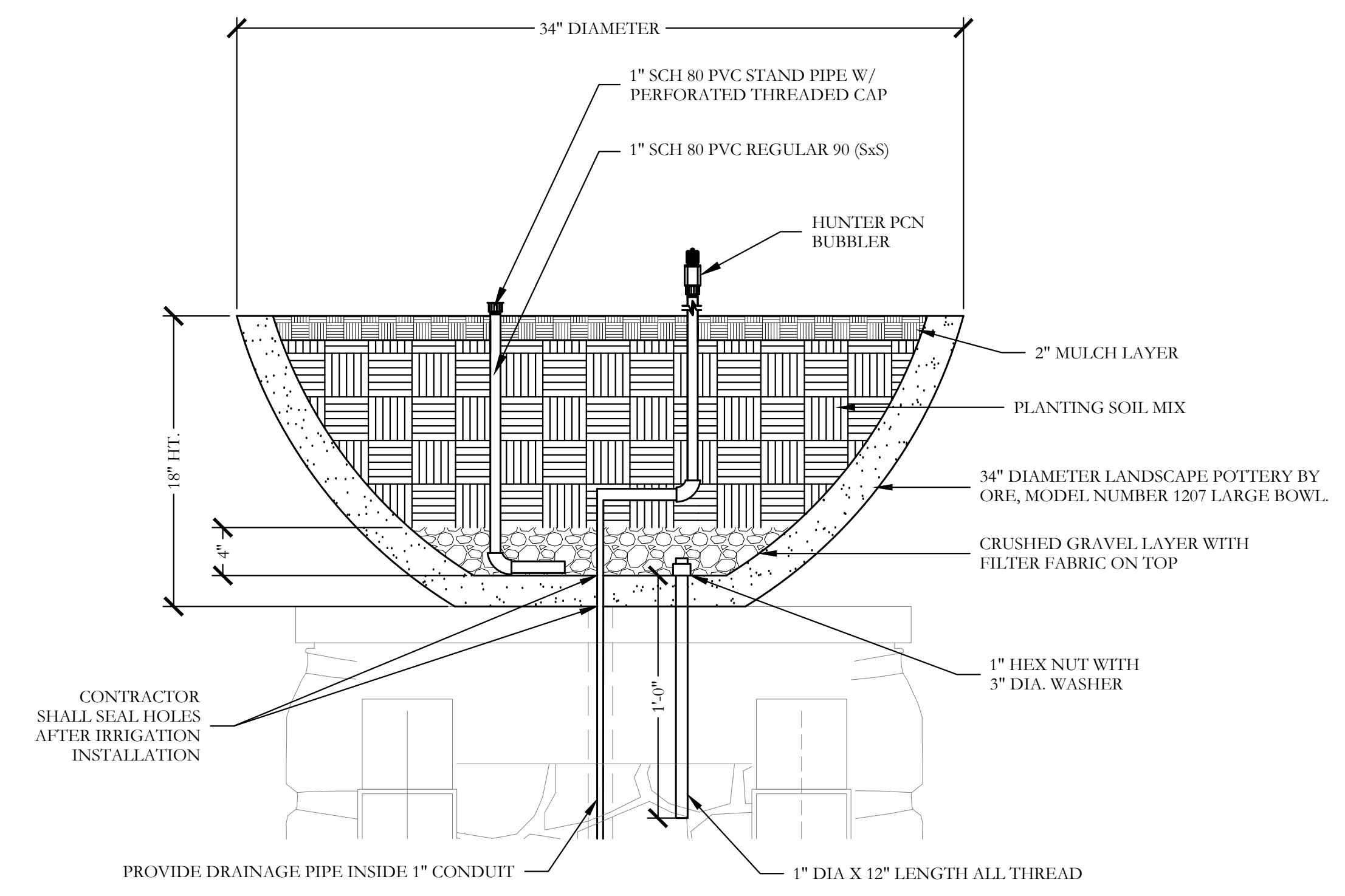
WITNESS OUR HANDS, this ___ day of _____, 2025.

Planning & Zoning Commission, Chairman

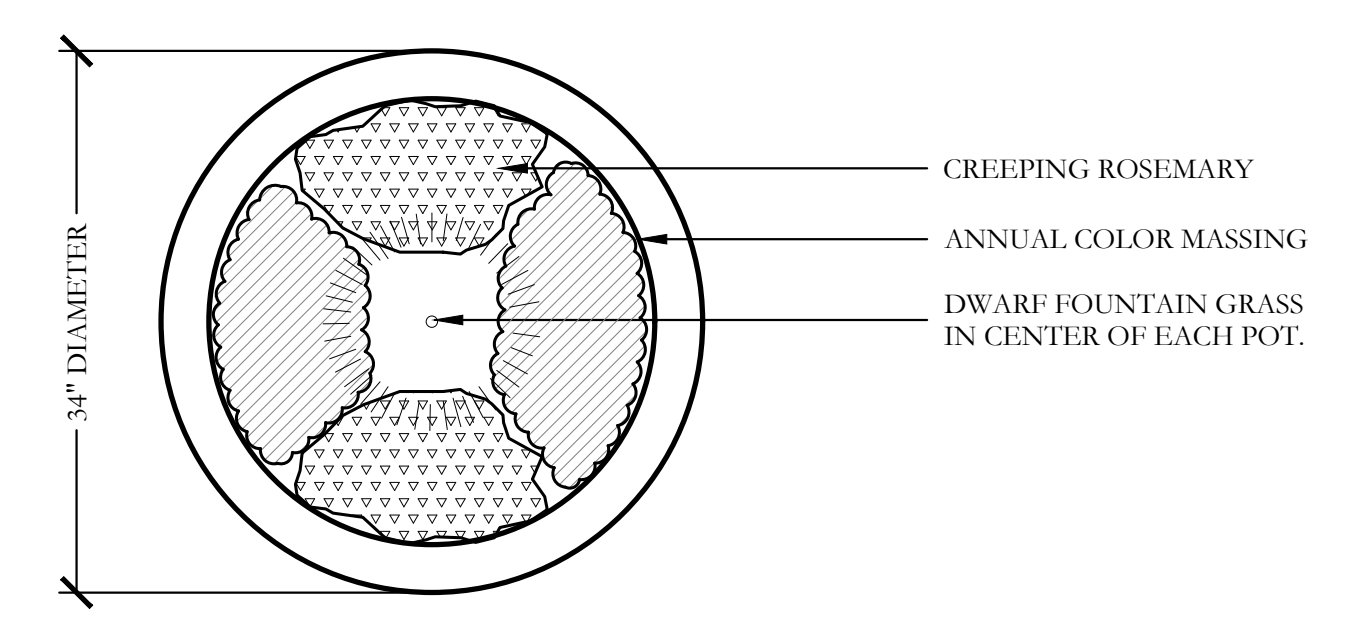
Director of Planning and Zoning



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1 TYPICAL LANDSCAPE POTTERY DETAIL ATOP COLUMN SECTION NOT TO SCALE



2 LANDSCAPE POTTERY PLANTING LAYOUT PLAN SCALE: 1" = 1'-0"

LANDSCAPE POTTERY PLANT LIST						
SYMBOL	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
	2	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	2 GALLON	CENTER OF POT	CONTAINER GROWN; FULL PLANT.
	24	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	8	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	12" O.C.	CONTAINER GROWN; FULL PLANT.
	2	34" DIAMETER LANDSCAPE POTTERY BY ORE, MODEL NUMBER 1207. FINISH OXIDIZED ZINC PATINA				

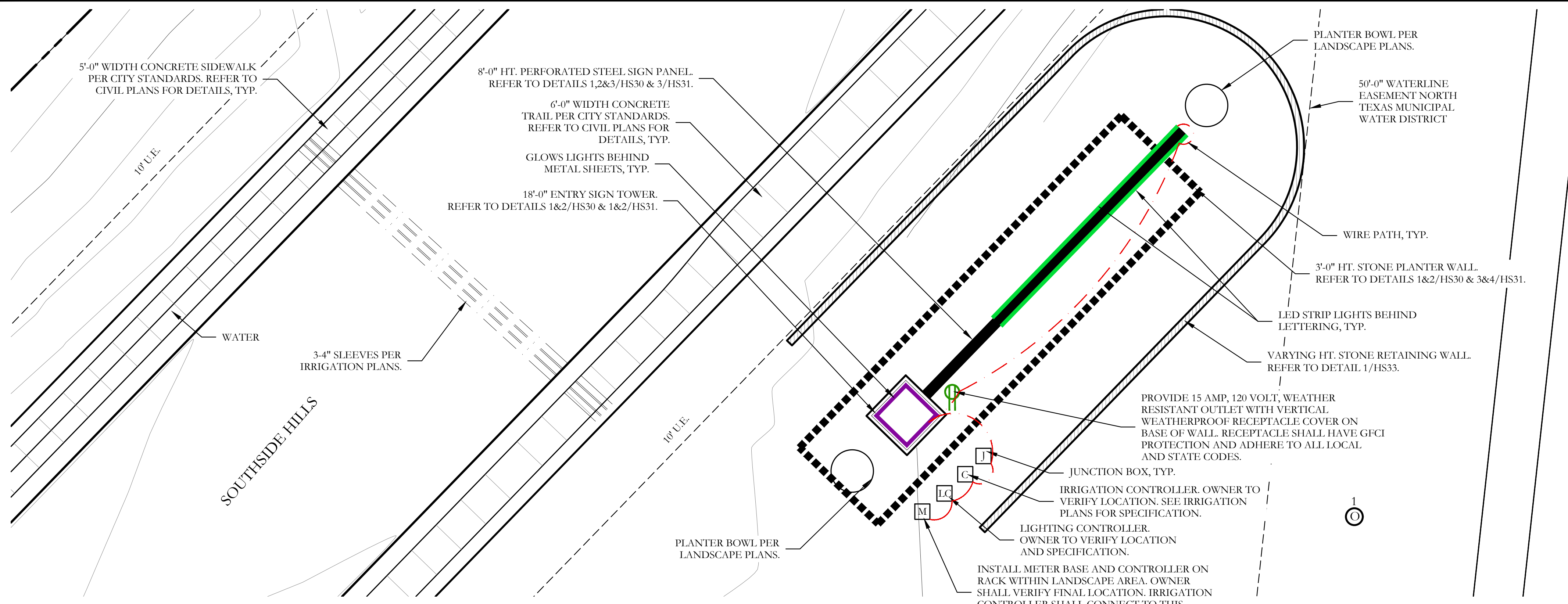
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WITNESS OUR HANDS, this ___ day of _____

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

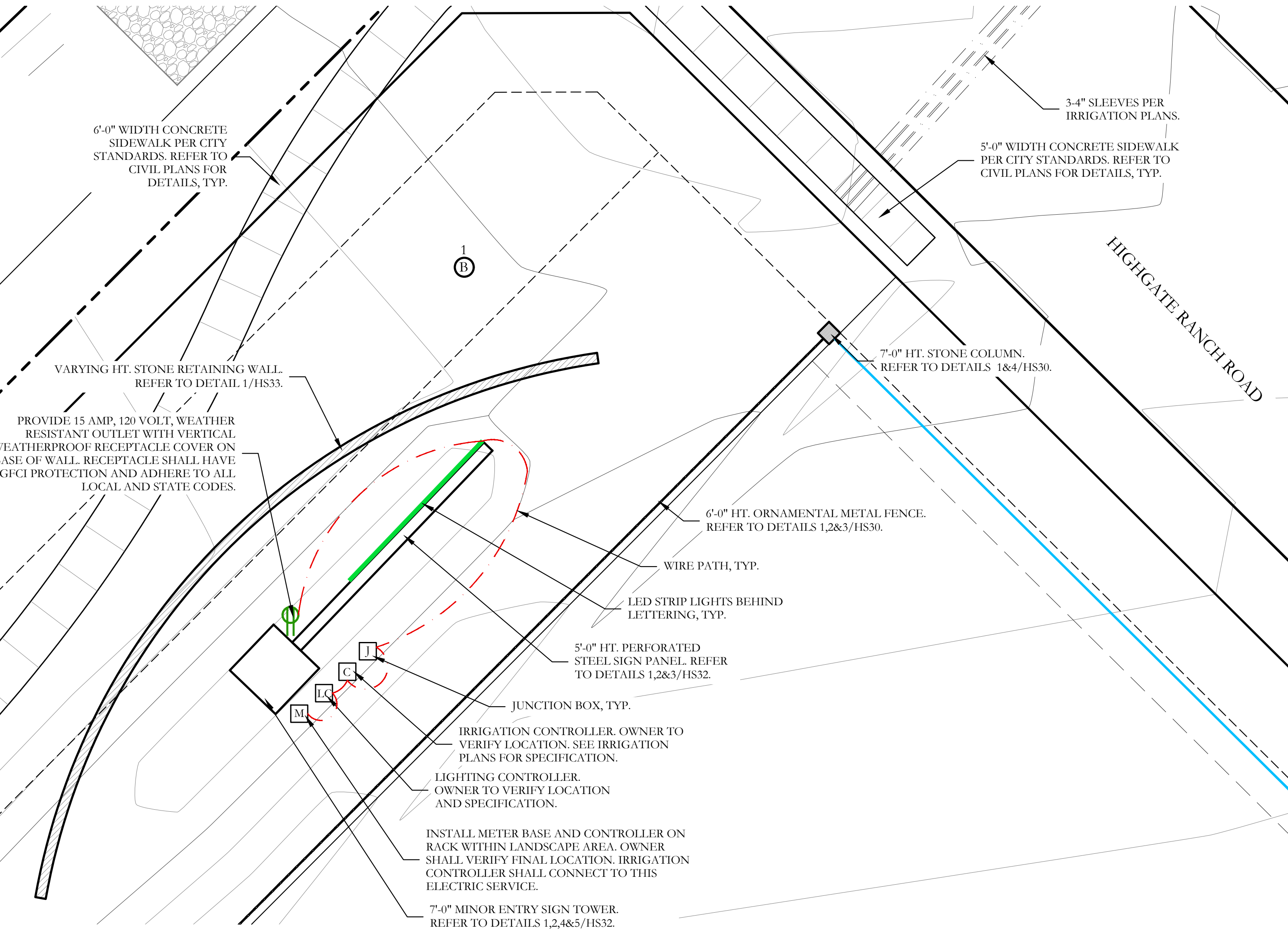
SCALE: 1" = 20'



1 MAIN ENTRY LIGHTING AT S.H. 205 AND SOUTHSIDE HILLS SCALE: 1"=10'-0"

LIGHTING LEGEND		
SYMBOL	ITEM	QTY
M	PROPOSED METER BASE	2
LC	LIGHTING CONTROLLER AS SELECTED BY OWNER	2
C	IRRIGATION CONTROLLER SEE IRRIGATION PLANS FOR DETAILS	2
J	JUNCTION BOX, AS NECESSARY	2
—	LED STRIP LIGHTS	3
—	GLOW LIGHTS	4
⏏	GFCI DUPLEX OUTLET WITH WEATHERPROOF COVER	2

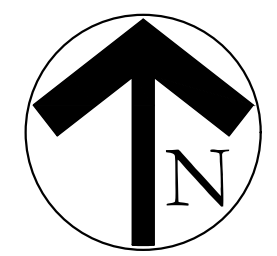
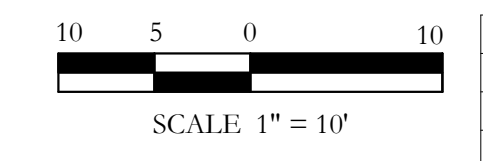
- COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. POUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
- COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
- LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER.
- LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
- COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
- THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS.
- THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE FIELD.
- REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION CONTRACTOR FOR ALL SLEEVE LOCATIONS.
- THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.








2 MAIN ENTRY MONUMENT B LIGHTING AT FM 549 AND HIGHGATE RANCH ROAD SCALE: 1"=10'-0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
 WITNESS OUR HANDS, this ___ day of _____.
 Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____



CALLOUTS LEGEND:

-  7'-0" STONE COLUMN BY DEVELOPER.
-  7'-0" STONE COLUMN BY BUILDER.
-  6'-0" HT. ORNAMENTAL METAL FENCE BY DEVELOPER WITH MASONRY COLUMNS ON EACH END.
-  6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER.
-  6'-0" HT. WOOD FENCE BY BUILDER.

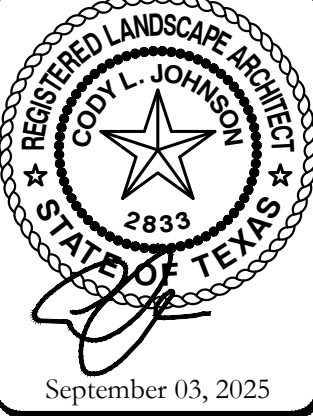
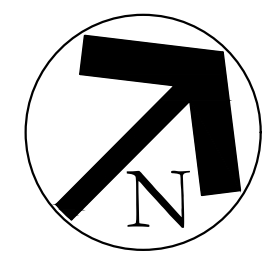
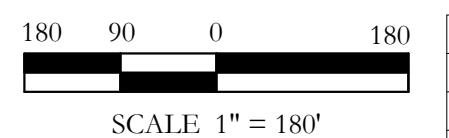
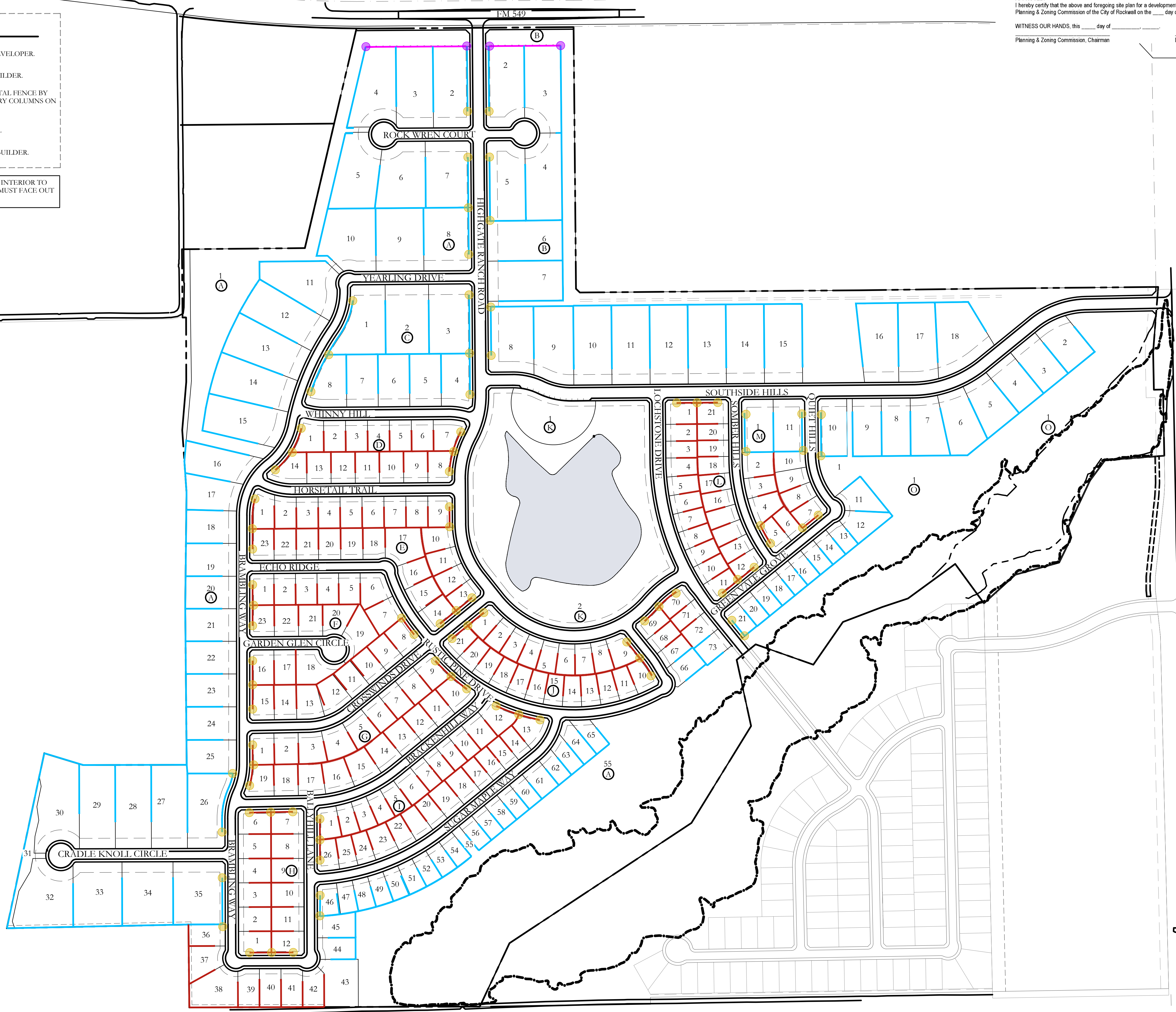
NOTE THAT ALL FENCE POSTS SHALL FACE INTERIOR TO THE LOT (I.E. PRIVATE SIDE) AND PICKETS MUST FACE OUT (I.E. PUBLIC SIDE).

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.

WITNESS OUR HANDS, this _____ day of _____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



P:\civil_3\projects\cedl - conson runner development\cedl01 - southside hills\landscape\dwg\cedl01_hdwg

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS16.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L16.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR16.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS15.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L15.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR15.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS14.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L14.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR14.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS13.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L13.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR13.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS20.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L20.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR20.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS12.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L12.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR12.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS11.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L11.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR11.

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FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS18.
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FOR IRRIGATION OF THIS AREA REFER TO SHEET IR19.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS21.
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FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS21.
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FOR LANDSCAPING OF THIS AREA REFER TO SHEET L22.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR22.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS23.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L23.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR23.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS1.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L1.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR1.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS2.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L2.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR2.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS3.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L3.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR3.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS4.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L4.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR4.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS5.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L5.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR5.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS6.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L6.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR6.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS7.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L7.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR7.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS8.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L8.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR8.

FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS9.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L9.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR9.

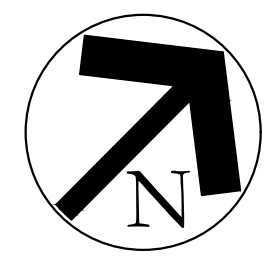
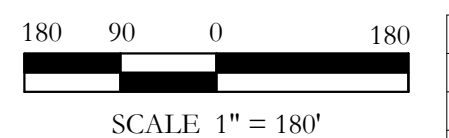
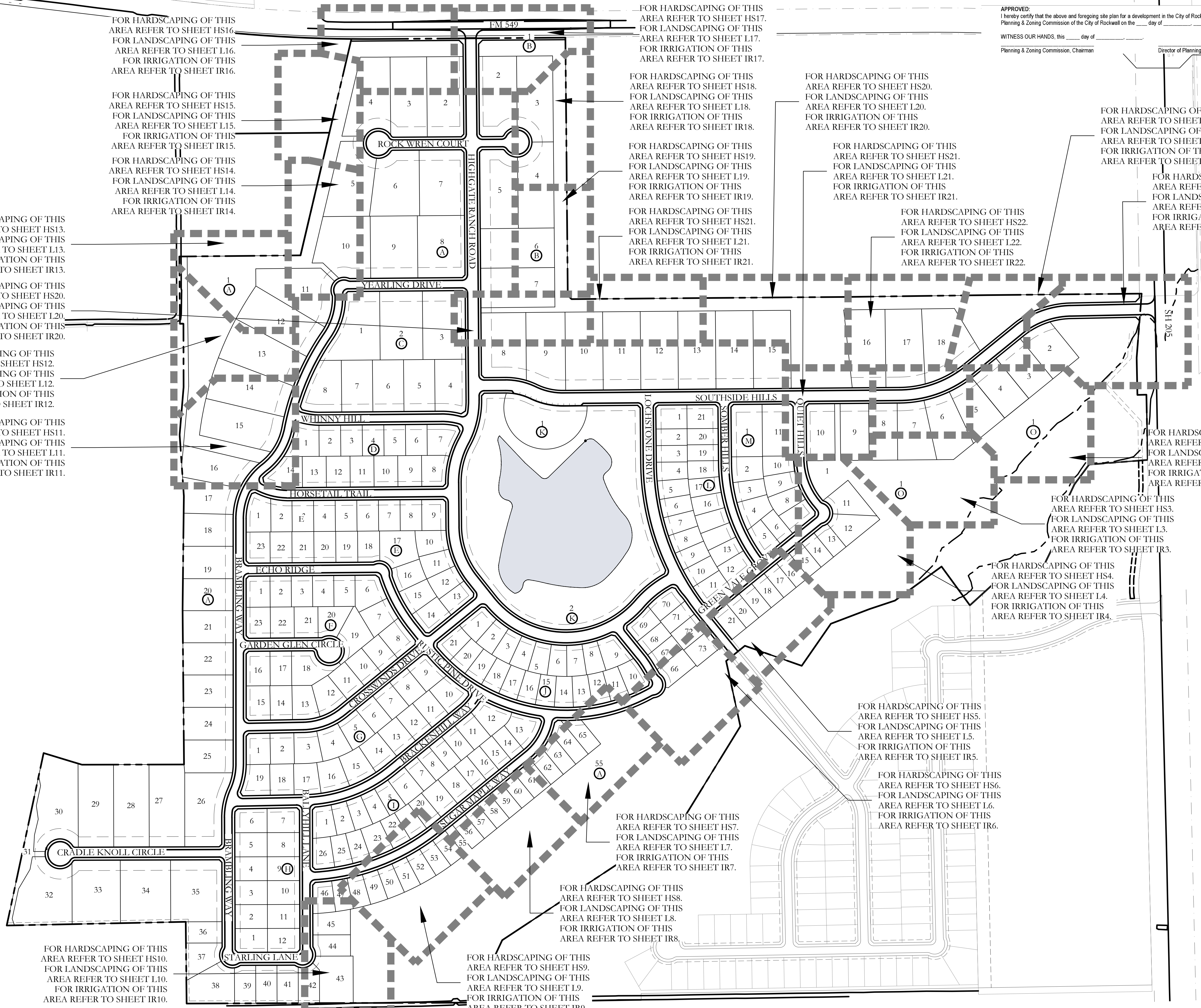
FOR HARDSCAPING OF THIS AREA REFER TO SHEET HS10.
FOR LANDSCAPING OF THIS AREA REFER TO SHEET L10.
FOR IRRIGATION OF THIS AREA REFER TO SHEET IR10.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.
WITNESS OUR HANDS, this _____ day of _____, 2025.

Director of Planning and Zoning

Planning & Zoning Commission, Chairman

Planet M projects.cad - c:\sonar\development\ced\01 - southside hills\landscape\lbrj\ced\011_hdwg





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 9, 20225

SUBJECT: Z2025-050; *Text Amendment to Article 11, Development Applications and Review Procedures, of the UDC to Address an Applicant's Failure to Appear at a Meeting*

Recently a number of cases have come before the Historic Preservation Advisory Board (HPAB), the Planning and Zoning Commission, and the City Council where the applicant of the case fails to attend the meeting. As the Planning and Zoning Commission is aware, this can make it difficult for the decision-making body to get the information needed to act on a case. To remedy this, the City Attorney is proposing to incorporate the following language into Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC):

Failure to Appear. Failure of the applicant to appear before the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) for any hearing without an approved delay from the Director of Planning and Zoning or his/her designee shall constitute sufficient grounds for the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) to deny the application.

In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- the Director is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 9, 2025.



SECTION 01 | GENERAL

SUBSECTION 01.01: PRE-APPLICATION MEETING

An applicant proposing to [1] establish a land use requiring a Specific Use Permit (SUP) on a property or properties, [2] the subdivision or assembly of property or properties, [3] the change in zoning classification of a property or properties, or [4] any other development related activity in the City of Rockwall is encouraged to request a Pre-Application Meeting with the Development Review Committee (DRC). Prior to a Pre-Application Meeting, the applicant should submit a Pre-Application Meeting Request form and provide a concept plan showing the proposed development activities in as much detail as possible. Based on the information provided by the applicant, the DRC will provide initial comments concerning the merits of the proposed development and inform the applicant of any additional requirements that will need to be addressed in the preparation of a development application.

SUBSECTION 01.02: SUBMISSION OF AN APPLICATION

- (A) Authority to Submit an Application. Unless otherwise stated in this Article, the following shall apply when submitting an application for a request:
- (1) Development Application. All zoning, site plan, platting, and miscellaneous cases shall be initiated by the owner of the affected property or his/her authorized representative who files a Development Application and pays the appropriate fee.
 - (2) Historic Preservation Advisory Board Application. All Certificate of Appropriateness (COA), small matching grant, and building permit fee waiver requests shall be initiated by the owner of the affected property or his/her authorized representative who files a Historic Preservation Advisory Board Application.
 - (3) Board of Adjustments Application. All variance and special exceptions to be considered by the Board of Adjustments (BOA) shall be initiated by the owner of the affected property or his authorized representative or any aggrieved party who files the required application and pays the appropriate fee, or by any person aggrieved by the decision of an administrative officer with authority over any matter that can be appealed to the Board of Adjustments (BOA) per [Subsection 04.03, Jurisdiction, of Article 02, Development Review Authority](#), by an officer of the City, or appropriate board/commission of the City.
- (B) Ownership. In the event that the ownership stated on an application is different than the ownership shown on the City's Certified Tax Roll, the Director of Planning and Zoning may require additional written proof of ownership be provided with an application.
- (C) Submission Development Application. All application requests to be considered by the Historic Preservation Advisory Board (HPAB), Board of Adjustments (BOA), Planning and Zoning Commission and/or the City Council, shall be initiated by filing an application with the Director of Planning and Zoning or his/her designee. All applications shall be required to be submitted on the official submittal date. Applications received on a date other than an official submittal date shall not be accepted and shall be returned to the applicant.

- (D) Completed Application. To ensure the submission of adequate information, the Director of Planning and Zoning is hereby empowered to maintain and distribute a list of specific submittal requirements that constitutes a completed application. Any application that does not provide all items required by the Director of Planning and Zoning shall be considered to be incomplete, and shall not be accepted by the City. These requirements may be modified by the Director of Planning and Zoning as deemed necessary.
- (E) Plans and Exhibits. All plans, surveys, plats, and/or other exhibits submitted as part of any application shall be prepared by a registered architect, engineer, landscape architect, surveyor, planner, or other design professional.

SUBSECTION 01.03: APPLICATION WITHDRAWAL

Any request for the withdrawal of an application must be submitted in writing to the Director of Planning and Zoning or his/her designee. If an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body. In all requests for withdraw, application fees will not be refunded except in cases where the Director of Planning and Zoning determines that an application was [1] submitted in error, or [2] the fee paid exceeds the amount due under the provisions of [Section 10, Fee Schedule](#). In cases where the fee paid exceeds the amount due, only the amount of the overpayment may be refunded.

SUBSECTION 01.04: DENIAL OF AN APPLICATION

- (A) Denial with Prejudice. Unless otherwise stated in this Article, if an application for site plan, plat, miscellaneous case, Certificate of Appropriateness (COA), small matching grant, or building permit fee waiver is denied with prejudice by the Historic Preservation Advisory Board (HPAB), Planning and Zoning Commission, or City Council, a new application for the same request may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is deemed to be more restrictive or less intense than the previously denied request. A failure to indicate that a denial is with or without prejudice, in making a motion to deny, shall be consider a denial with prejudice.
- (B) Administrative Denial. Alternatively, should an applicant fail to address staff's comments before the resubmittal deadline prior to the Planning and Zoning Commission meeting, the application shall be considered to be admiratively denied. If an application is denied in this manner it shall be considered to be denied without prejudice, and there shall be no restrictions on when a new application can be resubmitted; however, new applications will be required to be submitted in accordance with the City's procedures for submitting development applications.
- (C) Failure to Appear. Failure of the applicant to appear before the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) for any hearing without an approved delay from the Director of Planning and Zoning or his/her designee shall constitute sufficient grounds for the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) to deny the application.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 11, DEVELOPMENT REVIEW PROCEDURES, AS DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall, Texas adopted the Unified Development Code [Ordinance No. 20-02] on February 3, 2020 and the Unified Development Code (UDC) has been amended over the years to improve efficiency and ensure the safe, orderly and efficient development and expansion of the City of Rockwall in accordance with and pursuant to its Comprehensive Plan, Master Thoroughfare Plan, and Master Trail Plan; and,

WHEREAS, the City Council has determined that applicants of development cases that are scheduled to appear before the Planning and Zoning Commission, the Historic Preservation Advisory Board, the Board of Adjustment or the City Council that fail to attend the scheduled meeting/hearing where their application is being considered, be denied their application unless good cause is shown for their failure to appear;

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. FINDINGS OF FACT. The foregoing recitals are hereby found to be true and correct and are hereby adopted by the City Council and made a part hereof for all purposes as findings of fact.

SECTION 2. AMENDMENT. That Article 11, *Development Applications and Review Procedures*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'S'* of this ordinance;

SECTION 3. PENALTY OF FINE. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. REMAINING PROVISIONS UNCHANGED. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 20-02], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. EFFECTIVE DATE. That this ordinance shall take effect immediately from and after its passage.

SECTION 6. OPEN MEETINGS. It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF OCTOBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'

Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)



SECTION 01 | GENERAL

SUBSECTION 01.01: PRE-APPLICATION MEETING

An applicant proposing to [1] establish a land use requiring a Specific Use Permit (SUP) on a property or properties, [2] the subdivision or assembly of property or properties, [3] the change in zoning classification of a property or properties, or [4] any other development related activity in the City of Rockwall is encouraged to request a Pre-Application Meeting with the Development Review Committee (DRC). Prior to a Pre-Application Meeting, the applicant should submit a Pre-Application Meeting Request form and provide a concept plan showing the proposed development activities in as much detail as possible. Based on the information provided by the applicant, the DRC will provide initial comments concerning the merits of the proposed development and inform the applicant of any additional requirements that will need to be addressed in the preparation of a development application.

SUBSECTION 01.02: SUBMISSION OF AN APPLICATION

- (A) Authority to Submit an Application. Unless otherwise stated in this Article, the following shall apply when submitting an application for a request:
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 - (3) Board of Adjustments Application. All variance and special exceptions to be considered by the Board of Adjustments (BOA) shall be initiated by the owner of the affected property or his authorized representative or any aggrieved party who files the required application and pays the appropriate fee, or by any person aggrieved by the decision of an administrative officer with authority over any matter that can be appealed to the Board of Adjustments (BOA) per [Subsection 04.03, Jurisdiction, of Article 02, Development Review Authority](#), by an officer of the City, or appropriate board/commission of the City.
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- (D) Completed Application. To ensure the submission of adequate information, the Director of Planning and Zoning is hereby empowered to maintain and distribute a list of specific submittal requirements that constitutes a completed application. Any application that does not provide all items required by the Director of Planning and Zoning shall be considered to be incomplete, and shall not be accepted by the City. These requirements may be modified by the Director of Planning and Zoning as deemed necessary.
- (E) Plans and Exhibits. All plans, surveys, plats, and/or other exhibits submitted as part of any application shall be prepared by a registered architect, engineer, landscape architect, surveyor, planner, or other design professional.

SUBSECTION 01.03: APPLICATION WITHDRAWAL

Any request for the withdrawal of an application must be submitted in writing to the Director of Planning and Zoning or his/her designee. If an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body. In all requests for withdraw, application fees will not be refunded except in cases where the Director of Planning and Zoning determines that an application was [1] submitted in error, or [2] the fee paid exceeds the amount due under the provisions of [Section 10, Fee Schedule](#). In cases where the fee paid exceeds the amount due, only the amount of the overpayment may be refunded.

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- (C) Failure to Appear. Failure of the applicant to appear before the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) for any hearing without an approved delay from the Director of Planning and Zoning or his/her designee shall constitute sufficient grounds for the City Council, Planning and Zoning Commission, Historic Preservation Advisory Board (HPAB), or Board of Adjustments (BOA) to deny the application.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 9, 2025

SUBJECT: Z2025-051; *Text Amendment to Article 12, Enforcement, of the UDC to Address the Expiration of Building Permits*

Under the requirements of the International Building Code (IBC) a building permit is valid for a period of six (6) months or 180 days. The following sections of the IBC cover outline this expiration period, the validity of a building permit, and when a permit can be suspended or revoked:

Section 105, *Permits*

105.4(A) Validity of Permit.

The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or of any other ordinance of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the building official from requiring the correction of errors in the construction documents and other data. The building official is authorized to prevent occupancy or use of a structure where in violation of this code or of any other ordinances of this jurisdiction.

105.5(A) Expiration.

Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The building official is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

105.6(A) Suspension or Revocation.

The building official is authorized to suspend or revoke a permit issued under the provisions of this code wherever the permit is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.

Based on these sections, a building permit remains active as long as any work is being done towards the completion of the permit. The issue with this is that a property owner can effectively have an open building permit indefinitely as long as some action is taken within the 180-day period, which effectively restarts the clock on the expiration of the permit. This has recently been an issue with a number of projects throughout the City. On these projects, a minimal amount of work has taken place towards the completion of the project and the adjacent property owners have been forced to live next to an active construction site for -- *in some cases* -- a period of over a year. To remedy this, the City Attorney is proposing to incorporate the following language into Article 12, *Enforcement*, of the Unified Development Code (UDC):

Building Permit Expiration. The purpose of this section is to provide an expiration date for building permits that are approved by the City of Rockwall.

- (1) *Building Permits Issued After October 6, 2025.* Any building permit issued by the City of Rockwall on or after October 6, 2025, shall expire in six (6) months from October 6, 2025, if at the time of issuance, the permit did not have an expiration date and no progress has been made towards the completion of the project as determined by the Chief Building Official.

- (2) Building Permits Issued Before October 6, 2025. Not with standing any other provision of this Article, any building permit issued on or before October 6, 2025, shall expire in two (2) years from October 6, 2025, if at the time of issuance, the permit did not have an expiration date and the building is not substantially complete as determined by the Chief Building Official.
- (3) Extension of a Building Permit. Any extension of a building permit must be requested in writing prior to the expiration date of the building permit, and such request must be accompanied by evidence that substantial progress has been made towards completion of the project. The Chief Building Official shall have sole discretion as to any extension of a building permit.
- (4) Appeal of an Extension Request. If the Chief Building Official denies an extension, the applicant of the extension request shall have ten (10) days to file an appeal with the Board of Adjustments (BOA) on the grounds of an Appeal of an Administrative Decision as defined in Subsection 04.03(A)(1) of Article 02, Development Review Authority, of this Unified Development Code (UDC).

Under this language, the Chief Building Official would have the ability to expire a building permit if substantial work is not completed within six (6) months after the issuance of a building permit that was issued after the adoption of this text amendment and two (2) years for any incomplete permit that was issued prior to the adoption of this text amendment. Staff anticipates this section will only be utilized in extreme cases; however, with some of the issues that the Building Inspections Department has recently been dealing with, this language could be a useful tool to incentivize certain property owners to complete the work covered under a building permit.

In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- the Director is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 9, 2025.



SECTION 01 | PENALTIES

SUBSECTION 01.01: COMPLIANCE AND FINES

Any person who violates or fails to comply with the requirements of the Unified Development Code (UDC) or who builds or alters any building in violation of any plan or statement submitted and approved hereunder, shall be guilty of a misdemeanor and shall be liable to a fine of not more than \$2,000.00. Each day such violation shall be permitted to exist shall constitute a separate offense. The owner of any building or premises or part thereof, where anything in violation of the Unified Development Code (UDC) shall be placed or shall exist shall be guilty of a separate offense and upon conviction thereof shall be fined as herein provided.

SUBSECTION 01.02: OTHER ACTIONS

Nothing herein contained shall prevent the City from taking such other lawful action as is necessary to prevent or remedy any violation.

SECTION 02 | STOP WORK ORDER

SUBSECTION 02.01: STOP WORK ORDER

When the City determines that there has been non-compliance with any material term, condition or requirement of the Unified Development Code (UDC), the City may order any person having a proprietary interest in the property or any person engaged in the development or construction on the property to cease and desist from engaging in any further development or construction activities on the site. The *Stop Work Order* shall be in writing and shall be posted on the site. The order shall specifically state the nature of the non-compliance and the acts prohibited.

The City may bring suit in a court of competent jurisdiction to restrain and enjoin any person attempting or allowing development or construction without a permit or other authorization or who fails to cease and desist from further development or construction after notice of a stop work order has been posted in accordance with this Article.

When the City determines that there has been non-compliance with the Unified Development Code (UDC) which constitutes a health or safety hazard, a stop work order shall be issued and shall remain in effect until there has been compliance with the Unified Development Code (UDC). This Article shall not override the county health director or designee's ability to suspend, or reinstate food or child care permits in conformance with state and federal laws.

SUBSECTION 02.02: APPEAL PROCESS

Appeal of a *Stop Work Order*, suspension or revocation may be made to the City Council or the appropriate board or commission, by any person aggrieved, by giving written notice no later than three (3) days after the stop work order is posted, or notice of the suspension or revocation is received. The notice shall state:

- (A) The name and address of the person making the appeal;
- (B) The facts surrounding of particular appeal;
- (C) The nature of the *Stop Work Order*, suspension or revocation; and
- (D) The reasons why the ruling should be set aside.

The City Council or appropriate board or commission shall hear the appeal at its next regularly scheduled meeting following receipt of the

notice of appeal provided that the appeal is received at least three working days prior to that meeting. The City Council or appropriate board or commission shall either affirm or reverse the decision appealed no later than seven (7) days after the close of the hearing.

An appeal brought under this section shall not stay the *Stop Work Order*, suspension or revocation.

SECTION 03 | OCCUPANCY, BUILDING, AND USE PERMITS

SUBSECTION 03.01: BUILDING PERMITS REQUIRED

- (A) ***Building Permit Required.*** No building or other structure shall be erected, moved, added to, or structurally altered without a permit issued by the Chief Building Official, as required by [Chapter 10, Building and Building Regulations, of the Municipal Code of Ordinances](#). A building permit shall not be issued except in conformity with the provisions of the Unified Development Code (UDC), unless otherwise authorized by the Board of Adjustment (BOA) in the form of a variance as provided by the Unified Development Code (UDC).
- (B) ***Building Permit Expiration.*** The purpose of this section is to provide an expiration date for building permits that are approved by the City of Rockwall.
 - (1) ***Building Permits Issued After October 6, 2025.*** Any building permit issued by the City of Rockwall on or after *October 6, 2025*, shall expire in six (6) months from *October 6, 2025*, if at the time of issuance, the permit did not have an expiration date and no progress has been made towards the completion of the project as determined by the Chief Building Official.
 - (2) ***Building Permits Issued Before October 6, 2025.*** Not with standing any other provision of this *Article*, any building permit issued on or before *October 6, 2025*, shall expire in two (2) years from *October 6, 2025*, if at the time of issuance, the permit did not have an expiration date and the building is not substantially complete as determined by the Chief Building Official.
 - (3) ***Extension of a Building Permit.*** Any extension of a building permit must be requested in writing prior to the expiration date of the building permit, and such request must be accompanied by evidence that substantial progress has been made towards completion of the project. The Chief Building Official shall have sole discretion as to any extension of a building permit.
 - (4) ***Appeal of an Extension Request.*** If the Chief Building Official denies an extension, the applicant of the extension request shall have ten (10) days to file an appeal with the Board of Adjustments (BOA) on the grounds of an *Appeal of an Administrative Decision* as defined in Subsection 04.03(A)(1) of Article 02, *Development Review Authority*, of this Unified Development Code (UDC).

SUBSECTION 03.02: CERTIFICATES OF OCCUPANCY FOR NEW, ALTERED, OR NON-CONFORMING USES

- (A) It shall be unlawful to use, occupy, or permit the use or occupancy of any building or premises or both, or part thereof, hereafter created, erected, changed, converted or altered or enlarged in its

CITY OF ROCKWALL

ORDINANCE NO. ~~25-XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 12, ENFORCEMENT, AS DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall, Texas adopted the Unified Development Code [Ordinance No. 20-02] on February 3, 2020 and the Unified Development Code (UDC) has been amended over the years to improve efficiency and ensure the safe, orderly and efficient development and expansion of the City of Rockwall in accordance with and pursuant to its Comprehensive Plan, Master Thoroughfare Plan, and Master Trail Plan; and,

WHEREAS, the City Council has determined that there is a need to strengthen the regulations regarding building permits in that some projects lay dormant or show little progress over the years; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. FINDINGS OF FACT. The foregoing recitals are hereby found to be true and correct and are hereby adopted by the City Council and made a part hereof for all purposes as findings of fact.

SECTION 2. AMENDMENT. That Article 12, *Enforcement*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'S'* of this ordinance;

SECTION 3. PENALTY OF FINE. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. REMAINING PROVISIONS UNCHANGED. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 20-02], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. EFFECTIVE DATE. That this ordinance shall take effect immediately from and after its passage.

SECTION 6. OPEN MEETINGS. It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place and

purpose of said meeting was given as required by the Open Meetings Act.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'
Article 12, Enforcement, of the
Unified Development Code (UDC)



SECTION 01 | PENALTIES

SUBSECTION 01.01: COMPLIANCE AND FINES

Any person who violates or fails to comply with the requirements of the Unified Development Code (UDC) or who builds or alters any building in violation of any plan or statement submitted and approved hereunder, shall be guilty of a misdemeanor and shall be liable to a fine of not more than \$2,000.00. Each day such violation shall be permitted to exist shall constitute a separate offense. The owner of any building or premises or part thereof, where anything in violation of the Unified Development Code (UDC) shall be placed or shall exist shall be guilty of a separate offense and upon conviction thereof shall be fined as herein provided.

SUBSECTION 01.02: OTHER ACTIONS

Nothing herein contained shall prevent the City from taking such other lawful action as is necessary to prevent or remedy any violation.

SECTION 02 | STOP WORK ORDER

SUBSECTION 02.01: STOP WORK ORDER

When the City determines that there has been non-compliance with any material term, condition or requirement of the Unified Development Code (UDC), the City may order any person having a proprietary interest in the property or any person engaged in the development or construction on the property to cease and desist from engaging in any further development or construction activities on the site. The *Stop Work Order* shall be in writing and shall be posted on the site. The order shall specifically state the nature of the non-compliance and the acts prohibited.

The City may bring suit in a court of competent jurisdiction to restrain and enjoin any person attempting or allowing development or construction without a permit or other authorization or who fails to cease and desist from further development or construction after notice of a stop work order has been posted in accordance with this Article.

When the City determines that there has been non-compliance with the Unified Development Code (UDC) which constitutes a health or safety hazard, a stop work order shall be issued and shall remain in effect until there has been compliance with the Unified Development Code (UDC). This Article shall not override the county health director or designee's ability to suspend, or reinstate food or child care permits in conformance with state and federal laws.

SUBSECTION 02.02: APPEAL PROCESS

Appeal of a *Stop Work Order*, suspension or revocation may be made to the City Council or the appropriate board or commission, by any person aggrieved, by giving written notice no later than three (3) days after the stop work order is posted, or notice of the suspension or revocation is received. The notice shall state:

- (A) The name and address of the person making the appeal;
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The City Council or appropriate board or commission shall hear the appeal at its next regularly scheduled meeting following receipt of the

notice of appeal provided that the appeal is received at least three working days prior to that meeting. The City Council or appropriate board or commission shall either affirm or reverse the decision appealed no later than seven (7) days after the close of the hearing.

An appeal brought under this section shall not stay the *Stop Work Order*, suspension or revocation.

SECTION 03 | OCCUPANCY, BUILDING, AND USE PERMITS

SUBSECTION 03.01: BUILDING PERMITS REQUIRED

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(B) **Building Permit Expiration.** The purpose of this section is to provide an expiration date for building permits that are approved by the City of Rockwall.

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- (2) **Building Permits Issued Before October 6, 2025.** Not with standing any other provision of this *Article*, any building permit issued on or before *October 6, 2025*, shall expire in two (2) years from *October 6, 2025*, if at the time of issuance, the permit did not have an expiration date and the building is not substantially complete as determined by the Chief Building Official.
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SUBSECTION 03.02: CERTIFICATES OF OCCUPANCY FOR NEW, ALTERED, OR NON-CONFORMING USES

(A) It shall be unlawful to use, occupy, or permit the use or occupancy of any building or premises or both, or part thereof, hereafter created, erected, changed, converted or altered or enlarged in its



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 9, 2025
SUBJECT: Z2025-052; *Amendment to the Southside Residential Neighborhood Overlay (SRO) District*

On June 16, 2025, the City Council approved a motion to direct staff to review the Southside Residential Neighborhood Overlay (SRO) District and provide recommendations for updates to the district. This motion was approved by a vote of 6-0, with Council Member Campbell absent. Based on this direction staff performed a comprehensive review of the overlay district, and returned to the City Council with three (3) recommendations on August 18, 2025. The recommendations proposed by staff were as follows:

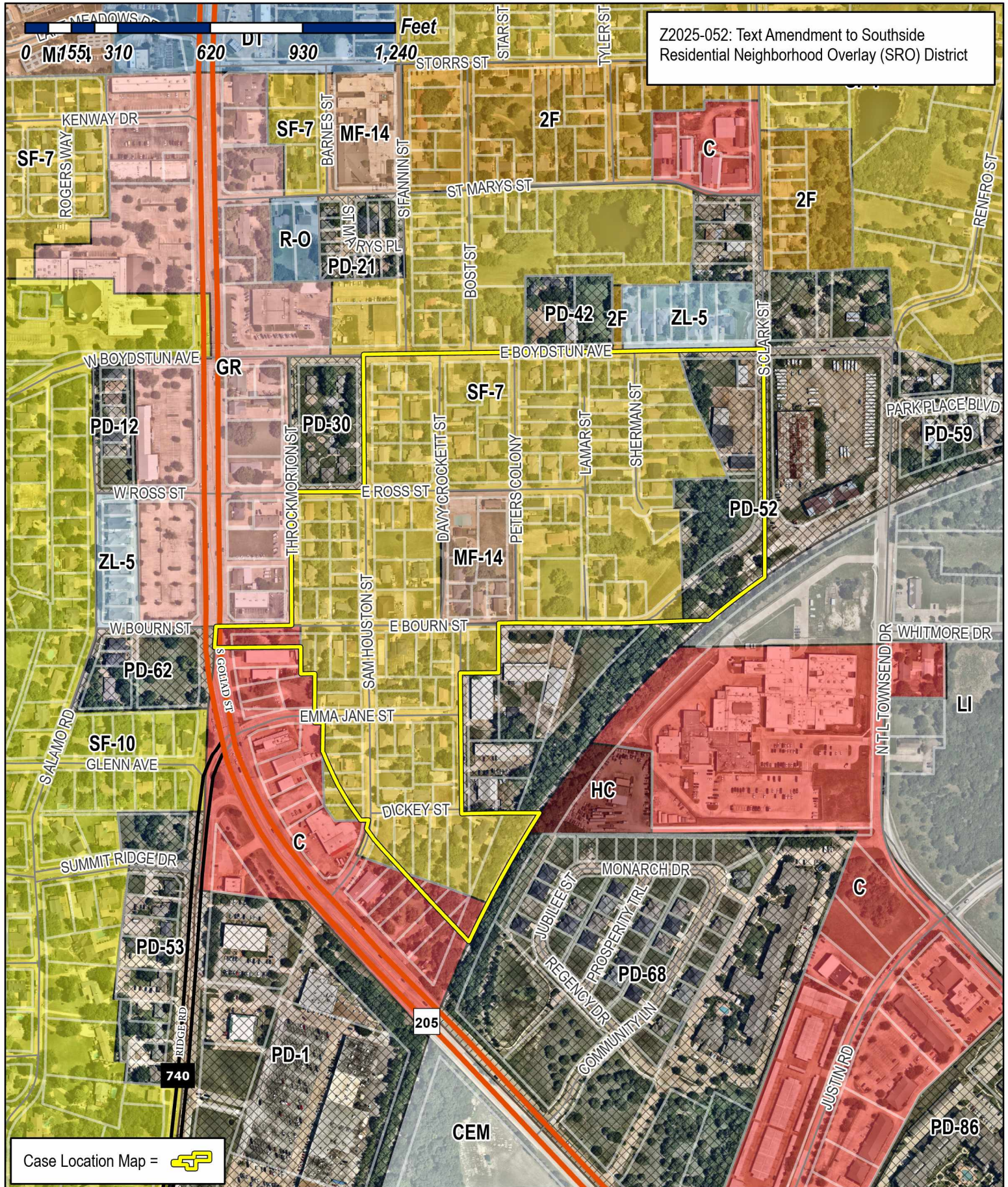
- (1) Recommendation 1. Adjust the boundaries of the Southside Residential Neighborhood Overlay (SRO) District to remove the commercially zoned properties.
- (2) Recommendation 2. Remove the reduced standards contained within the overlay district and allow the underlying zoning to regulate the density and dimensional requirements for properties.
- (3) Recommendation 3. Initiate zoning to change the Multi-Family 14 (MF-14) District to Single-Family 7 (SF-7) District to make the zoning more uniform in the overlay district.

After reviewing the recommendations, the City Council approved a motion to move forward with all three (3) recommendations. This motion was approved by a vote of 5-1, with Council Member Campbell dissenting and Council Member Lewis absent. Based on this direction, staff has initiated two (2) zoning cases, one (1) that covers *Recommendations 1 & 2 (i.e. this case -- Case No. Z2025-052)* and one (1) that covers *Recommendation 3 (i.e. Z2025-061)*. The reason that the recommendations are being taken forward in two (2) cases is tied to the intent of the cases and how the cases are required to be notified in accordance with the requirements of the Unified Development Code (UDC) and the Texas Local Government Code (TLGC).

This particular case covers [1] the changes to the boundaries of the Southside Residential Neighborhood Overlay (SRO) District, and [2] the proposed changes to the text of Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). For the Planning and Zoning Commission's review and for additional background information staff has included the packet that was provided to the City Council at the August 18, 2025 City Council meeting in the attached packet.

In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment and boundary changes to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- the Director is bringing the proposed amendment and boundary changes forward to the Planning and Zoning Commission for a recommendation to the City Council. Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff has sent a notice of public hearing to all property owners and occupants within the Southside Residential Neighborhood Overlay (SRO) District and to all property owners and occupants within 500-feet of the district in accordance with the requirements of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 9, 2025.

Z2025-052: Text Amendment to Southside Residential Neighborhood Overlay (SRO) District



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

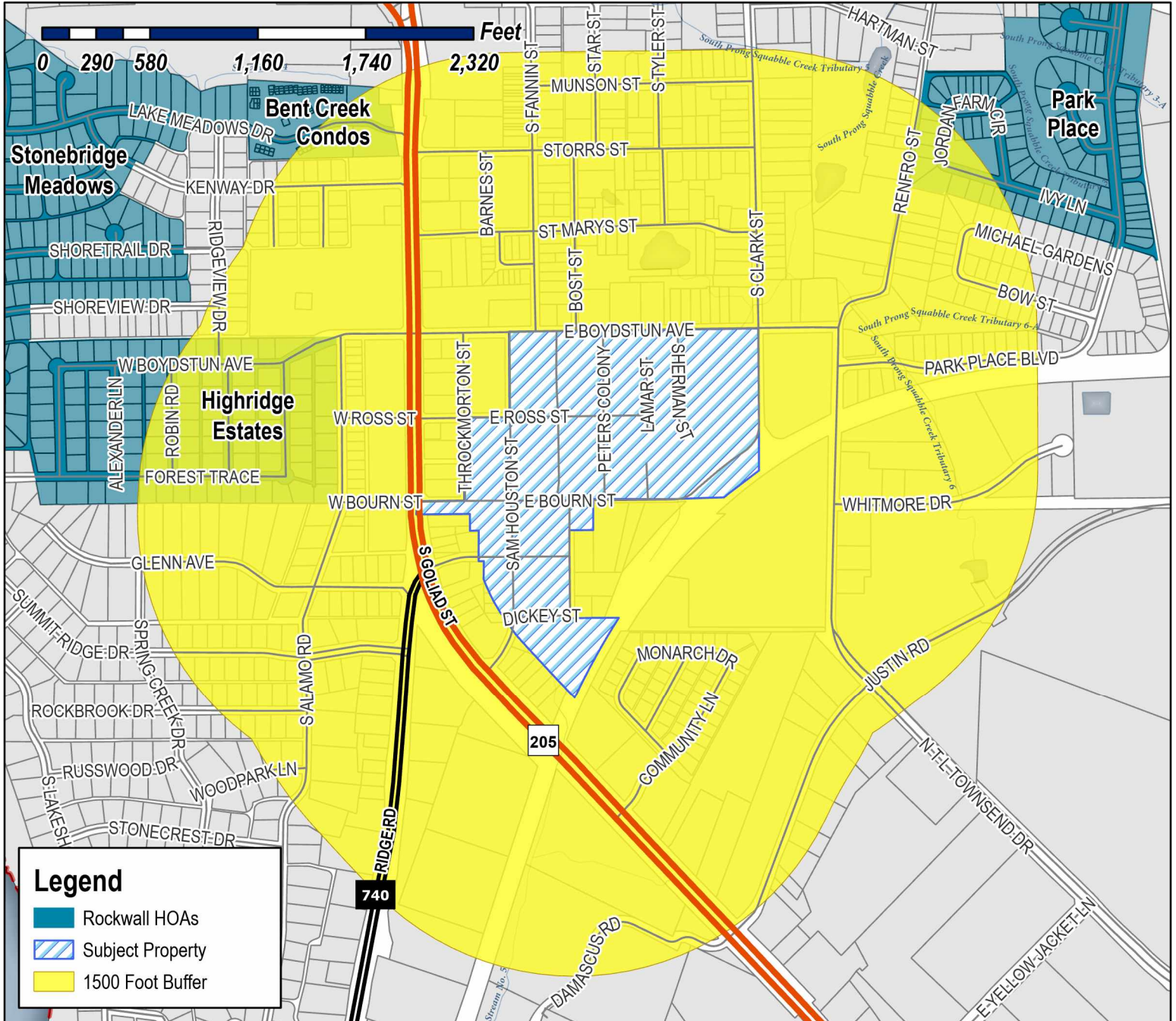




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Case Number: Z2025-052
Case Name: Text Amendment to Southside Residential Neighborhood (SRO) District
Case Type: Zoning
Zoning: Southside Residential Neighborhood (SRO) District
Case Address: Southside Residential Neighborhood
Date Saved: 8/19/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Thursday, August 21, 2025 8:09 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2025-053]
Attachments: Public Notice (08.19.2025).pdf; HOA Map (08.15.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, August 22, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 9, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 15, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-053: SUP for a Carwash

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a *Specific Use Permit (SUP)* for a *Carwash* on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

Melanie Zavala

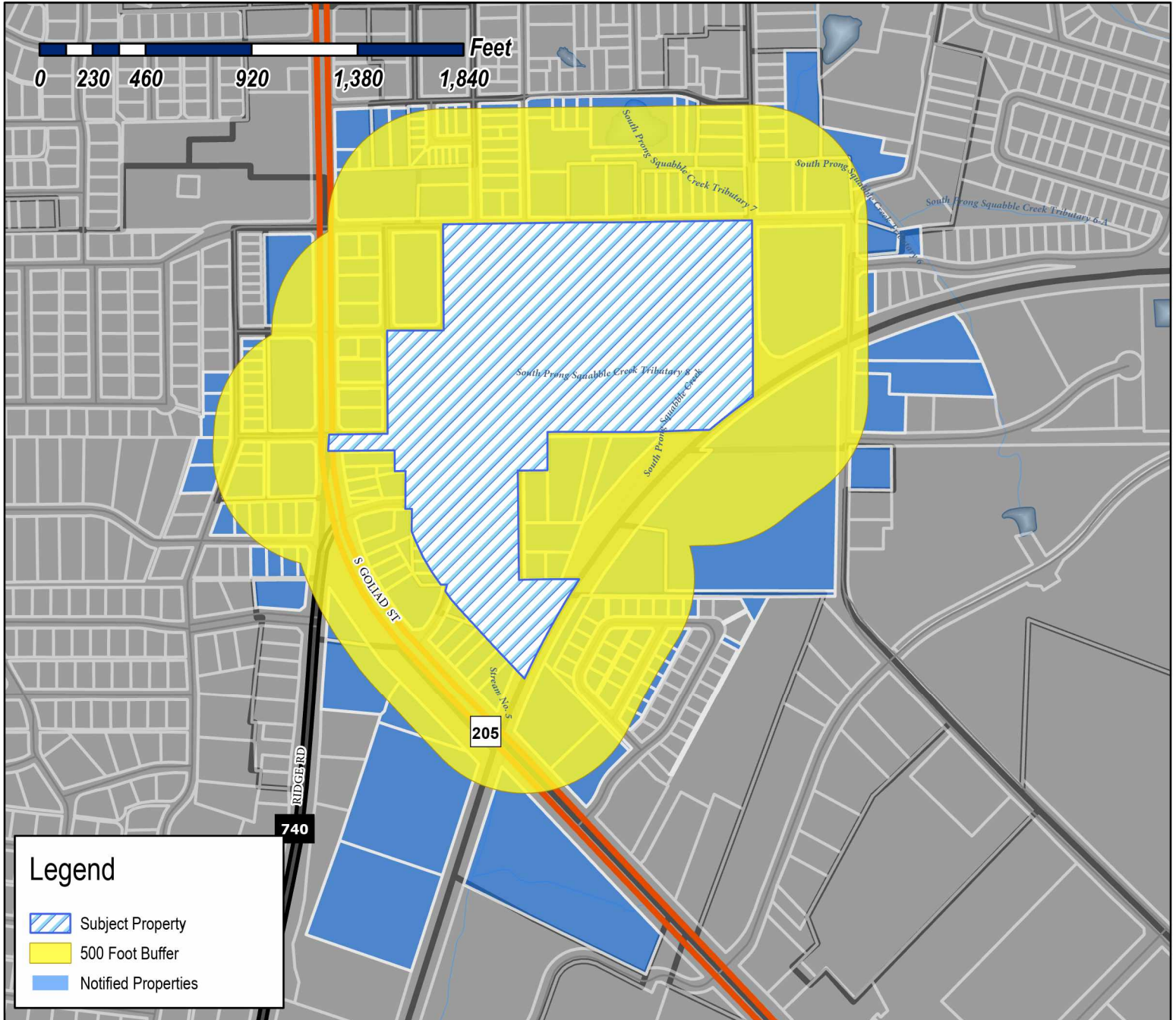
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



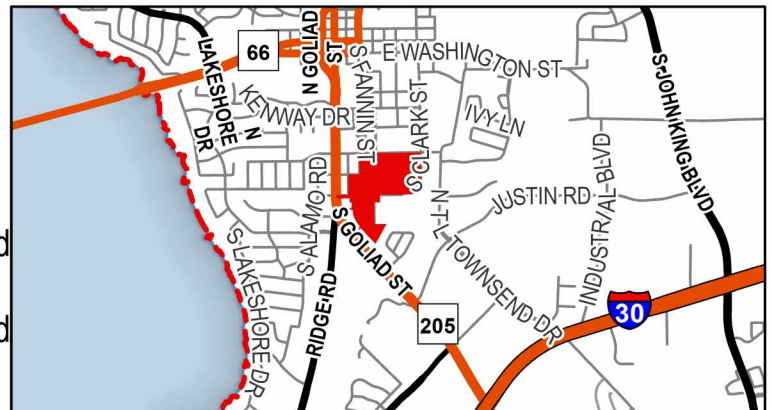
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Case Number: Z2025-052
Case Name: Text Amendment to Southside Residential Neighborhood (SRO) District
Case Type: Zoning
Zoning: Southside Residential Neighborhood (SRO) District
Case Address: Southside Residential Neighborhood
Date Saved: 8/19/2025



For Questions on this Case Call: (972) 771-7745

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

RESIDENT
1001 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1002 RIDGE RD
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

REEDER PERRY R AND JIMMIE
1006 DAVY CROCKETT ST
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1008 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E Rusk St Ste 101
Rockwall, TX 75087

RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1011 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
102 E ROSS AVE
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
104 E BOYDSTUN AVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

FEAZELL DEANNE
105 GLENN AVENUE
ROCKWALL, TN 75087

WIMPEE JOE &
CODY WIMPEE
105 W Kaufman St
Rockwall, TX 75087

RESIDENT
106 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
106 ST MARY
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 E Rusk St Ste 200
Rockwall, TX 75087

FOWLKES BRETT
107 Glenn Ave
Rockwall, TX 75087

RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

ESTATE OF RHODA MAE HEARD
ANDREW HEARD JR - INDEPENDENT EXECUTOR
10800 MCCOMBS ST APT 102
EL PASO, TX 79924

EGAN ASHLEY
109 ST MARYS STREET
ROCKWALL, TX 75087

RESIDENT
110 GLENN AVE
ROCKWALL, TX 75087

POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1107 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1109 S GOLIAD
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W Wall St Ste 101
Grapevine, TX 76051

RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

WELCH CHRISTOPHER & HAZEL
1212 Clifftop Ln
Dallas, TX 75208

RESIDENT
1275 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1300 S GOLIAD
ROCKWALL, TX 75087

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

LUKE LINDA FAYE
1325 S GOLIAD ST APT 5308
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

HOGUE MICHAEL & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTN, CA 92780

RB CAPITAL LTD
1602 Shadywood Ln
Mt Pleasant, TX 75455

PLISKA KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC
1748 BAY WATCH DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

ROGERS JOE FRANK
1829 KELLY LN
ROCKWALL, TX 75087

HEAD TIM
1884 TAHOE DRIVE
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
2000 Country Club Dr
Plano, TX 75074

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

BARNHILL BARNEY M
202 DARTBROOK
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1
202 N San Jacinto St
Rockwall, TX 75087

RICKARDS NATALIE
202 ST MARY'S PL
ROCKWALL, TX 75087

MOORE GLEN & JACKIE
2026 SUNNY CIR
ROCKWALL, TX 75032

RESIDENT
203 E BOURN
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

FALONE MARY ELLEN
204 ST MARYS PL
ROCKWALL, TX 75087

HERNANDEZ ROSA ALBA
2040 SHERWOOD DR
GARLAND, TX 75041

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

MORKEN PETER & GAY ANDERSON
GILMA L MORKEN LIFE ESTATE
206 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
207 BOURN AVE
ROCKWALL, TX 75087

RESIDENT
208 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
208 ST MARYS PL
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
210 ST MARYS PL
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD HARRIS - TRUSTEE
210 GLENN AVE
ROCKWALL, TX 75087

RESIDENT
212 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
214 ST MARYS PL
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

RESIDENT
216 ST MARYS PL
ROCKWALL, TX 75087

FRANCIS-BATTISTA BARRY &
GILDA LETICIA HAM-BATTISTA
218 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
219 ST MARYS PL
ROCKWALL, TX 75087

MCGEE DWONE
220 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
221 ST MARYS PL
ROCKWALL, TX 75087

THOMPSON MAVIS Y
222 ST MARYS PLACE
ROCKWALL, TX 75087

DELGADILLO KIMBERLY
2222 Medical District Dr Apt 1208
Dallas, TX 75235

RESIDENT
223 ST MARYS PL
ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

VIZCAINO-LEPE SINUHE
22710 1ST DRIVE SE
BOTHELL, WA 98021

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

FRASER FAMILY REVOCABLE LIVING TRUST
2631 White Rock Rd
Dallas, TX 75214

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

AMANDA WAY BUCHTA IRREVOCABLE TRUST
AMANDA WAY BUCHTA - TRUSTEE
2832 BEVERLY DR
ROCKWALL, TX 75032

CRP/TH SFR PROGRAM TX OWNER LP
2875 W RAY RD
CHANDLER, AZ 85224

NEW CALDONIA BAPTIST CHURCH
301 E BOURNE AVE
ROCKWALL, TX 75087

RESIDENT
302 EMMA JANE
ROCKWALL, TX 75087

CONFIA HOMES LLC
302 BOURN
ROCKWALL, TX 75087

WILLIAMS FREDDIE R & JO ANN
302 E BOYDSTUN AVE
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

CLARK TROY & JANICE
3025 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
304 EMMA JANE
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-
HERNANDEZ
304 E Bourn St
Rockwall, TX 75087

ESTATE OF THE LANIER FAMILY TRUST
TERRY LEE LANIER AND JEREMY ROBERT LANIER
- TRUSTEES
304 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESTATE OF THE LANIER FAMILY TRUST
TERRY LEE LANIER AND JEREMY ROBERT LANIER
- TRUSTEES
304 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
304 E ROSS AVE
ROCKWALL, TX 75087

HORTON DARJUAN CORTEZ AND NATALIE
3042 LONGHORN LN
ROCKWALL, TX 75087

RESIDENT
305 E BOYDSTUN AVE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
305 PARK PLACE BLVD
ROCKWALL, TX 75087

RESIDENT
306 BOURN AVE
ROCKWALL, TX 75087

ESTATE OF ARCHIE & JUANITA JONES
308 E BOURN ST
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
310 EMMA JANE
ROCKWALL, TX 75087

PEOPLES J PHILIP AND
BILLY W PEOPLES JR
311 HIGHLAND DRIVE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CULLINS JAMES &
SHARON DAY
315 S FANNIN
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN
3948 SUNLEAF AVE
MEDFORD, OR 97504

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

CLARK STREET VENTURES LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

JORDAN ERICK DEAN AND LAKESHA
401 E Boydston Ave
Rockwall, TX 75087

RESIDENT
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
403 E BOYDSTUN AVE
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

COCHRAN LIVING TRUST
JOE B COCHRAN & SANDRA COCHRAN -
TRUSTEES
4405 VIA DEL NORTE
MESQUITE, TX 75150

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

TEXAN MUTUAL LLC
5000 Riverside Dr Ste 100W Bldg 5
Irving, TX 75039

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

MATHIS DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ MARIA
507 DICKEY ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

UNRUH JON CLINT AND SHANNON L
508 ST MARY ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

RESIDENT
510 ST MARYS ST
ROCKWALL, TX 75087

SALGADO HAROLD G
510 DICKIE ST
ROCKWALL, TX 75087

RESIDENT
512 ST MARYS ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

PARKS TODD & DENISE
5214 Berget Dr
Amarillo, TX 79106

EAST SHORE J/V
5499 Glen Lakes Dr Ste 110
Dallas, TX 75231

HOOVER JERRY H
5630 DEERFIELD LN
MIDLOTHIAN, TX 76065

NUAMERICA PROPERTIES LLC
5657 SOUTHERN FERN RD
GARLAND, TX 75043

STAR 2022 SFR3 BORROWER LP
591 WEST PUTNAM AVE
GREENWICH, CT 6830

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

RESIDENT
601 PROSPERITY TR
ROCKWALL, TX 75087

WALDON CHRYSTEEN & DAVID
601 BOST ST
ROCKWALL, TX 75087

RESIDENT
601 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
601 S FANNIN ST
ROCKWALL, TX 75087

NIX ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

THOMAS LOU BERTHA
602 JUBILEE STREET
ROCKWALL, TX 75087

RESIDENT
602 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
603 JUBILEE ST
ROCKWALL, TX 75087

RESIDENT
603 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
603 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
603 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
604 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

CAMELI CHAZ CRISTIAN NECOLA & LAUREN
604 E ROSS ST
ROCKWALL, TX 75087

RESIDENT
604 S CLARK ST
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

MORGAN JERRY RAY & GABRIELA HANNI
605 PROSPERITY TRL
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
606 JUBILEE ST
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
606 S CLARK ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

CATHEY OPAL A
607 JUBILEE ST
ROCKWALL, TX 75087

RESIDENT
607 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
607 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
607 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
608 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
608 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

MCCURRY JAMES M
609 Prosperity Trl
Rockwall, TX 75087

RESIDENT
609 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
609 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
610 JUBILEE ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
610 S CLARK ST
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

SMITH CHARLES ELLIOT
611 E BOYDSTUN AVE
ROCKWALL, TX

SMITH CHARLES ELLIOT
611 E BOYDSTUN AVE
ROCKWALL, TX

NONUS SHELLY REYNA AND THOMAS
611 FANNIN STREET
ROCKWALL, TX 75087

THE DAVID AND PATRICIA HENDRICKSON LIVING
TRUST
DAVID L HENDRICKSON & PATRICIA S
HENDRICKSON - TRUSTEES
611 JUBILEE ST
ROCKWALL, TX 75087

ALFRED T WILLIAMS AND PATRICIA M WILLIAMS
REVOCABLE LIVING TRUST
PATRICIA M WILLIAMS - SURVIVOR TRUSTEE
612 PROSPERITY TRL
ROCKWALL, TX 75087

RESIDENT
613 PROSPERITY TR
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

TANNER TRUDY LEANN
613 S FANNIN
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

MARET WENDY A
614 JUBILEE STREET
ROCKWALL, TX 75087

RESIDENT
615 JUBILEE ST
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

RESIDENT
616 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

HAMMERLING CHRISTOPHER JOHN AND RONI
PENBERTHY
617 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
618 MONARCH DR
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E Boydston Ave
Rockwall, TX 75087

WINCH TERRI L
620 PROSPERITY TRAIL
ROCKWALL, TX 75087

RESIDENT
621 PROSPERITY TR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
625 PROSPERITY TR
ROCKWALL, TX 75087

DITO JAAP & ESTHER
627 E Boydston Ave
Rockwall, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

RESIDENT
701 RENFRO
ROCKWALL, TX 75087

DEATON SHELLEY MARIE AND
BRIANNA ORNELAS
701 SAM HOUSTON STREET
ROCKWALL, TX 75087

KENNEDY BRENDA K
701 T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
703 MONARCH DR
ROCKWALL, TX 75087

RESIDENT
703 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
703 SHERMAN
ROCKWALL, TX 75087

RESIDENT
703 TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
703 S GOLIAD
ROCKWALL, TX 75087

TAYLOR LISA AND PAUL TAYLOR
704 DAVY CROCKETT ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

MILLER ANNE
705 SAM HOUSTON ST
ROCKWALL, TX 75087

GREER JOSEPH CARLTON III AND CORI
705 SOUTH GOLIAD STREET
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

WILLIAMS SHIRLEY B ETAL
706 DAVY CROCKETT ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
707 MONARCH DR
ROCKWALL, TX 75087

RESIDENT
707 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
707 TOWNSEND
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
708 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 MONARCH DR
ROCKWALL, TX 75087

MILLER FRANK R
711 S GOLIAD ST
ROCKWALL, TX 75087

MILLER FRANK
711 S GOLIAD ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 MONARCH DR
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
714 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

RESIDENT
800 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
801 MONARCH DR
ROCKWALL, TX 75087

RESIDENT
801 N T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
801 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
801 S GOLIAD
ROCKWALL, TX 75087

LAFAYETTE ESTELLE
801 THROCKMORTON ST
ROCKWALL, TX 75087

U S HOUSING AUTHORITY
802 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

JACKSON CALVIN
802 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
803 S T L TOWNSEND DR
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

DIXON ALMA
804 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
805 MONARCH DR
ROCKWALL, TX 75087

RESIDENT
805 SAM HOUSTON
ROCKWALL, TX 75087

8661 S HAMPTON LLC
805 Green Pond Dr
Garland, TX 75040

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

RESIDENT
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 THROCKMORTON
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
808 SAM HOUSTON ST
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

RESIDENT
809 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
809 SAM HOUSTON
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
811 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

RUSZKOWSKI SKYLER E
8127 E COLUMBUS AVE
SCOTTSDALE, AZ 85251

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

COX ROSALBA C
815 T L TOWNSEND DR
ROCKWALL, TX 75087

VARNER ROBERT R JR &
GLEN COX
815 T L Townsend Dr Ste 101
Rockwall, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

RICHARD EXPO
820 E HEATH ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8226 Douglas Ave Ste 709
Dallas, TX 75225

AUL PROPERTIES LLC
8502 Huntington Dr
Rowlett, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
880 SHORES BLVD
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

THOMPSON JAMES LARRY AND SUSAN PRICE
901 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
902 DAVY CROCKETT
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

COLLINS LARRY SCOTT
902 S Alamo Rd
Rockwall, TX 75087

RESIDENT
903 DAVY CROCKETT
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC
KEVIN W. VICE
903 DAVY CROCKETT ST
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

GATES TED AND SARAH
904 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
905 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
905 T L TOWNSEND
ROCKWALL, TX 75087

RESIDENT
905 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

GREENS CHRYSALIS TRUST
MAUREEN GREEN- TRUSTEE
945 BREEZY HILL LANE
ROCKWALL, TX 75087

RESIDENT
950 TOWNSEND RD
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
9922 Donegal Dr
Dallas, TX 75218

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

DATIBRAN HOLDINGS LLC
PO Box 1137
Rockwall, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

HEFLIN JERRY
PO BOX 518
ROCKWALL, TX 75087

UNITED STATES POSTAL SERVICES
PO BOX 667160
DALLAS, TX 75266

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

SMITH TIMOTHY
PSC 3 BOX 5631
APO, AP 96266

DALLAS-GARLAND & NORTHEASTERN RAILROAD
ATTN: ACCOUNTS PAYABLE
SUITE 300 200 MERIDIAN CENTRE BLVD
ROCHESTER, NY 14618

OWENS RICHARD DUANE
905 SAM HOUSTON
ROCKWALL, TX 75087

HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-052: Text Amendment to Southside Residential Neighborhood Overlay (SRO) District

Hold a public hearing to discuss and consider a Text Amendment to Subsection 06.05, Southside Residential Neighborhood Overlay (SRO) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) for the purpose of making changes to the boundary and development requirements of the Southside Residential Neighborhood Overlay (SRO) District, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-052: Text Amendment to Southside Residential Neighborhood Overlay (SRO) District

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



August 21, 2025

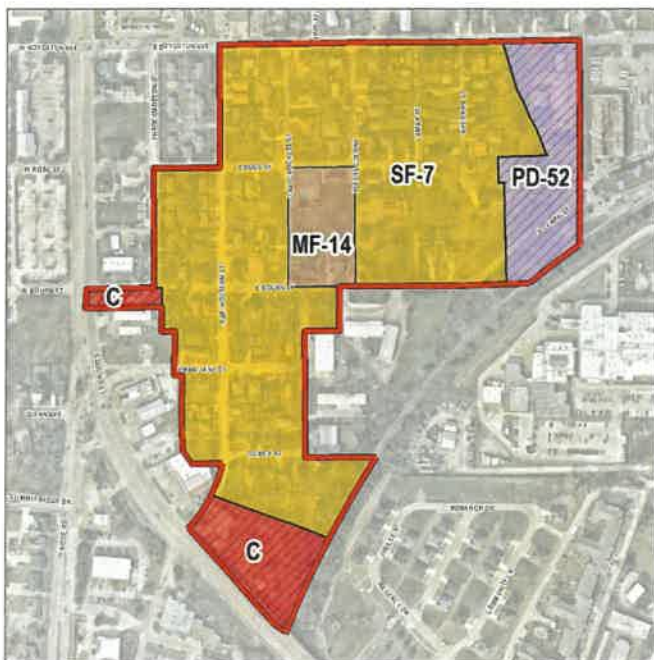
TO: Property Owners and Residents of the Southside Residential Neighborhood Overlay (SRO) District

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

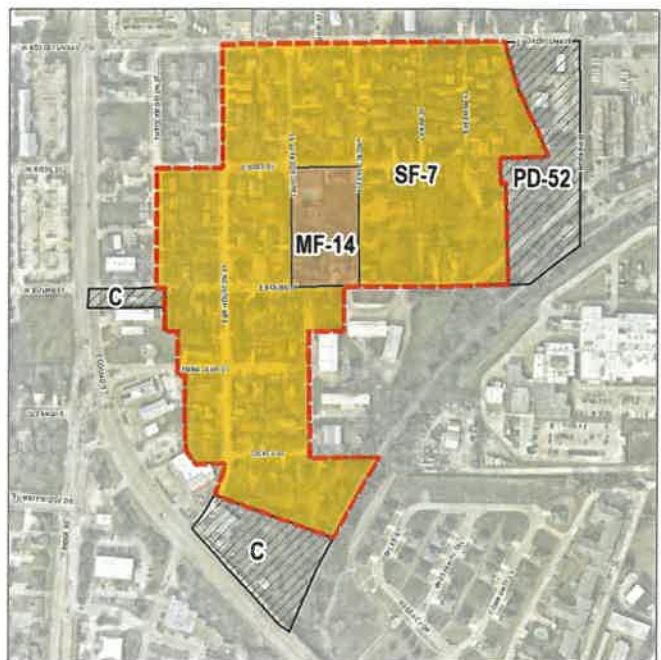
SUBJECT: CASE NO. Z2025-052; TEXT AMENDMENT TO THE SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT.

Property Owners and Residents,

You are receiving this letter because you are listed as a property owner (*or the owner's representative*) on the certified tax rolls by the Rockwall Central Appraisal District (RCAD) or you are a resident for property in the Southside Residential Neighborhood Overlay (SRO) District. On August 18, 2025, the City Council of the City of Rockwall approved a motion to direct staff to initiate boundary changes and changes to the requirements of the Southside Residential Neighborhood Overlay (SRO) District. Specifically, the City Council directed staff to: [1] remove all properties zoned for commercial land uses from the district, and [2] remove the reduced standards (e.g. *allowing smaller lots and smaller dwelling units*) currently permitted within the district and allow the base zoning -- *which is Single-Family 7 (SF-7) District* -- to regulate development within the district. A map showing the changes to the boundaries of the district is depicted below in *Map 1* and *Map 2*, and a table showing the proposed changes to the density and development standards is depicted in *Table 1*.



MAP 1. CURRENT SRO DISTRICT



MAP 2. PROPOSED SRO DISTRICT

TABLE 1. ZONING ANALYSIS FOR SRO AND SF-7 DISTRICTS

ZONING REQUIREMENTS	SRO	SF-7	DIFFERENCE
LOT AREA (SF)	5,000	7,000	+2,000
LOT WIDTH (FEET)	50	60	+10
LOT DEPTH (FEET)	100	100	0
DWELLING UNIT SIZE (SF)	900	1,100	+200
FRONT YARD SETBACK	20	20	0
REAR YARD SETBACK	10	10	0
SIDE YARD SETBACK			
INTERNAL	6	6	0
ABUTTING A STREET	15	20	+5
ABUTTING AN ARTERIAL	20	20	0
DISTANCE BETWEEN BUILDINGS	10	10	0
DRIVEWAY LENGTH	20	20	0
LOT COVERAGE	40%	45%	+5%
BUILDING HEIGHT	32	32	0
OFF STREET PARKING REQUIREMENTS	2	2	0

WHAT THIS MEANS FOR THE SOUTHSIDE NEIGHBORHOOD?

It is important to stress that the adoption of these changes WILL NOT require you to change anything that currently exists on your property; however, it may make certain properties that have single-family homes, duplexes, or multi-family structures, that do not meet the requirements of the Single-Family 7 (SF-7) District, *Legally Non-Conforming*. *Legally Non-Conforming* means your property may continue to be used, maintained, and sold in its current condition without penalty; however, any new development, redevelopment, or expansion of a property will be required to comply with the requirements of the Single-Family 7 (SF-7) District. In cases where a variance, exception, or other approval may be necessary, the Southside Residential Neighborhood Overlay (SRO) District provides the ability to request a *Special Request*. This section of the code states that, “(t)he City Council may consider special requests in the furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials, reductions in the building setbacks, or other requests submitted for consideration to the Planning and Zoning Department.”

PUBLIC PARTICIPATION AND SCHEDULE

As with all zoning cases in the City of Rockwall, the proposed zoning change will include public hearings before the Planning and Zoning Commission and the City Council. Staff *strongly* encourages citizens to participate in this process by attending the public meetings listed below or by submitting written comments to the Planning and Zoning Department via email at planning@rockwall.com or by mail at 385 S. Goliad Street Rockwall, Texas 75087. The schedule for this zoning case is as follows:

PLANNING & ZONING COMMISSION WORK SESSION: August 26, 2025

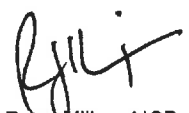
PLANNING & ZONING COMMISSION PUBLIC HEARING: September 9, 2025

CITY COUNCIL PUBLIC HEARING (1ST READING): September 15, 2025

CITY COUNCIL (2ND READING AND FINAL ADOPTION): October 6, 2025

Should you have questions about the proposed zoning change or how this may affect your property, please contact the Planning and Zoning Department by phone at (972) 771-7745 or by email at planning@rockwall.com. The City of Rockwall appreciates your attention to this matter.

Sincerely,



Ryan Miller, AICP
 Director of Planning and Zoning
 City of Rockwall, Texas

From: [ronald fraser](#)
To: [Planning](#)
Subject: cases Z2025-052 ANDZ2025-061
Date: Wednesday, August 27, 2025 1:26:02 PM

Mr. Ryan Miller per our phone call here is written response to the two public notices received. I wanted to let you know in writing that property owners at 707 Sam Houston, Rockwall, TX are in favor of these amendments. If you need further help please reach out to to me .

Thanks

Ronald Fraser Principal/Broker
FRASER Real Estate Group 2631 White Rock Rd Dallas Texas 75214
214-244-8942 Ronaldfraser@sbcglobal.net

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CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
CC: Mary Smith, *City Manager*
 Joey Boyd, *Assistant City Manager*
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: August 18, 2025
SUBJECT: Southside Residential Neighborhood Overlay (SRO) District

On June 16, 2025, the City Council approved a motion to direct staff to review the Southside Residential Neighborhood Overlay (SRO) District and provide recommendations for updates to the district. This motion was approved by a vote of 6-0, with Council Member Campbell absent. Based on this direction staff has performed a comprehensive review of the overlay district, and has drafted three (3) recommendations that may address the City Council's direction. The following provides background on the district, the current conditions of the district, and detailed explanation of staff's recommendations.

BACKGROUND

The Southside Residential Neighborhood Overlay (SRO) District was adopted by the City Council and consolidated into the 1983 *Comprehensive Zoning Ordinance* on June 3, 1996 by *Ordinance No. 96-12* [Case No. PZ1996-030-01]. This was a City initiated zoning case that came in response to a request from representatives of the Southside Neighborhood, and was formed in conformance with the then newly approved *Neighborhood Preservation Ordinance* (*Ordinance No. 96-11*). A copy of the language that was codified into the 1983 *Comprehensive Zoning Ordinance* is contained in the attached packet.

On June 7, 2004, the Unified Development Code (UDC) was established by the City Council through *Ordinance No. 04-38*. Under this newly adopted zoning code the *Purpose* and *Other Requirements* sections of the Southside Residential Neighborhood Overlay (SRO) District were shortened (see attached excerpt from the 2004 *Unified Development Code [UDC]*); however, the *Area Requirements* and overall standards of the overlay district remained unchanged.



FIGURE 1. CURRENT BOUNDARY OF THE SRO DISTRICT

In April 2016, the City Council directed staff to initiate amendments to the Southside Residential Neighborhood Overlay (SRO) District for the purpose of removing the City Council's ability to grant land use without a public process or a zoning change. In addition, the process under the original ordinance required special requests to be first brought to the City Council to initiate the request, then taken to the Planning and Zoning Commission for a recommendation, and finally returning to the City Council for action. This was changed to allow a property owner to initiate the request and take the case directly to the Planning and Zoning Commission for recommendation -- *first* -- prior to being brought to the City Council for action. These changes were adopted by the City Council through *Ordinance No. 16-40* on June 6, 2016. No other changes have been made to the district since the adoption of this ordinance. A copy of the current language for the Southside Residential Neighborhood Overlay (SRO) District has been provided in the attached packet.

CURRENT CONDITIONS

Currently, the Southside Residential Neighborhood Overlay (SRO) District consists of 43.95-acres of land that is broken down into 145 tracts or parcels of land. Of the 43.95-acres of land within the district, 33.08-acres or 75.27% is zoned Single-Family 7 (SF-7) District, 4.85-acres or 11.04% is zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses, 2.56-acres or 5.82% is zoned Multi-Family 14 (MF-14) District, and 3.46-acres or 7.87% is zoned Commercial (C) District. Of the 145 lots or tracts of land, 28 of these lots or tracts are currently vacant with the majority (*i.e.* 21 lots or tracts) of vacant land being zoned for Single-Family 7 (SF-7) District land uses (*see Table 1 for a complete breakdown of the district*).

TABLE 1. COMPOSITION OF THE SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT

ZONING DISTRICT	ACREAGE*	PERCENTAGE	BUILT LOTS	VACANT LOTS	TOTAL LOTS
COMMERCIAL (C) DISTRICT	3.46	07.87%	4	3	7
MULTI-FAMILY 14 (MF-14) DISTRICT	2.56	05.82%	8	2	10
PLANNED DEVELOPMENT DISTRICT 52 (PD-52)	4.85	11.04%	3	2	5
SINGLE-FAMILY 7 (SF-7) DISTRICT	33.08	75.27%	102	21	123
TOTAL:	43.95	100.00%	117	28	145

NOTES:

* INCLUDES RIGHT-OF-WAY.

All of the property in the Southside Residential Neighborhood Overlay (SRO) District has been platted and are primarily a part of the Canup Addition, the Sanger Addition, the B. F. Boydston Addition, the Ridgell Addition, and the Robbins Addition; however, several smaller one (1) or two (2) lot subdivision plats also exist. The majority of these subdivision plats establish lots that have a 50-foot to 60-foot frontage and a 125-foot to 150-foot depth; however, some of the lots in the district are smaller than these dimensions and are considered to be legally non-conforming. Staff should note that these lots are also considered to be legally non-conforming by the reduced standards established by the SRO district. Staff has included a map of lot frontages and depths in the attached packet.

As of the date of this memorandum, there are 109 existing single-family homes situated within the Southside Residential Neighborhood Overlay (SRO) District. These homes were constructed between 1920 and 2024, and range in size from 420 SF to 3,748 SF. The market values of these homes -- *according to the Rockwall Central Appraisal District* -- range from \$13,476.00 to \$594,397.00 (*see the maps for year built and value in the attached packet*). Based on these numbers, the average housing size is 1,361 SF and the average value of a home in this area is \$274,805.03.

In 2019, the City Council approved *Ordinance No. 19-32 [Case No. Z2019-016]* creating requirements for *Residential Infill in or Adjacent to an Established Subdivision*. Under these requirements, any new residential homes proposed in the SRO District would require a Specific Use Permit (SUP). *Table 2 -- below --* shows a breakdown of the 12 SUP requests for *Residential Infill* that have been filed since these requirements were adopted by the City Council on September 3, 2019.

TABLE 2. SPECIFIC USE PERMIT (SUP) REQUEST FOR RESIDENTIAL INFILL IN THE SRO DISTRICT SINCE SEPTEMBER 3, 2019

ADDRESS	CASE NO.	APPROVED SF	STATUS
705 PETERS COLONY	Z2020-004	2,450 SF	BUILT
703 PETERS COLONY	Z2020-005	2,450 SF	BUILT
706 SHERMAN STREET	Z2020-012	2,424 SF	BUILT
304 BOURNE STREET	Z2020-049	2,823 SF	BUILT
511 BOURNE STREET	Z2022-025	1,989 SF	BUILT
512 DICKEY STREET	Z2023-014	1,662 SF	BUILT
715 SHERMAN STREET	Z2023-046	2,712 SF	BUILT
711 LAMAR STREET	Z2024-026	2,533 SF	BUILT
302 BOURNE STREET	Z2024-018	1,299 SF	APPROVED; NOT BUILT
614 BOYDSTUN AVENUE	Z2025-012	1,031 SF *	APPROVED; NOT BUILT
803 SAM HOUSTON	Z2025-036	1,997 SF	IN PROCESS
805 SAM HOUSTON	Z2025-037	2,673 SF	IN PROCESS
AVERAGE:		2,170 SF	

NOTES:

* CASES THAT MEET THE CURRENT SRO DISTRICT REQUIREMENTS, BUT DO NOT MEET THE UNDERLYING ZONING REQUIREMENTS.

All of these cases dealt with single-family homes, and all but one (1) of the requests proposed single-family homes that conformed to the square footage requirements of the base zoning district. There have been no changes in the commercially zoned properties in the district in the last five (5) years.

RECOMMENDATIONS

Based on the information collected, staff has the following recommendations concerning the City Council’s goals and direction for the Southside Residential Neighborhood Overlay (SRO) District:

- (1) **Recommendation #1.** Adjust the boundaries of the district and remove the commercial properties.

According to the *Purpose* statement for the Southside Residential Neighborhood Overlay (SRO) District, “(t)he purpose of the overlay district is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood.” Since the overlay district was primarily established to protect the existing residential land uses, the non-residentially zoned property in the district is effectively only regulated by the base zoning district requirements and the overlay has no effect on these properties. Based on this the overlay district’s boundary should be adjusted to remove the non-residentially zoned properties from the district. This would better align the intent of the district with the properties it is intended to regulate. *Figures 2 & 3* below show the current district’s boundaries and land use classifications and how the district could be changed in accordance with *Recommendation #1*.

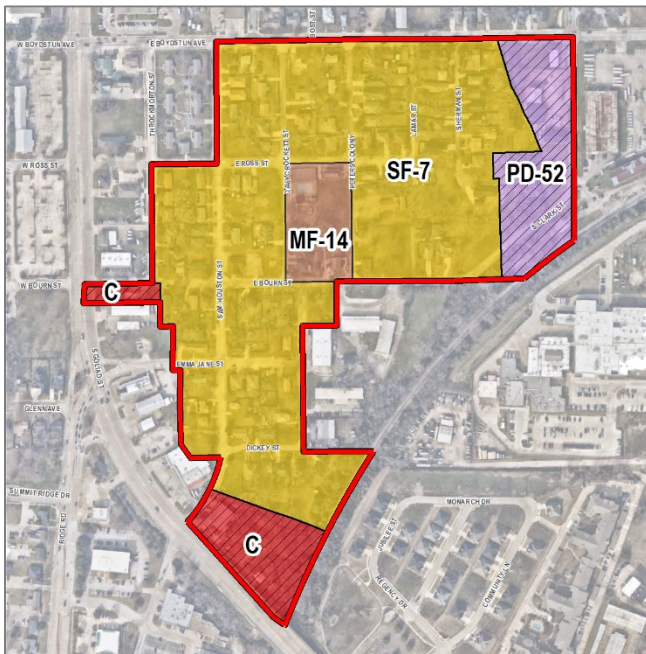


FIGURE 2. CURRENT SRO DISTRICT

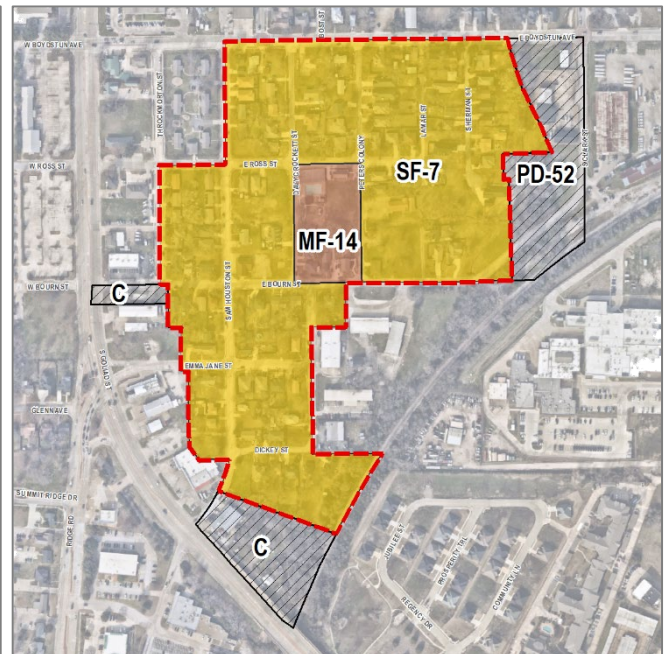


FIGURE 3. PROPOSED SRO DISTRICT UNDER RECOMMENDATION #1

NOTE: THE CROSS HATCH ON FIGURES 2 & 3 SHOWS THE NON-RESIDENTIALLY ZONED AREAS WITHIN THE SRO DISTRICT.

- (2) **Recommendation #2.** Remove the reduced standards contained within the overlay district and allow the underlying zoning to regulate the density and dimensional requirements for properties.

When looking at the *Area Requirements* listed in the Southside Residential Neighborhood Overlay (SRO) District, these requirements do *not* appear to deviate much from the base zoning requirements of the Single-Family 7 (SF-7) District (see *Table 3* below).

TABLE 3. ZONING ANALYSIS FOR SRO AND SF-7 DISTRICTS

ZONING REQUIREMENTS	SRO	SF-7	DIFFERENCE
LOT AREA (SF)	5,000	7,000	+2,000
LOT WIDTH (FEET)	50	60	+10
LOT DEPTH (FEET)	100	100	0
DWELLING UNIT SIZE (SF)	900	1,100	+200
FRONT YARD SETBACK	20	20	0
REAR YARD SETBACK	10	10	0
SIDE YARD SETBACK			
INTERNAL	6	6	0
ABUTTING A STREET	15	20	+5
ABUTTING AN ARTERIAL	20	20	0

DISTANCE BETWEEN BUILDINGS	10	10	0
DRIVEWAY LENGTH	20	20	0
LOT COVERAGE	40%	45%	+5%
BUILDING HEIGHT	32	32	0
OFF STREET PARKING REQUIREMENTS	2	2	0

Based on this, the base zoning district appears to be sufficient to regulating the properties in the district. Staff should note, that this will increase the number of legally non-conforming properties in the district in terms of dwelling unit size from 14 (*i.e. lots less than 900 SF*) to 30 (*i.e. lots less than 1,100 SF*); however, this should not affect these properties ability to continue to exist since they will be considered to be legally non-conforming. This will also increase the number of legally non-conforming lots with regard to lot area; however, these are platted lots and will also be considered legally non-conforming. In addition, the overlay district will still retain the ability for property owners to request *Special Requests* from the Planning and Zoning Commission and City Council. This will allow the City Council the ability to vary the density and dimensional requirements in certain circumstances where it is deemed a request will be “...in [the] furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district.”

- (3) **Recommendation #3.** Initiate zoning to change the Multi-Family 14 (MF-14) District to Single-Family 7 (SF-7) District to make the zoning more uniform in the overlay district.

In reviewing the area zoned Multi-Family 14 (MF-14) District, staff was able to determine that this area was zoned Multi-Family 1 (MF-1) District since at least January 3, 1972. At some point between June 14, 1983 and July 11, 1985, this designation was changed from a Multi-Family 1 (MF-1) District to a Multi-Family 15 (MF-15) District, and finally changing to a Multi-Family 14 (MF-14) District between December 7, 1993 and April 5, 2005. Currently located within this 2.56-acre zoning district are ten (10) parcels of land with the following land uses: [1] two (2) vacant tracts of land, [2] four (4) single-family homes, [3] two (2) duplexes, [4] one (1) triplex, and [5] Gloria Williams Park/Pool.

Currently, the majority underlying zoning within the Southside Residential Neighborhood Overlay (SRO) District is Single-Family 7 (SF-7) District, which represents a total of 33.08-acres or 75.27% of the total district. In addition, the requirements for the district specifically state that “(a)ny requirements not specifically stated in this section [*i.e. the SRO District*] shall comply with the Single-Family 7 (SF-7) District requirements.” If the City Council chooses to move forward with *Recommendations #1 & #2* above it may also be advisable to change the Multi-Family 14 (MF-14) District zoning -- *which currently represents a small portion of the district at 2.56-acres or 5.82% of the district* -- to Single-Family 7 (SF-7) District. This -- *coupled with the changes in Recommendation #1* -- would make the zoning within the overlay district consistent for all properties. Staff should also note, that this recommendation would be consistent with the *Future Land Use Map* contained in the *OURHometown Vision 2040 Comprehensive Plan*, which currently designates this area for *Medium Density Residential (MDR)* land use.

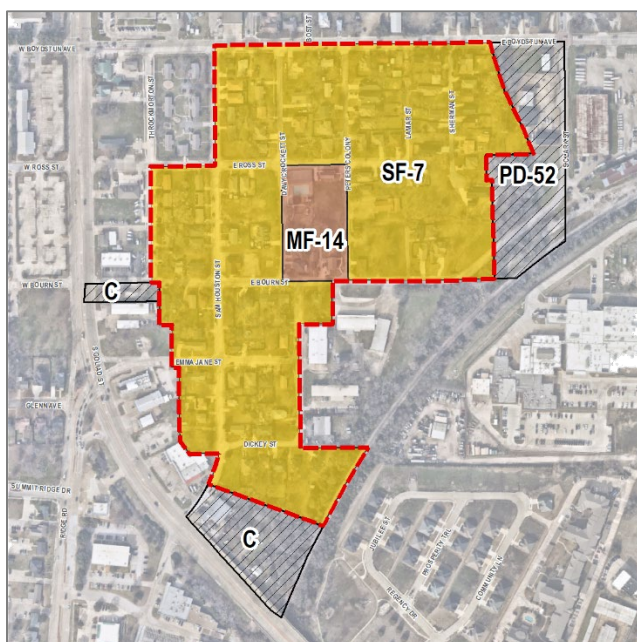


FIGURE 4. SRO DISTRICT WITH RECOMMENDATION #1

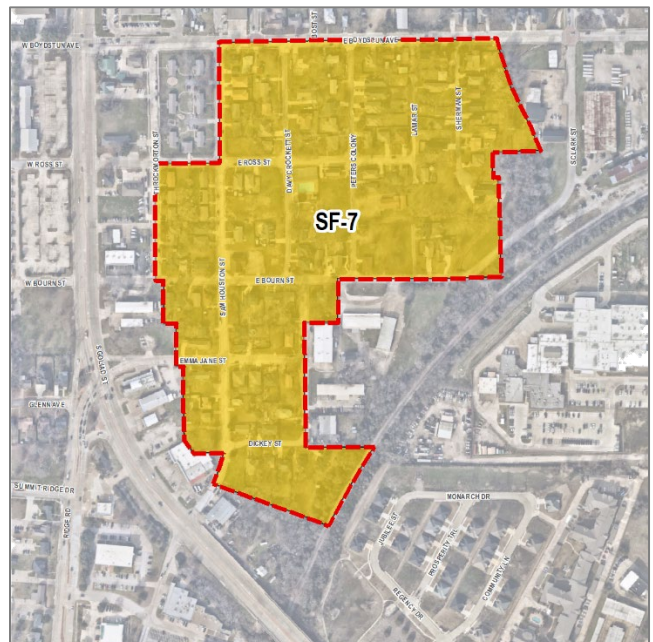


FIGURE 5. PROPOSED SRO DISTRICT AFTER RECOMMENDATIONS #1 & #3

PROCESS AND IMPLEMENTATION

Since any change to the Southside Residential Neighborhood Overlay (SRO) District will require an amendment to *Ordinance No. 96-12* and to the Unified Development Code (UDC), all three (3) recommendations will require a zoning process (*i.e. public and newspaper notices and a recommendation from the Planning and Zoning Commission prior to the City Council taking action on changes*); however, all three (3) recommendations can be achieved in a single ordinance. Attached is a draft ordinance -- *for the City Council's consideration* -- that would implement the recommendations contained within this report. Should the City Council choose to direct staff to proceed with the changes, the schedule for this zoning case would be as follows:

Planning and Zoning Commission Work Session Meeting: August 26, 2025
Planning and Zoning Commission Public Hearing: September 9, 2025
City Council Public Hearing/1st Reading: September 15, 2025
City Council 2nd Reading: October 6, 2025

Should the City Council have any questions concerning the proposal, staff and the City Attorney will be present at the meeting on August 18, 2025.

ORDINANCE NO. 96-12

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL BY THE DESIGNATION OF THE SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY DISTRICT; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PURPOSE; PROVIDING FOR OTHER REQUIREMENTS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING THE LOCATION DESCRIBED HEREIN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, in accordance with guidelines established in the City of Rockwall's Comprehensive Zoning Ordinance the City Council has considered amending the Comprehensive Zoning Ordinance and;

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by the designation of the "The Southside Residential Neighborhood Overlay District" as set forth in Exhibits "A" and "B" attached hereto and made part of hereof.

Section 2. That the "The Southside Residential Neighborhood Overlay District" shall be used only in the manner and for the purposed provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended and as may be amended in the future.

Section 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Comprehensive Zoning Ordinance No.83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 3rd day of June, 1996.


ATTEST


APPROVED

1st Reading 5/20/96

2nd Reading 6/03/96

EXHIBIT "A"

SOUTHSIDE RESIDENTIAL NEIGHBORHOOD DISTRICT

A. Purpose:

1. This district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. This district is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.
2. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on residential usage required by the allowed density.
3. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non-single family traffic.
4. Developers wishing to restrict their subdivision to lot sizes in excess of what this ordinance requires shall use restrictive covenants.

B. Other Requirements:

1. Any requirement not identified in this section shall comply with that requirement as described in the underlying zoning category.
2. The development of property in this district shall comply with either the overlay district restrictions or the underlying zoning restrictions.
3. Any requirements necessary for residential development or use not specifically stated in this section shall comply with the SF-7 district requirements.

C. Area Requirements:

1. Minimum lot area - 5,000 square feet
2. Maximum number of single-family detached dwellings units per lot - 1
3. Minimum square footage per dwelling unit - 900 square feet
4. Minimum lot frontage on a public street - 50 feet*

EXHIBIT "B"

STATE ROADSIDE PARK

S-5
(Ord. 78-8)

OF
(Ord. 82-20)

SF-7
ELEMENTARY SCHOOL

C
(Ord. 88-38)

MIDDLE SCHOOL

GR
(205)

MF
15

MF-15

2F
C

C

LI
ALUMAX

PD-12

PD-42
(Ord. 82-14)

GR

SF-7

NC

SOUTHSIDE RESIDENTIAL
NEIGHBORHOOD OVERLAY
DISTRICT

HC

LI

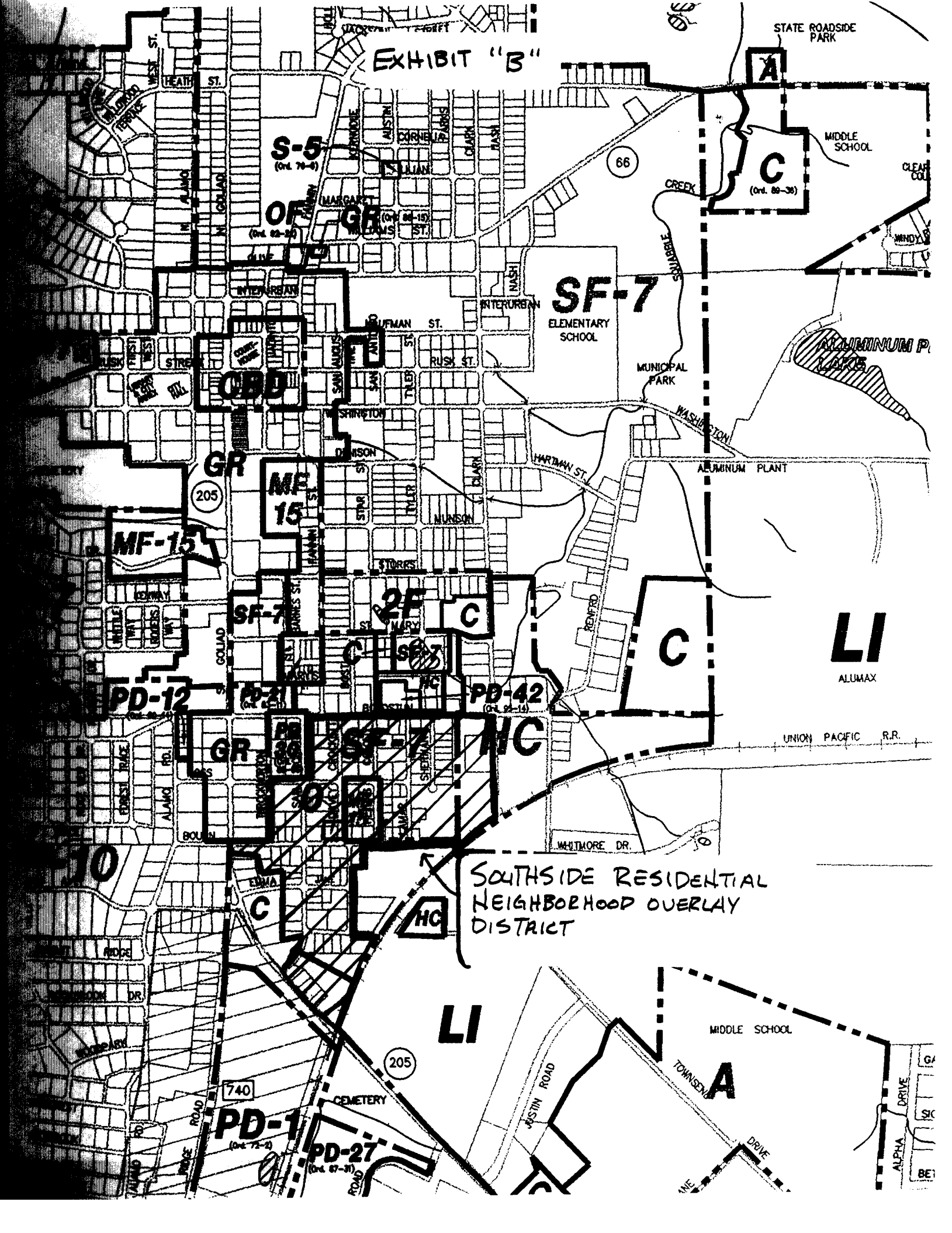
MIDDLE SCHOOL

A

PD-1
(Ord. 75-2)

PD-27
(Ord. 87-3)

ALPHA DRIVE
SC
BE



SECTION 2.2

SOUTHSIDE RESIDENTIAL NEIGHBORHOOD (SO) – (Ord. 96-12)

A. Purpose:

1. This district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. This district is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.
2. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on residential usage required by the allowed density.
3. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non-single family traffic.
4. Developers wishing to restrict their subdivision to lot sizes in excess of what this ordinance requires shall use restrictive covenants.

B. Other Requirements:

1. Any requirement not identified in this Section shall comply with that requirement as described in the underlying zoning category.
2. The development of property in this district shall comply with either the overlay district restrictions or the underlying zoning restrictions.
3. Any requirements necessary for residential development or use not specifically stated in this Section shall comply with the SF-7 district requirements.

C. Area Requirements:

1. Minimum lot area – 5,000 square feet
2. Maximum number of single-family detached dwellings units per lot – 1
3. Minimum square footage per dwelling unit – 900 square feet
4. Minimum lot frontage on a public street – 50 feet*
5. Minimum lot depth – 100 feet*

SECTION 2.2

SOUTHSIDE RESIDENTIAL NEIGHBORHOOD (SO) – (Ord. 96-12)

6. Minimum depth of front setback – 20 feet*
7. Minimum depth of rear setback – 10 feet*
8. Minimum width of side setback –
 - (a) Internal lot – 6 feet*
 - (b) Abutting street – 15 feet*
 - (c) Abutting an arterial – 20 feet*

* These setbacks may be varied by the Planning and Zoning Commission and City Council upon request of the applicant.

9. Minimum distance between separate buildings on the same lot or parcel of land – 10 feet
10. Minimum length of driveway pavement from the public right-of-way for rear or side yards – 20 feet
11. Maximum building coverage as a percentage of lot area – 40 percent
12. Maximum height of structures – 32 feet
13. Minimum number of paved off-street parking spaces required for –
 - (a) One single-family dwelling unit – 2
An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) All other uses (see Off-Street Parking, Article V)
14. See Article VIII, Sections 8.1 to 8.4 for further clarification, and exceptions and modifications.

D. CONSIDERATION OF SPECIAL REQUEST IN FURTHERANCE OF NEIGHBORHOOD PRESERVATION

The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within an established neighborhood preservation

SECTION 2.2

SOUTHSIDE RESIDENTIAL NEIGHBORHOOD (SO) – (Ord. 96-12)

overlay district. Such requests may include, but not necessarily be limited to, neighborhood signage plans, use of building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, or other requests submitted for consideration.

Upon receipt of such special requests, the City Council shall review same and forward its recommendation to the Planning and Zoning Commission for consideration. Upon recommendations from the Planning and Zoning Commission, the City Council may approve said requests by amendment of the ordinance designating such neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in the Zoning Ordinance. Such special requests may be denied by the City Council by passage of a motion to deny.

6.4 SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT

A. Purpose

This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.

B. Other Requirements

Any requirements necessary for residential development or use not specifically stated in this Section shall comply with the SF-7 district requirements.

C. Area Requirements

1. Minimum **lot area** - *5,000 square feet*
2. Maximum number of **single-family detached dwellings** units per lot - 1
3. Minimum **square footage** per dwelling unit - *900 square feet*
4. Minimum **lot frontage** on a public street - *50 feet**
5. Minimum **lot depth** - *100 feet**
6. Minimum depth of **front yard setback** - *20 feet**
7. Minimum depth of **rear yard setback** - *10 feet**
8. Minimum width of **side yard setback** -
 - (a) Internal lot - *6 feet**
 - (b) Abutting street - *15 feet**
 - (c) Abutting an arterial - *20 feet**

[* These setbacks may be varied by the Planning and Zoning Commission and City Council upon request of the applicant.]
9. Minimum **distance between separate buildings** on the same lot or parcel of land - *10 feet*
10. Minimum **length of driveway** pavement from the public right-of-way for rear or side yards - *20 feet*
11. Maximum **building coverage** as a percentage of lot area - *40 percent*
12. Maximum **building height** - *32 feet*
13. Minimum number of paved **off-street parking spaces** required for -
 - (a) One single-family dwelling unit – 2. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) For all other uses see Article V Parking and Loading
14. See Article VIII, Sections 8.1 to 8.4 for further clarification, and exceptions and modifications.

D. Consideration of Special Request in Furtherance of Neighborhood Preservation

The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be

limited to, neighborhood signage plans, use of building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, or other requests submitted for consideration.

Upon receipt of such special requests, the City Council shall review same and forward its recommendation to the Planning and Zoning Commission for consideration. Upon recommendations from the Planning and Zoning Commission, the City Council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in the Zoning Ordinance. Such special requests may be denied by the City Council by passage of a motion to deny.



- (J) Lighting Standards. In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the North Goliad Corridor Overlay District. All lighting fixtures shall focus light downward and be contained on the site. Lighting elements shall be incandescent, metal Halide, or halogen only. No HID or fluorescent lights (except fluorescent bulbs that screw into standard socket fixtures) may be used on the exterior of buildings. All street lighting shall meet the specifications for a B1 & B2 contained in [Subsection \(I\), Streetscape Elements, of Section 04.07, Downtown \(DT\) District, of the Unified Development Code \(UDC\)](#).
- (K) Variance. The City Council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter majority vote of those City Council members present with a minimum of four affirmative votes.

SUBSECTION 06.05: SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT

- (A) Purpose. The purpose of the overlay district is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood.
- (B) Other Requirements. Any requirements not specifically stated in this section shall comply with the Single-Family 7 (SF-7) District requirements.
- (C) Area Requirements.
- (1) Minimum lot area: 5,000 square feet.
 - (2) Maximum number of single-family detached dwellings units per lot: One.
 - (3) Minimum square footage per dwelling unit: 900 square feet.
 - (4) Minimum lot frontage on a public street: 50 feet.
 - (5) Minimum lot depth: 100 feet.
 - (6) Minimum depth of front yard setback: 20 feet.
 - (7) Minimum depth of rear yard setback: 10 feet.
 - (8) Minimum width of side yard setback:
 - (a) Internal lot: 6 feet.
 - (b) Abutting street: 15 feet.
 - (c) Abutting an arterial: 20 feet.
 - (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
 - (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
 - (11) Maximum building coverage as a percentage of lot area: 40%.
 - (12) Maximum building height: 32 feet.

- (13) Minimum number of paved off-street parking spaces required for:
- (a) One single-family dwelling unit: Two (2) Parking Spaces. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) All other uses: see [Article 06, Parking and Loading, of the Unified Development Code \(UDC\)](#).

- (D) Consideration of Special Request in Furtherance of Neighborhood Preservation. The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials reductions in the building setbacks, or other requests submitted for consideration to the planning and zoning department.

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code (UDC). Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.

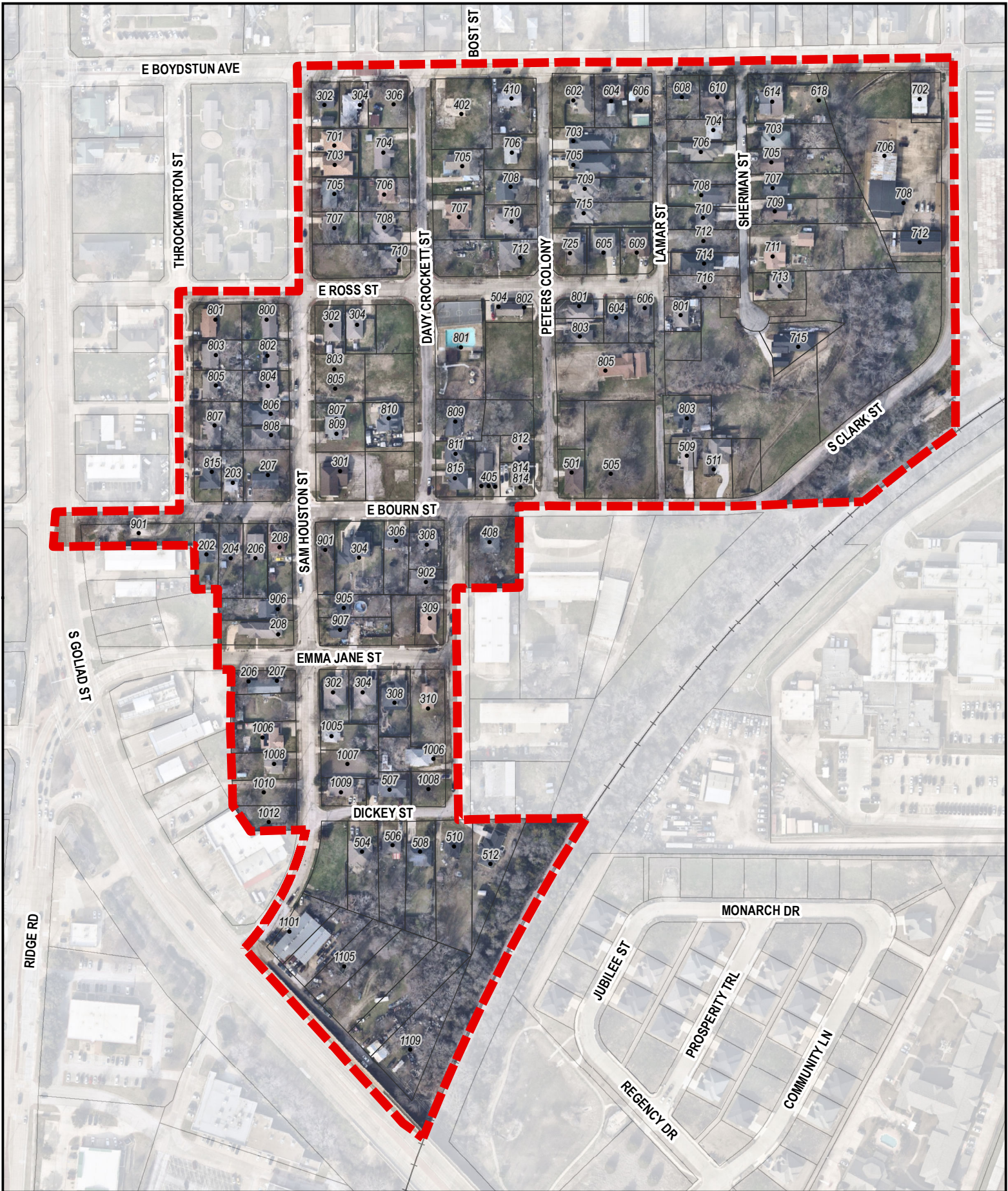
SUBSECTION 06.06: IH-30 OVERLAY (IH-30 OV) DISTRICT

- (A) Purpose. The intent of the IH-30 Overlay (IH-30 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) Application and Boundaries. The IH-30 Overlay (IH-30 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the future right-of-way of IH-30. The IH-30 Overlay (IH-30 OV) District spans east to west along IH-30 from the eastern city limits (approximately 3,600-feet east of FM 549), west to the western city limit line along Lake Ray Hubbard. The standards and regulations set forth in the IH-30 Overlay (IH-30 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.

- (C) Overlay District Standards. If any portion of a property is situated within the boundaries of the IH-30 Overlay (IH-30 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.07: SH-205 OVERLAY (SH-205 OV) DISTRICT

- (A) Purpose. The intent of the SH-205 Overlay (SH-205 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically

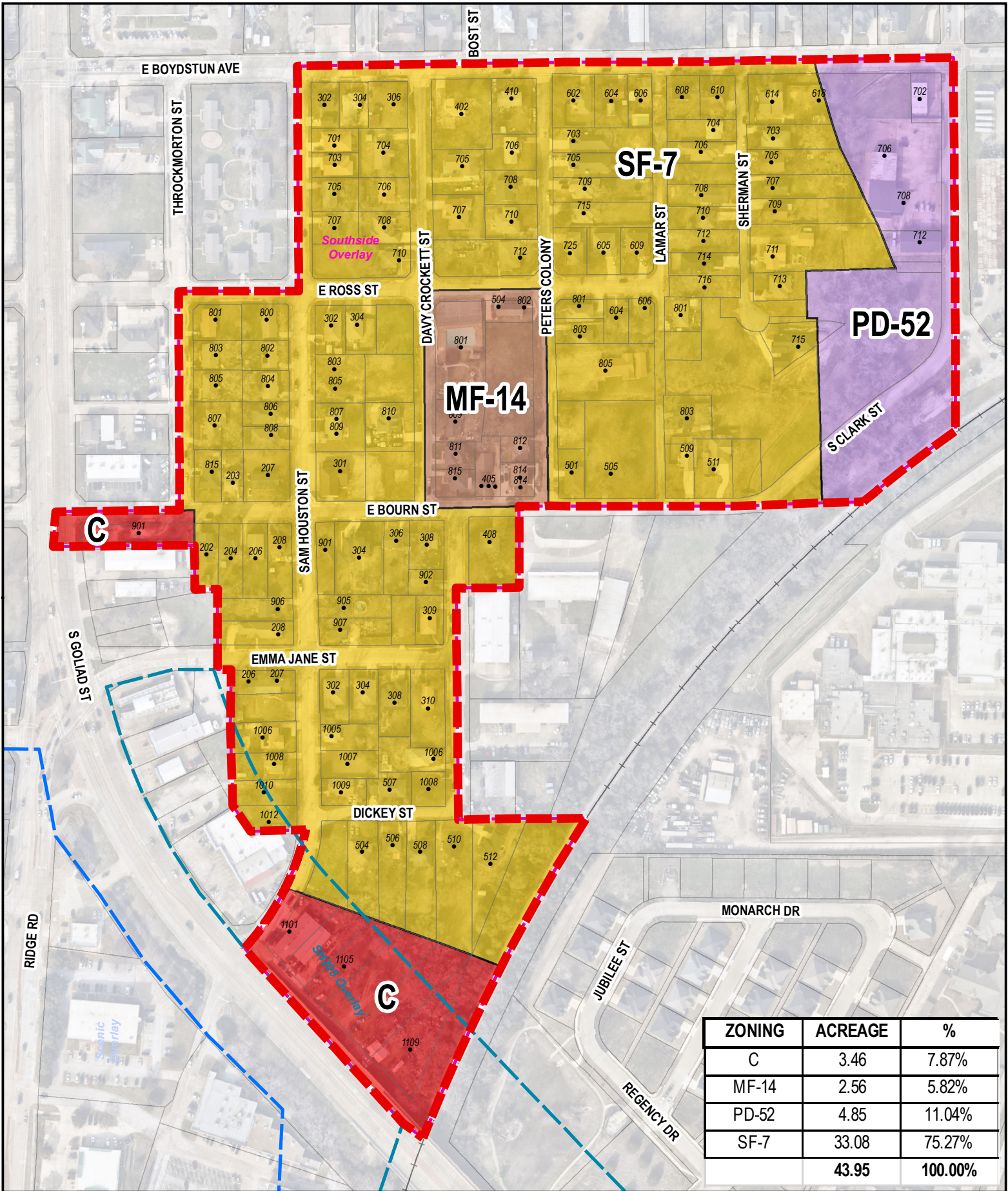


City of Rockwall

Planning and Zoning Department
 385 S. Goliad Street
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 (P): 972-771-7745
 (W): www.rockwall.com

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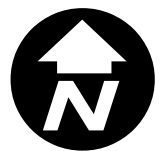


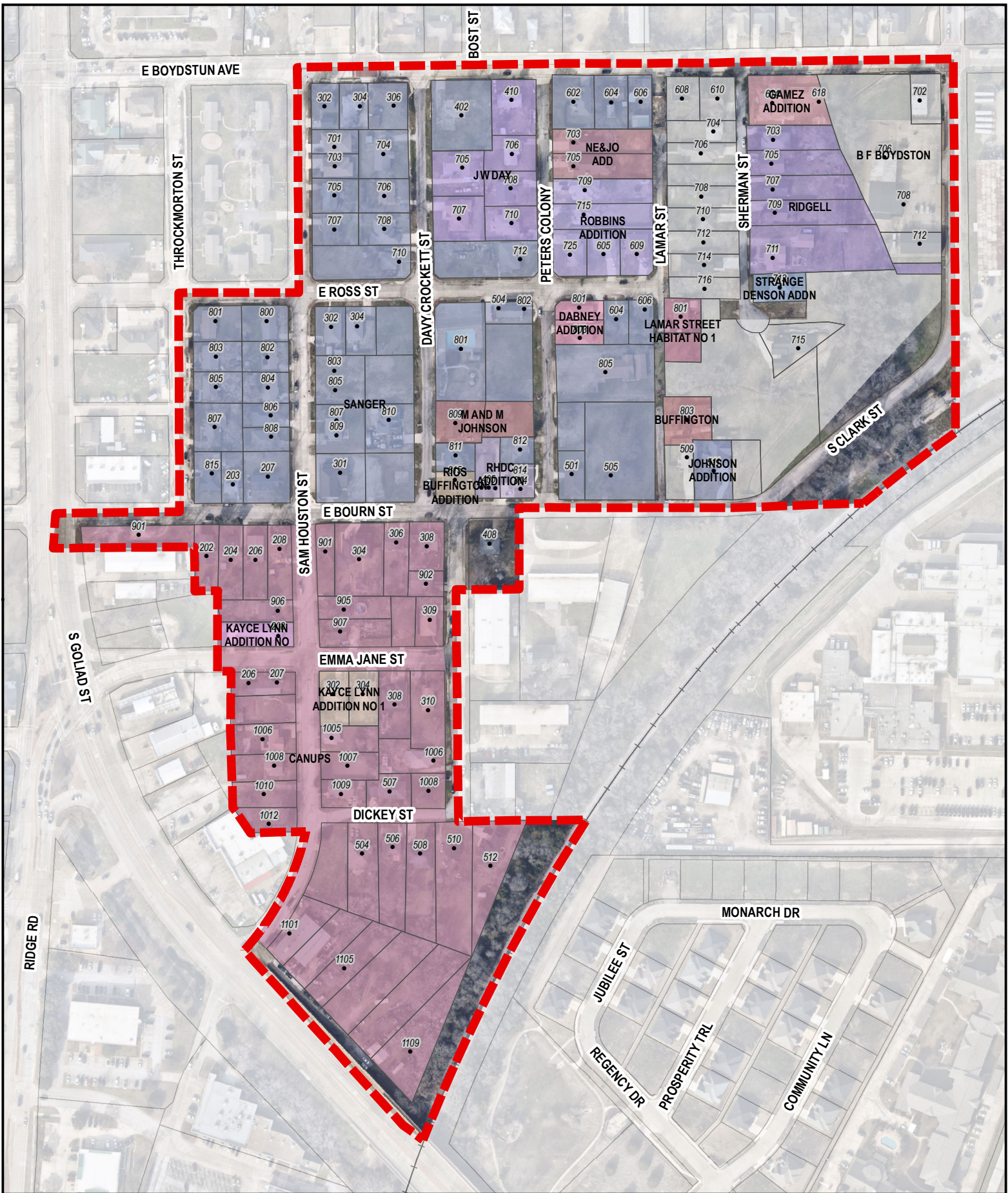


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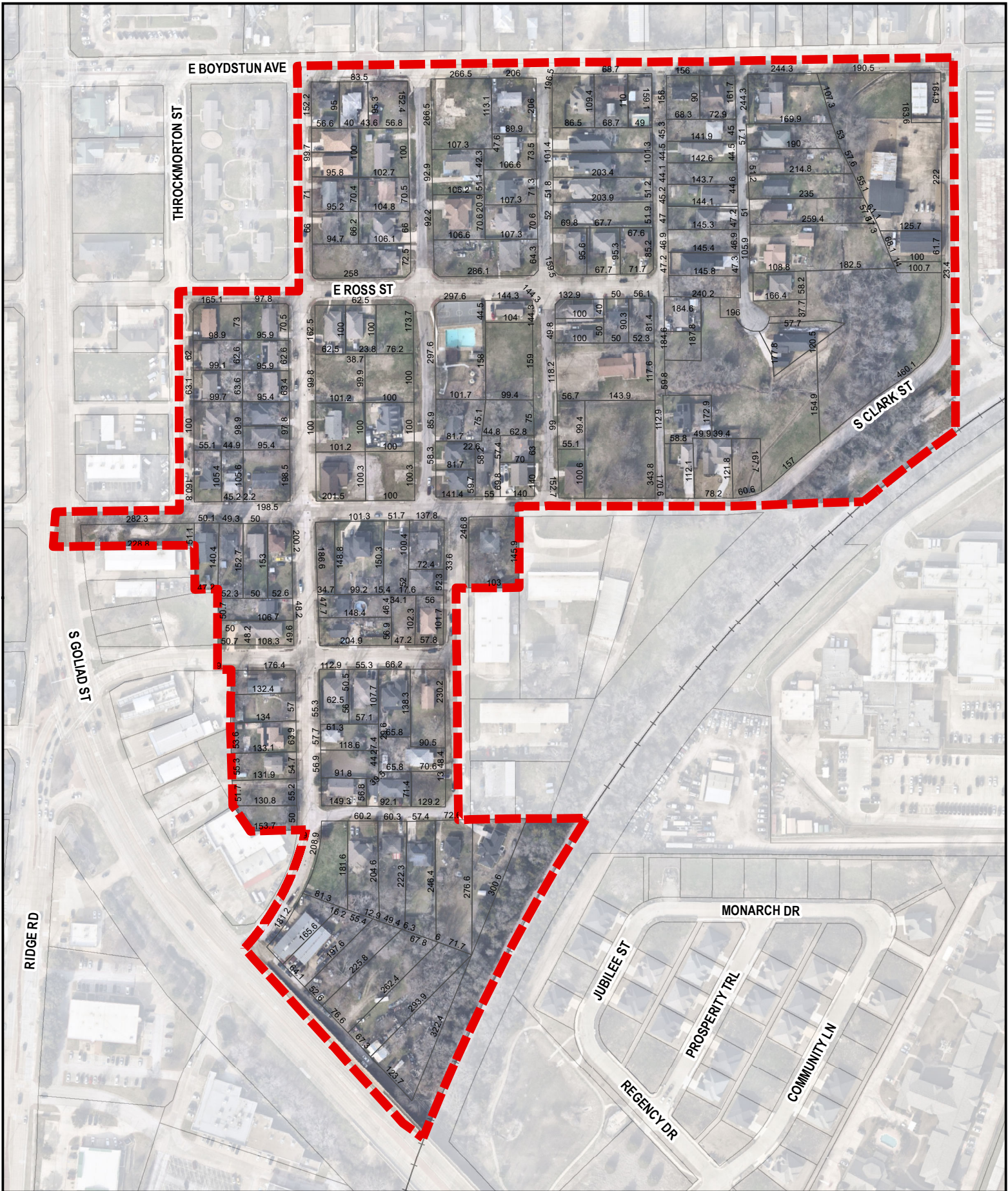


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Legend

Year Built

- Unknown
- 1920 - 1929
- 1940 - 1949
- 1950 - 1959
- 1960 - 1969
- 1970 - 1979
- 1980 - 1989
- 1990 - 1999
- 2000 - 2009
- 2010 - 2019
- 2020+

RCAD ID	ADD	STREET	YR BLT	LIVING AREA (sq ft)	RCAD ID	ADD	STREET	YR BLT	LIVING AREA (sq ft)	
14852	202	E BOURN AVE	1987	1528	14801	901	S GOLIAD ST	0	0	
21997	203	E BOURN AVE	1960	832	14815	902	S GOLIAD ST	0	0	
46966	204	BOURN AVE	1970	1305	14814	801	S GOLIAD ST	0	0	
46965	206	BOURN AVE	1996	1300	14390	801	LAMAR ST	2017	1326	
21995	207	BOURN AVE	1995	1525	14604	803	LAMAR ST	1982	1152	
14847	208	BOURN ST	2003	858	14448		LAMAR	0	0	
21991	301	E BOURN ST	1920	3578	21940	703	PETERS COLONY	2020	1813	
14845	304	BOURN ST	2021	1993	101861	705	PETERS COLONY	2020	1813	
14844	306	BOURN AVE	1982	1040	16167	706	PETERS COLONY	1975	1248	
14842	308	BOURN ST	1979	1044	16168	708	PETERS COLONY	1970	1360	
21984	403	E BOURN ST	2021	531	64641	709	PETERS COLONY	2006	1330	
13142	408	BOURN AVE	1988	1130	16169	710	PETERS COLONY	1972	1680	
21977	501	E BOURN AVE	1975	1225	21945	712	PETERS COLONY	1974	1856	
21976	505	E BOURN ST	0	0	64640	715	PETERS COLONY	2006	1330	
14448	509	E BOURN ST	1976	1008	64637	725	PETERS COLONY	2006	1375	
14447		E BOURN ST	2023	1999	65955	801	PETERS COLONY	2011	1469	
14846		BOURN ST	0	0	65956	803	PETERS COLONY	2010	1420	
14449		BOURN ST	0	0	21975	805	PETERS COLONY	0	0	
21984		E BOURN ST	2021	531	21974	805	PETERS COLONY	1990	3748	
21948	302	E BOYDSTUN AVE	1985	600	21981	812	PETERS COLONY	1980	1016	
21949	304	E BOYDSTUN AVE	1980	1178	21983		PETERS COLONY	0	0	
21948	304	E BOYDSTUN AVE	1980	1178	86947		PETERS COLONY	0	0	
21944	402	E BOYDSTUN AVE	0	1718	21985	302	E ROSS ST	2013	1420	
16166	410	E BOYDSTUN AVE	1975	1152	83705	304	E ROSS ST	2012	1400	
21938	602	E BOYDSTUN AVE	2005	1254	21982	504	ROSS ST	2017	420	
21939	604	E BOYDSTUN AVE	1967	946	21971	604	S ROSS ST	1975	912	
21937	606	E BOYDSTUN AVE	1957	823	64638	605	E ROSS ST	2006	1362	
21937	606	E BOYDSTUN AVE	1957	823	21973	606	ROSS ST	1975	480	
14831	608	E BOYDSTUN AVE	1975	874	64639	609	E ROSS ST	2006	1362	
14830	610	E BOYDSTUN AVE	2006	818	14831	1005	SAM HOUSTON ST	1956	624	
32089	614	E BOYDSTUN AVE	1964	1508	14825	1006	SAM HOUSTON ST	1987	1600	
14836	702	S CLARK ST	2000	1900	14832	1007	SAM HOUSTON ST	0	0	
21032	702	S CLARK ST	2000	6465	14834	1008	SAM HOUSTON ST	1952	860	
65203	712	CLARK ST	1995	3200	14833	1009	SAM HOUSTON ST	2004	1450	
21034		CLARK ST	0	0	14823	1010	SAM HOUSTON ST	0	0	
27046		CLARK ST	0	0	14855	1012	SAM HOUSTON ST	0	0	
21986		DAVY CROCKETT ST	0	0	21955	701	SAM HOUSTON ST	2017	1595	
14834	1006	DAVY CROCKETT ST	1940	1458	91090	703	SAM HOUSTON ST	2017	1532	
14835	1008	DAVY CROCKETT ST	1968	960	21950	705	SAM HOUSTON ST	1973	1456	
21946	704	DAVY CROCKETT ST	1978	1500	21952	707	SAM HOUSTON ST	1975	1162	
16170	705	DAVY CROCKETT ST	1958	2092	21931	800	SAM HOUSTON ST	1979	1539	
21951	706	DAVY CROCKETT ST	1984	1020	21932	802	SAM HOUSTON ST	1975	1663	
16171	707	DAVY CROCKETT ST	2006	1079	21933	804	SAM HOUSTON ST	1975	1508	
21953	708	DAVY CROCKETT ST	2015	2019	21988	805	SAM HOUSTON ST	0	0	
21954	710	DAVY CROCKETT ST	1975	1013	21993	806	SAM HOUSTON ST	2017	1547	
21978	801	DAVY CROCKETT ST	1980	2177	88708	808	SAM HOUSTON ST	2015	1154	
86946	809	DAVY CROCKETT ST	1955	1463	21990	809	SAM HOUSTON ST	1969	1200	
21989	810	DAVY CROCKETT ST	2003	1732	14841	905	SAM HOUSTON ST	1967	828	
47005	811	DAVY CROCKETT ST	1968	1036	14849	906	SAM HOUSTON ST	2004	1044	
47005	815	DAVY CROCKETT ST	1968	1150	14840	907	SAM HOUSTON ST	1997	928	
14843	902	DAVY CROCKETT ST	1950	1000	14826	908	SAM HOUSTON ST	1980	1480	
21987		DAVY CROCKETT ST	0	0	21027	703	SHERMAN ST	2007	1420	
21992		DAVY CROCKETT ST	0	0	14392	704	SHERMAN ST	1980	936	
14821	504	DICKEY ST	2000	1571	21028	705	N SHERMAN ST	1994	1207	
14820	506	DICKEY ST	2008	1112	14393	706	SHERMAN ST	2020	1851	
61961	507	DICKEY ST	2004	1420	21029	707	N SHERMAN ST	2007	1458	
14819	508	DICKEY ST	2007	1657	14384	708	SHERMAN ST	1974	1288	
14818	510	DICKEY ST	1947	866	21030	709	N SHERMAN ST	2007	1458	
14817	512	DICKEY ST	0	0	14386	710	SHERMAN ST	1994	1200	
14839		DICKEY ST	0	0	21031	711	N SHERMAN ST	1982	1632	
14827	206-207	EMMA JANE ST	1967	1680	14387	712	SHERMAN ST	0	0	
14850	208	EMMA JANE ST	2019	1800	33107	713	SHERMAN ST	1990	1276	
97706	302	EMMA JANE ST	2018	1843	14445	715	SHERMAN ST	0	0	
97707	304	EMMA JANE ST	2018	1843	14399	716	SHERMAN ST	0	0	
14838	308	EMMA JANE ST	2004	1543	14385	801	SHERMAN ST	0	0	
14839	309	EMMA JANE ST	2014	1460	21034	801	THROCKMORTON ST	1980	1134	
14836	310	EMMA JANE ST	1975	1056	21935	803	THROCKMORTON ST	1981	1100	
14812	1101	S GOLIAD ST	ST	0	21936	805	THROCKMORTON ST	2017	1084	
14811	1101	S GOLIAD ST	ST	1988	8870	21994	807	THROCKMORTON ST	1988	2284
14813	1105	S GOLIAD ST	ST	0	21996	815	0	2004	1721	
14816	1109	S GOLIAD ST	ST	1960	744	95761	N/A	0	0	

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

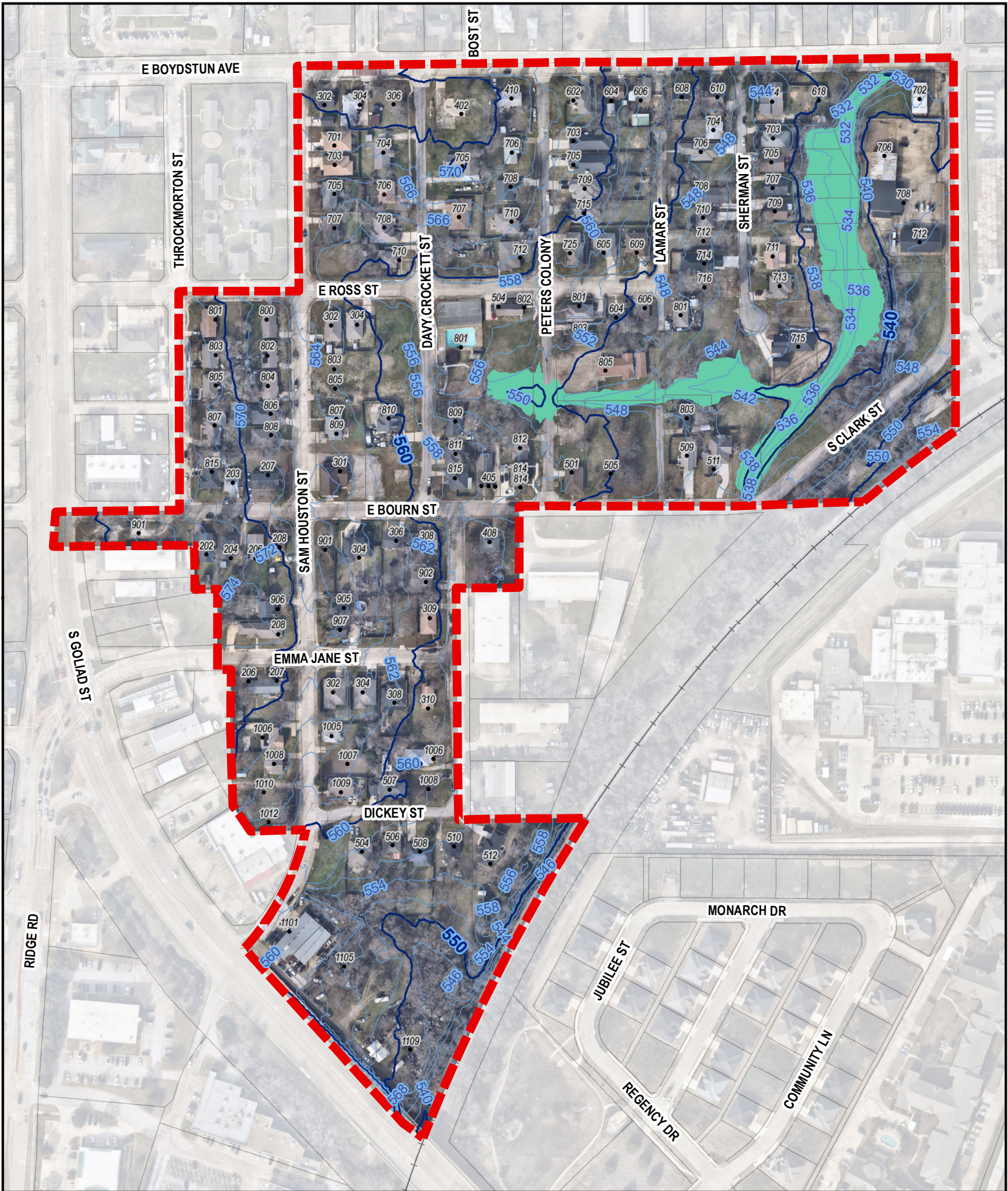
Rockwall, Texas 75087

(P): 972-771-7745

(W): www.rockwall.com

The City of Rockwall GIS Maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of Information is the sole responsibility of the end user.



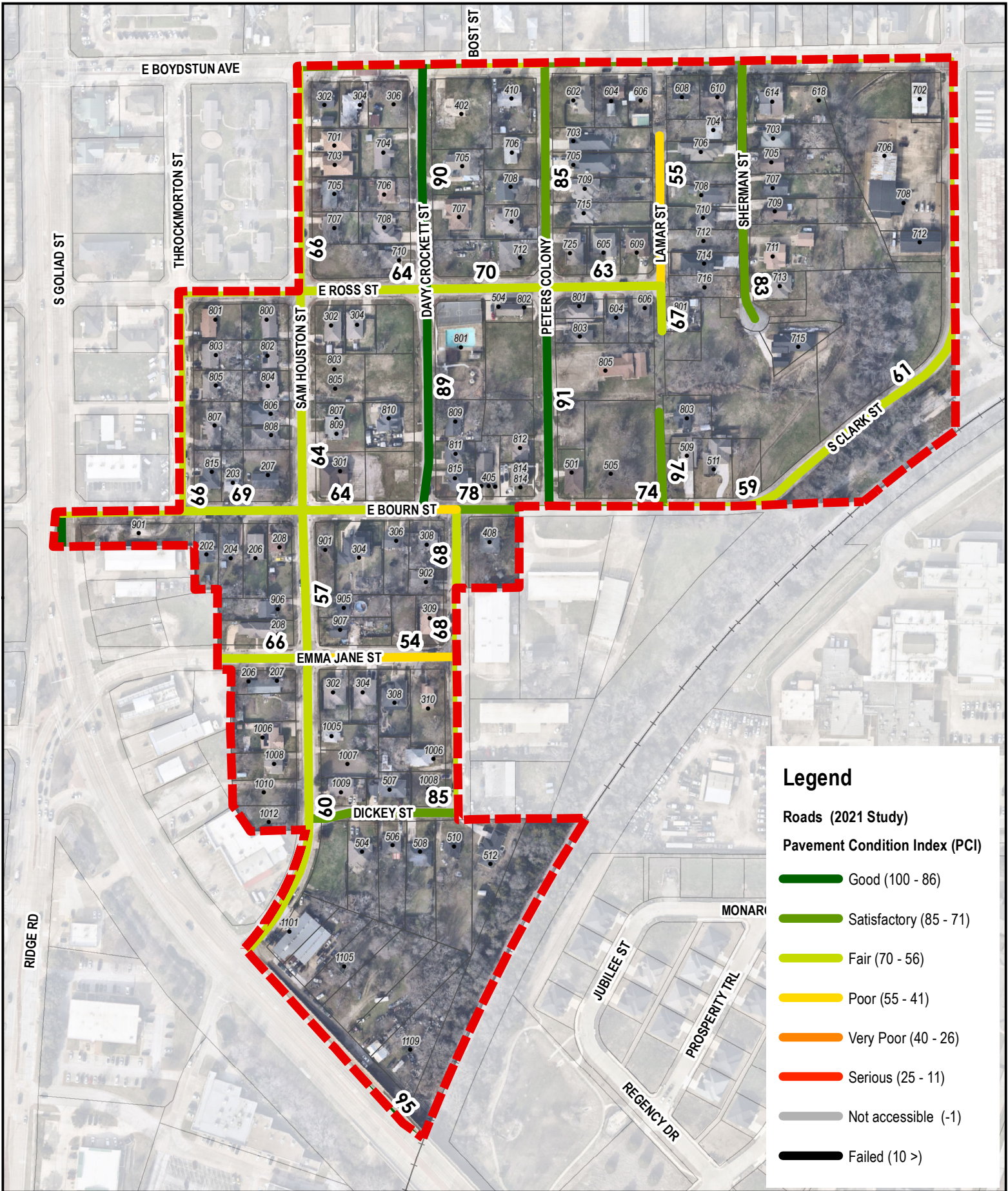


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Legend

- Roads (2021 Study)**
- Pavement Condition Index (PCI)**
- █ Good (100 - 86)
 - █ Satisfactory (85 - 71)
 - █ Fair (70 - 56)
 - █ Poor (55 - 41)
 - █ Very Poor (40 - 26)
 - █ Serious (25 - 11)
 - █ Not accessible (-1)
 - █ Failed (10 >)



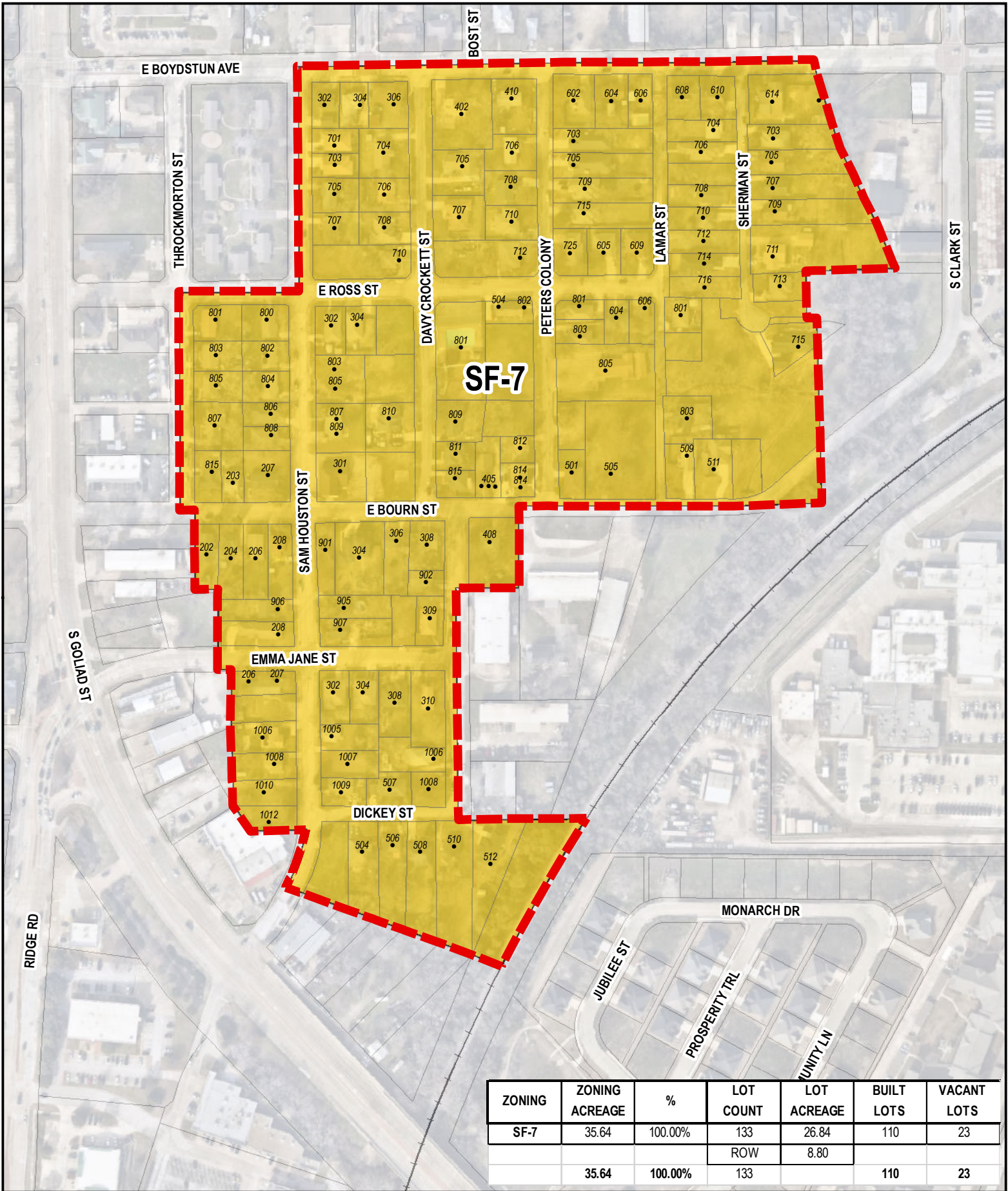
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95761	N/A			0.10	\$ 145,000.00	\$ -	\$ 145,000.00			NO	VACANT	Residential	SF-7	SF-7	A1	No
97706	302	EMMA JANE		0.15	\$ 145,000.00	\$ 283,235.00	\$ 428,235.00	2018	1,843	NO	BUILT	Residential	SF-7	SF-7	A1	No
97707	304	EMMA JANE		0.15	\$ 145,000.00	\$ 246,437.00	\$ 391,437.00	2018	1,843	NO	BUILT	Residential	SF-7	SF-7	A1	No
14850	208	EMMA JANE	ST	0.17	\$ 145,000.00	\$ 245,000.00	\$ 390,000.00	2019	1,800	NO	BUILT	Residential	SF-7	SF-7	A1	No
101861	705	PETERS COLONY		0.24	\$ 145,000.00	\$ 305,000.00	\$ 450,000.00	2020	1,813	NO	BUILT	Residential	SF-7	SF-7		No
21940	703	PETERS COLONY		0.24	\$ 145,000.00	\$ 344,522.00	\$ 489,522.00	2020	1,813	NO	BUILT	Residential	SF-7	SF-7	C1	No
21984		E	BOURN	0.11	\$ 145,000.00	\$ 338,558.00	\$ 483,558.00	2021	531	YES	BUILT	Residential	MF-14	MF-14		No
14445	715	SHERMAN	ST	0.03	\$ 184,150.00	\$ -	\$ 184,150.00			NO	BUILT	Residential	SF-7	SF-7	C1	Yes
				TOTAL:	32.28	\$ 21,194,858.00	\$ 14,611,003.00	\$ 35,805,861.00								
				ROW:	11.67											
				TOTAL ACREAGE:	43.95											



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- (J) Lighting Standards. In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the North Goliad Corridor Overlay District. All lighting fixtures shall focus light downward and be contained on the site. Lighting elements shall be incandescent, metal Halide, or halogen only. No HID or fluorescent lights (except fluorescent bulbs that screw into standard socket fixtures) may be used on the exterior of buildings. All street lighting shall meet the specifications for a B1 & B2 contained in [Subsection \(I\), Streetscape Elements, of Section 04.07, Downtown \(DT\) District, of the Unified Development Code \(UDC\)](#).
- (K) Variance. The City Council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter majority vote of those City Council members present with a minimum of four affirmative votes.

SUBSECTION 06.05: SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT

- (A) Purpose. The purpose of the overlay district is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood.
- ~~(B) Other Requirements. Any requirements not specifically stated in this section shall comply with the Single Family 7 (SF-7) District requirements.~~
- ~~(C) Area Requirements.~~
- ~~(1) Minimum lot area: 5,000 square feet.~~
 - ~~(2) Maximum number of single-family detached dwellings units per lot: One.~~
 - ~~(3) Minimum square footage per dwelling unit: 900 square feet.~~
 - ~~(4) Minimum lot frontage on a public street: 50 feet.~~
 - ~~(5) Minimum lot depth: 100 feet.~~
 - ~~(6) Minimum depth of front yard setback: 20 feet.~~
 - ~~(7) Minimum depth of rear yard setback: 10 feet.~~
 - ~~(8) Minimum width of side yard setback:~~
 - ~~(a) Internal lot: 6 feet.~~
 - ~~(b) Abutting street: 15 feet.~~
 - ~~(c) Abutting an arterial: 20 feet.~~
 - ~~(9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.~~
 - ~~(10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.~~
 - ~~(11) Maximum building coverage as a percentage of lot area: 40%.~~
 - ~~(12) Maximum building height: 32 feet.~~

~~(13) Minimum number of paved off-street parking spaces required for:~~

- ~~(a) One single-family dwelling unit: Two (2) Parking Spaces. An enclosed garage shall not be considered in meeting the off-street parking requirements.~~
- ~~(b) All other uses: see Article 06, Parking and Loading, of the Unified Development Code (UDC).~~

~~(D)(B) Consideration of Special Request in Furtherance of Neighborhood Preservation. The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials reductions in the building setbacks, or other requests submitted for consideration to the ~~planning-Planning and zoning Zoning departmentDepartment~~.~~

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code (UDC). Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.

SUBSECTION 06.06: IH-30 OVERLAY (IH-30 OV) DISTRICT

- (A) Purpose. The intent of the IH-30 Overlay (IH-30 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) Application and Boundaries. The IH-30 Overlay (IH-30 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the future right-of-way of IH-30. The IH-30 Overlay (IH-30 OV) District spans east to west along IH-30 from the eastern city limits (approximately 3,600-feet east of FM 549), west to the western city limit line along Lake Ray Hubbard. The standards and regulations set forth in the IH-30 Overlay (IH-30 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.
- (C) Overlay District Standards. If any portion of a property is situated within the boundaries of the IH-30 Overlay (IH-30 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.07: SH-205 OVERLAY (SH-205 OV) DISTRICT

- (A) Purpose. The intent of the SH-205 Overlay (SH-205 OV) District is to provide for consistent development of office, retail and

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SUBSECTION 06.05, SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, EXHIBITS 'A' THROUGH 'E' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council in accordance with Subsections 02.01(B)(1) and 02.01(C)(1) of Article 11, *Development Review Procedures*, of the Unified Development Code (UDC) to make changes to the Southside Residential Neighborhood Overlay (SRO) District as contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

WHEREAS, the Southside Residential Neighborhood Overlay (SRO) District was adopted on June 3, 1996 by *Ordinance No. 96-12* for the purpose of allowing "...flexibility necessary for the redevelopment [*of the Southside Neighborhood*] while protecting the integrity of the neighborhood ..."; and,

WHEREAS, the City Council of the City of Rockwall has determined that changes to the Southside Residential Neighborhood Overlay (SRO) District -- *including changing the boundaries of the district* -- are needed to ensure the district continues to preserve the Southside Neighborhood while accommodating new residential infill development within the district; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that *Ordinance No. 96-12* and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated by *Ordinance No. 96-12*;

SECTION 2. That the current boundaries of the Southside Residential Neighborhood Overlay (SRO) District are described in *Exhibit 'A'* of this ordinance and depicted in *Exhibit 'B'* of this ordinance;

SECTION 3. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as here to fore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the boundary of the Southside Residential Neighborhood Overlay (SRO) District as described in *Exhibit 'C'* of this ordinance and depicted in *Exhibit 'D'* of this ordinance;

SECTION 4. That Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'E'* of this ordinance;

SECTION 5. That the official zoning map of the City of Rockwall be corrected to reflect the changes in

the zoning described herein;

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF OCTOBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

EXHIBIT 'A'

*Description of the Boundary of the Southside Residential Neighborhood
Overlay (SRO) District as Approved by Ordinance No. 96-12*

BEING 43.955 acres of land situated in Abstract 255, B.J.T. Smith Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Southeastern corner of Tract 35, Abstract 255, also known as 408 Bourne St., RCAD # 13142 (NAD83 Texas State Plane GPS Coordinate (Grid): E2,595,231.526, N7,024,244.726 Feet);

- 1 **THENCE** South 89°-39'-26" West, to the Centerline of Davy Crockett Street, a distance of 128.809 feet for a corner;
- 2 **THENCE** South 00°-34'-31" East, along said Centerline, a distance of 473.988 feet for a corner;
- 3 **THENCE** North 87°-48'-46" East, a distance of 28.96 feet to a point;
- 4 **THENCE** North 88°-58'-53" East, a distance of 111.243 feet to a point;
- 5 **THENCE** North 89°-56'-26" East, a distance of 121.614 feet to the beginning of a curve;
- 6 **THENCE** along said curve to the left, also being the Centerline of the Union Pacific / Dallas Garland Northeast Railroad, having an angle of 05°-09'-41", and a radius of 3,874.726 feet, with a chord bearing of South 29°-54'-33" West, and a chord distance of 348.927 feet;
- 7 **THENCE** continuing along said curve to the left, having an angle of 05°-42'-17", and a radius of 3,874.726 feet, with a chord bearing of South 24°-28'-34" West, and a chord distance of 385.639 feet;
- 8 **THENCE** North 53°-43'-12" West, a distance of 53.345 feet to a point;
- 9 **THENCE** North 42°-12'-26" West, a distance of 142.839 feet to a point;
- 10 **THENCE** North 42°-18'-05" West, a distance of 197.046 feet to a point;
- 11 **THENCE** North 41°-50'-24" West, a distance of 142.159 feet to the beginning of a curve;
- 12 **THENCE** along said curve to the left having an angle of 16°-06'-50", and a radius of 535.538 feet, with a chord bearing of North 33°-59'-03" East, and a chord distance of 150.119 feet;
- 13 **THENCE** continuing along said curve to the left, having an angle of 13°-21'-16", and a radius of 535.538 feet, with a chord bearing of North 19°-15'-00" East, and a chord distance of 124.541 feet;
- 14 **THENCE** South 88°-36'-15" West, a distance of 112.868 feet for a corner;
- 15 **THENCE** North 34°-50'-07" West, a distance of 63.396 feet for a corner;
- 16 **THENCE** North 01°-52'-07" W, a distance of 160.64 feet to a point;
- 17 **THENCE** North 00°-56'-20" East, a distance of 118.181 feet for a corner;
- 18 **THENCE** South 89°-44'-51" West, generally along the South Right of Way of Emma Jane Street, a distance of 28.524 feet for a corner;
- 19 **THENCE** North 00°-17'-45" East, a distance of 164.502 feet for a corner;
- 20 **THENCE** South 88°-33'-45" West, a distance of 47.169 feet for a corner;
- 21 **THENCE** North 00°-18'-59" West, a distance of 90.722 feet for a corner;
- 22 **THENCE** South 89°-24'-02" West, to the approximate Centerline of South Goliad Street, a distance of 288.387 feet for a corner;
- 23 **THENCE** North 03°-37'-36" East, along said Centerline, a distance of 71.405 feet for a corner;
- 24 **THENCE** North 89°-13'-13" East, a distance of 253.722 feet for a corner;
- 25 **THENCE** North 00°-18'-07" West, approximately along the Centerline of Throckmorton Street, a distance of 447.103 feet for a corner;
- 26 **THENCE** North 89°-51'-01" East, approximately along the Centerline of Ross Street, a distance of 245.605 feet for a corner;
- 27 **THENCE** North 00°-20'-52" West, approximately along the Centerline of Sam Houston Street, a distance of 459.89 feet for a corner;
- 28 **THENCE** North 89°-11'-04" East, approximately along the Centerline of East Boydston Avenue, a distance of 542.823 feet to a point;
- 29 **THENCE** North 89°-44'-54" East, a distance of 293.06 feet to a point;
- 30 **THENCE** North 88°-54'-08" East, a distance of 219.483 feet for a corner;
- 31 **THENCE** North 89°-09'-02" East, a distance of 285.502 feet to a point;
- 32 **THENCE** South 00°-26'-15" East, along the approximate Centerline of South Clark Street, a distance of 508.037 feet to a point;
- 33 **THENCE** South 00°-02'-43" East, a distance of 255.536 feet to the beginning of a curve;
- 34 **THENCE** along said curve to the left having an angle of 04°-24'-39", and a radius of 2641.593 feet, with a chord bearing of South 52°-48'-37" West, and a chord distance of 203.31 feet;
- 35 **THENCE** continuing along said curve to the left having an angle of 00°-26'-58", and a radius of 4328.33 feet, with a chord bearing of South 50°-22'-50" West, and a chord distance of 33.944 feet;
- 36 **THENCE** South 88°-31'-09" West, a distance of 84.579 feet for a corner;

EXHIBIT 'A'

*Description of the Boundary of the Southside Residential Neighborhood
Overlay (SRO) District as Approved by Ordinance No. 96-12*

- 37 **THENCE** South 87°-51'-02" West, a distance of 181.023 feet to a point;
- 38 **THENCE** South 89°-57'-17" West, generally along the Centerline of East Bourn Street, a distance of 438.243 feet for a corner;
- 39 **THENCE** South 00°-04'-29" East, along the east property line of Abstract 255, Tract 35, a distance of 166.167 feet to the POINT OF BEGINNING AND CONTAINING 43.955 acres of land (1,914,686.560 square feet) more or less.

DRAFT
ORDINANCE
09.09.2025

EXHIBIT 'B'

Depiction of the Boundary of the Southside Residential Neighborhood Overlay (SRO) District as Approved by Ordinance No. 96-12

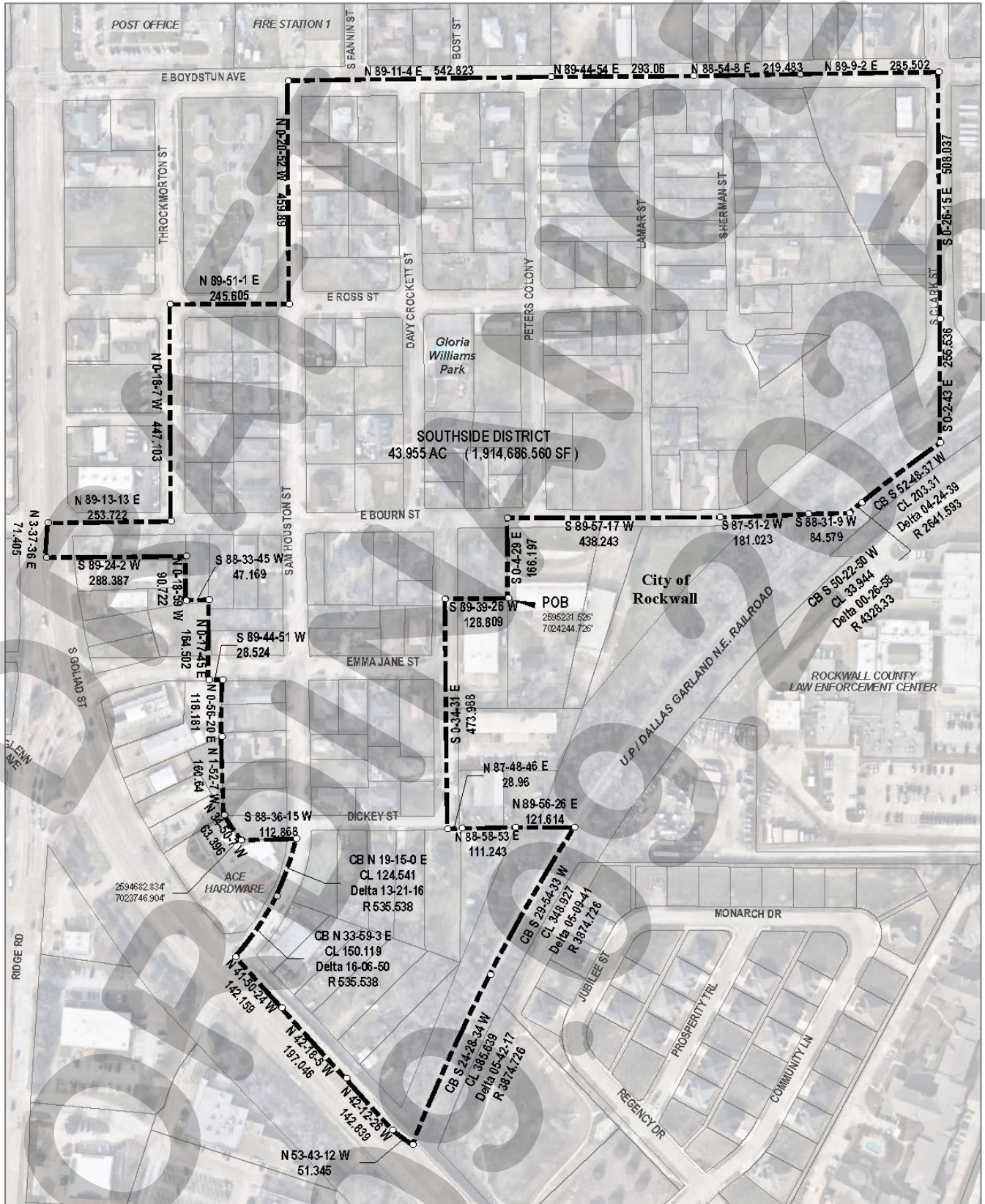


EXHIBIT 'C'

*Description of the Boundary of the Southside Residential Neighborhood
Overlay (SRO) District*

BEING 35.632 acres of land situated in Abstract 255, B.J.T. Smith Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Southeastern corner of Tract 35, Abstract 255, also known as 408 Bourne St., RCAD # 13142 (NAD83 Texas State Plane GPS Coordinate (Grid): E2,595,231.526, N7,024,244.726 Feet);

- 1 **THENCE** South 89°-39'-26" West, to the Centerline of Davy Crockett Street, a distance of 128.809 feet for a corner;
- 2 **THENCE** South 00°-34'-31" East, along said Centerline, a distance of 473.988 feet for a corner;
- 3 **THENCE** North 87°-48'-46" East, a distance of 28.96 feet to a point;
- 4 **THENCE** North 88°-58'-53" East, a distance of 111.243 feet to a point;
- 5 **THENCE** North 89°-56'-26" East, a distance of 121.614 feet to the beginning of a curve;
- 6 **THENCE** along said curve to the left, also being the Centerline of the Union Pacific / Dallas Garland Northeast Railroad, having an angle of 05°-09'-41", and a radius of 3,874.726 feet, with a chord bearing of South 29°-54'-33" West, and a chord distance of 348.927 feet;
- 7 **THENCE** North 68°-36'-05" West, a distance of 65.092 feet to a point;
- 8 **THENCE** North 70°-03'-36" West, a distance of 367.083 feet to a point;
- 9 **THENCE** North 70°-28'-57" West, a distance of 37.111 feet to the beginning of a curve;
- 10 **THENCE** along said curve to the left having an angle of 13°-21'-16", and a radius of 535.538 feet, with a chord bearing of North 19°-15'-00" East, and a chord distance of 124.541 feet;
- 11 **THENCE** South 88°-36'-15" West, a distance of 112.868 feet for a corner;
- 12 **THENCE** North 34°-50'-07" West, a distance of 63.396 feet for a corner;
- 13 **THENCE** North 01°-52'-07" W, a distance of 160.64 feet to a point;
- 14 **THENCE** North 00°-56'-20" East, a distance of 118.181 feet for a corner;
- 15 **THENCE** South 89°-44'-51" West, generally along the South Right of Way of Emma Jane Street, a distance of 28.524 feet for a corner;
- 16 **THENCE** North 00°-17'-45" East, a distance of 164.502 feet for a corner;
- 17 **THENCE** South 88°-33'-45" West, a distance of 47.169 feet for a corner;
- 18 **THENCE** North 00°-18'-59" West, a distance of 162.886 feet for a corner;
- 19 **THENCE** South 89°-06'-13" West, a distance of 29.761 feet for a corner;
- 20 **THENCE** North 00°-18'-07" West, approximately along the Centerline of Throckmorton Street, a distance of 447.103 feet for a corner;
- 21 **THENCE** North 89°-51'-01" East, approximately along the Centerline of Ross Street, a distance of 245.605 feet for a corner;
- 22 **THENCE** North 00°-20'-52" West, approximately along the Centerline of Sam Houston Street, a distance of 459.89 feet for a corner;
- 23 **THENCE** North 89°-11'-04" East, approximately along the Centerline of East Boydston Avenue, a distance of 542.823 feet to a point;
- 24 **THENCE** North 89°-44'-54" East, a distance of 293.06 feet to a point;
- 25 **THENCE** North 88°-54'-08" East, a distance of 219.483 feet for a corner;
- 26 **THENCE** South 13°-00'-08" East, a distance of 28.997 feet to a point;
- 27 **THENCE** South 17°-14'-42" East, a distance of 160.325 feet to a point;
- 28 **THENCE** South 26°-04'-55" East, a distance of 170.351 feet to a point;
- 29 **THENCE** South 22°-05'-12" East, a distance of 99.356 feet for a corner;
- 30 **THENCE** South 88°-14'-08" West, a distance of 182.46 feet for a corner;
- 31 **THENCE** South 01°-09'-25" East, a distance of 95.897 feet for a corner;
- 32 **THENCE** North 89°-50'-52" East, a distance of 20.739 feet for a corner;
- 33 **THENCE** South 01°-33'-25" East, a distance of 378.308 feet for a corner;
- 34 **THENCE** South 87°-51'-02" West, a distance of 181.023 feet to a point;
- 35 **THENCE** South 89°-57'-17" West, generally along the Centerline of East Bourn Street, a distance of 438.243 feet for a corner;
- 36 **THENCE** South 00°-04'-29" East, along the east property line of Abstract 255, Tract 35, a distance of 166.167 feet to the POINT OF BEGINNING AND CONTAINING 35.632 acres of land (1,552,124.920 square feet) more or less.

EXHIBIT 'D'
 Depiction of the Boundary of the Southside Residential Neighborhood
 Overlay (SRO) District



EXHIBIT 'E'
**Changes to Subsection 06.05, Southside Residential Neighborhood
Overlay (SRO) District, of Article 05, District Development Standards, of the UDC**



- (J) Lighting Standards. In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the North Goliad Corridor Overlay District. All lighting fixtures shall focus light downward and be contained on the site. Lighting elements shall be incandescent, metal Halide, or halogen only. No HID or fluorescent lights (except fluorescent bulbs that screw into standard socket fixtures) may be used on the exterior of buildings. All street lighting shall meet the specifications for a B1 & B2 contained in [Subsection \(I\), Streetscape Elements, of Section 04.07, Downtown \(DT\) District, of the Unified Development Code \(UDC\)](#).
- (K) Variance. The City Council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter majority vote of those City Council members present with a minimum of four affirmative votes.

**SUBSECTION 06.05: SOUTHSIDE RESIDENTIAL NEIGHBORHOOD
OVERLAY (SRO) DISTRICT**

- (A) Purpose. The purpose of the overlay district is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood.
- ~~(B) Other Requirements. Any requirements not specifically stated in this section shall comply with the Single Family 7 (SF 7) District requirements.~~
- ~~(C) Area Requirements:~~
- ~~(1) Minimum lot area: 5,000 square feet.~~
 - ~~(2) Maximum number of single family detached dwellings units per lot: One.~~
 - ~~(3) Minimum square footage per dwelling unit: 900 square feet.~~
 - ~~(4) Minimum lot frontage on a public street: 50 feet.~~
 - ~~(5) Minimum lot depth: 100 feet.~~
 - ~~(6) Minimum depth of front yard setback: 20 feet.~~
 - ~~(7) Minimum depth of rear yard setback: 10 feet.~~
 - ~~(8) Minimum width of side yard setback:~~
 - ~~(a) Internal lot: 6 feet.~~
 - ~~(b) Abutting street: 15 feet.~~
 - ~~(c) Abutting an arterial: 20 feet.~~
 - ~~(9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.~~
 - ~~(10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.~~
 - ~~(11) Maximum building coverage as a percentage of lot area: 40%.~~
 - ~~(12) Maximum building height: 32 feet.~~

~~(13) Minimum number of paved off street parking spaces required for:~~

- ~~(a) One single family dwelling unit: Two (2) Parking Spaces. An enclosed garage shall not be considered in meeting the off street parking requirements.~~
- ~~(b) All other uses: see Article 06, Parking and Loading, of the Unified Development Code (UDC).~~

~~(D)(B) Consideration of Special Request in Furtherance of Neighborhood Preservation. The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials reductions in the building setbacks, or other requests submitted for consideration to the **planning-Planning and zoning Zoning department**Department.~~

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code (UDC). Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.

SUBSECTION 06.06: IH-30 OVERLAY (IH-30 OV) DISTRICT

- (A) Purpose. The intent of the IH-30 Overlay (IH-30 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) Application and Boundaries. The IH-30 Overlay (IH-30 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the future right-of-way of IH-30. The IH-30 Overlay (IH-30 OV) District spans east to west along IH-30 from the eastern city limits (approximately 3,600-feet east of FM 549), west to the western city limit line along Lake Ray Hubbard. The standards and regulations set forth in the IH-30 Overlay (IH-30 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.
- (C) Overlay District Standards. If any portion of a property is situated within the boundaries of the IH-30 Overlay (IH-30 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.07: SH-205 OVERLAY (SH-205 OV) DISTRICT

- (A) Purpose. The intent of the SH-205 Overlay (SH-205 OV) District is to provide for consistent development of office, retail and



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Dub Douphrate; *Douphrate and Associates*
CASE NUMBER: Z2025-053; *Specific Use Permit (SUP) for a Full-Service Car Wash and Auto Detail*

SUMMARY

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a *Full-Service Carwash* on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

BACKGROUND

On November 7, 1960, the City Council approved the annexation of the subject property by adopting *Ordinance No. 60-04* [Case No. A1960-004]. According to the January 3, 1972 zoning map the subject property was zoned Multi-Family 1 (MF-1) District and Commercial (C) District. At some point between January 3, 1972 and May 16, 1983 the subject property was rezoned to Multi-Family 15 (MF-15) District and Commercial (C) District. At some point between May 16, 1983 and December 7, 1993 the subject property was rezoned to Commercial (C) District. This remains the current zoning designation of the subject property. On July 28, 2003, the City Council approved a plat for the subject property establishing it as Lot 1, Block A, The Woods at Rockwall addition. On February 6, 2017, City Council approved a Specific Use Permit (SUP) [Case No. Z2016-044] for a *Full-Service Carwash* by *Ordinance No. 17-09, S-162*. On December 18, 2017, the City Council approved a Site Plan [Case No. SP2017-039] for a *Full-Service Carwash*. On January 7, 2019, the City Council approved a Final Plat [Case No. P2018-044] for the subject property for the purpose of establishing the necessary easements for the development of a *Full-Service Carwash*; however, this plat was never filed with Rockwall County. On May 28, 2021, the applicant was sent a letter notifying them of the expiration of their Specific Use Permit (SUP) [*Ordinance No. 17-09, S-162*], Site Plan, and Final Plat due to inactivity. Staff has included this letter for reference within the packet.

PURPOSE

The applicant -- *Dub Douphrate of Douphrate and Associates* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Full-Service Car Wash and Auto Detail* to be established on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at 2215 Ridge Road. The land uses adjacent to the subject property are as follows:

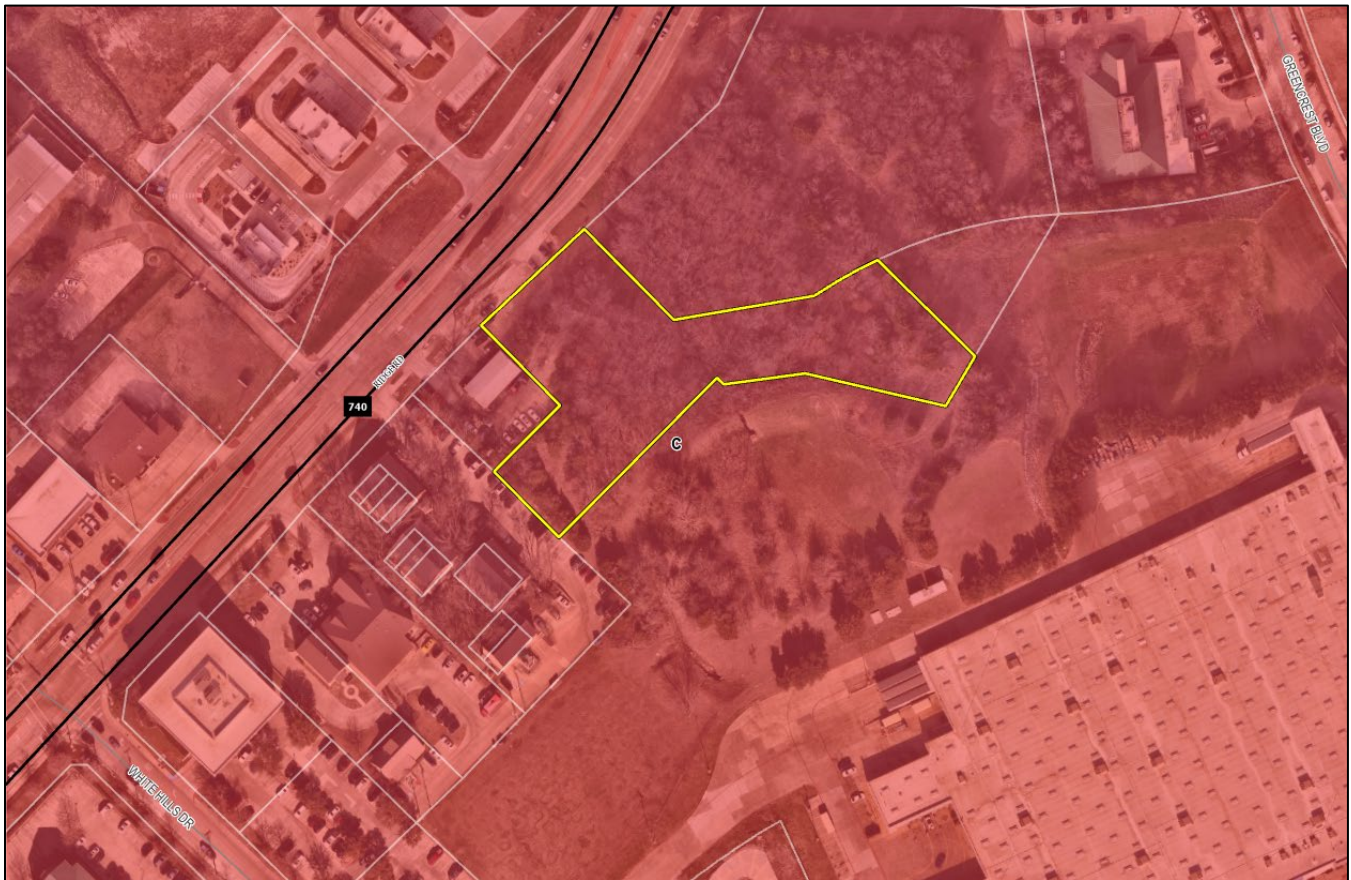
North: Directly north of the subject property is a 2.47-acre parcel of land (*i.e. Lot 3, Block A, The Woods at Rockwall*), which is currently vacant and zoned Commercial (C) District. Beyond this is the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740]. Both of these roadways are identified as an A4D (*i.e. Arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.129-acre parcel of land developed with a commercial/retail strip center zoned Commercial (C) District. Beyond this is Old Country Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an undeveloped 9.24-acre tract of land zoned Commercial (C) District.

South: Directly south of the subject property is a 25.9263-acre parcel of land developed with a *Grocery Store* (i.e. *Walmart Superstore*) zoned Commercial (C) District. Beyond this is the frontage of IH-30, which is identified as a TXDOT6D (i.e. *Texas Department of Transportation principle arterial, six [6] lane roadway*).

East: Directly east of the subject property 2.47-acre parcel of land (i.e. *Lot 3, Block A, The Woods at Rockwall*), which is currently vacant and zoned Commercial (C) District. Beyond this is a 1.1988-acre parcel of land developed with a *Medical Office* (i.e. *Rockwall Surgery Center*) zoned Commercial (C) District. Beyond this is Greencrest Boulevard, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 35.295-acre parcel of land developed with a *High School* (i.e. *Rockwall High School*) zoned Commercial (C) District.

West: Directly west of the subject property is Ridge Road [FM-740], which is identified as a M4D (i.e. *major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Sky Ridge Addition, which consists of six (6) parcels of land zoned Commercial (C) District. Beyond this is 2.95-acre parcel of land developed with a *House of Worship* (i.e. *Great Faith Church*) zoned Commercial (C) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a *Full-Service Car Wash and Auto Detail*. The proposed carwash will consist of a single entrance tunnel that has three (3) lanes of queuing. Based on the concept plan, the carwash tunnel will be oriented so that the entrance of the tunnel will be parallel to Ridge Road [FM-740]. Staff should note, the concept plan provided by the applicant is the same concept plan that was approved by February 6, 2017 by *Ordinance No. 17-09, S-162*.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Full-Service Car Wash and Auto Detail* requires a Specific Use Permit (SUP) in the Scenic Overlay (SOV District) District. In addition, Subsection 02.03.(H)(4), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also provides the following requirements relating to regulating the land use:

- (a) Entrances and exits to the car wash shall not directly face any public right-of-way. On corner sites, car wash entrances or exits shall not open toward the street with the highest traffic volume.
- (b) The car wash shall be set back a minimum of 50-feet from any street frontage.

In this case, the submitted concept plan conforms to the conditional land use standards required for a *Full-Service Car Wash and Auto Detail*. With the approval of the original Specific Use Permit (SUP) [*Ordinance No. 17-09, S-162*], the City Council made a motion that added a condition of approval that the applicant provide additional landscape screening along the southern property line adjacent to Lot 1, Block A, Lakewood Park Addition. Staff has included this condition of approval within the *Draft Ordinance* as well and provided an exhibit showing the increased landscaping. Staff should note that the submitted building elevations do not appear to meet the minimum material standards of the Scenic Overlay (SOV) District and will need to be reviewed by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan; however, these elevations were the same elevations that were approved with the original site plan [*i.e. SP2017-039*].

STAFF ANALYSIS

The subject property is located within the Scenic Overlay (SOV District) District, which requires a Specific Use Permit (SUP) for a *Full-Service Car Wash and Auto Detail*. The intent of this overlay is to ensure that development along the City's primary commercial corridors reflects high-quality architectural and site design standards, given their visibility and role as major entry points into Rockwall. According to Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applicants and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." It shall be the discretion of the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- to determine if the subject property is a compatible site for a *Full-Service Car Wash and Auto Detail*.

The applicant's request is identical to the Specific Use Permit (SUP) approved in 2017 and subsequently expired in 2021 due to inactivity. Since that time, there have been no zoning changes or significant shifts in adjacent land uses that would materially alter the land use compatibility analysis. The immediate surroundings remain dominated by Commercial (C) District zoning, including high-intensity retail uses to the south (Walmart Superstore), medical office to the east, and smaller commercial developments to the north and west. This context provides a degree of compatibility with the proposed use, particularly given its orientation along Ridge Road [FM-740], a major collector roadway.

From a design perspective, the proposed concept plan complies with the conditional standards outlined in the Unified Development Code (UDC) for *Full-Service Car Washes*. Entrances and exits are oriented away from Ridge Road, and the required 50-foot setback is observed. The proposed queuing lanes provide sufficient on-site circulation to prevent stacking into the public right-of-way; however, as mentioned previously the building elevations do not fully conform with Scenic Overlay (SOV) District architectural material requirements. Although the applicant has resubmitted the previously approved elevations, any future Site Plan application will require review by the Architectural Review Board (ARB) and Planning and Zoning Commission to ensure compliance with current standards.

Operationally, the carwash has the potential to generate moderate levels of traffic, noise, and light spillover, particularly during peak operating hours. These impacts are mitigated in part by the site's adjacency to commercial developments and by the recommended three (3) tiered landscape screening along the southern property line. This landscaping condition was previously imposed by City Council in 2017 and is again recommended as part of this Specific Use Permit (SUP). It will serve to buffer the car wash from nearby properties and uphold the intent of the Scenic Overlay (SOV) District. Staff should note that a noise study will also be required as part of the Site Plan process.

With all that being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval described below and outlined within the *Draft Ordinance* contained in your packet.

NOTIFICATIONS

On August 20, 2025, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Turtle Cove Homeowners Association (HOA), which is the only HOA's or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Full-Service Carwash and Auto Detail* then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The *Carwash* shall be setback a minimum of 50-feet from Ridge Road, and,
 - (c) The *Subject Property* shall incorporate and maintain three (3) tiered screening along the southern property line adjacent to Lot 1, Block A, Lakewood Park Addition.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION

Replat of the Woods at Rockwall Apts.

LOT

4

BLOCK

A

GENERAL LOCATION

Ridge Rd south of Yellowjacket Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Commercial

CURRENT USE

PROPOSED ZONING

Commercial

PROPOSED USE

Car Wash

ACREAGE

2.008

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

RHC I Properties, LLC

APPLICANT

Douphrate & Assol. LLC

CONTACT PERSON

CONTACT PERSON

Dub Douphrate

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

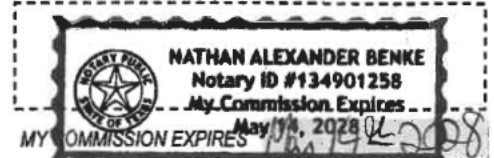
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Russell Frank [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

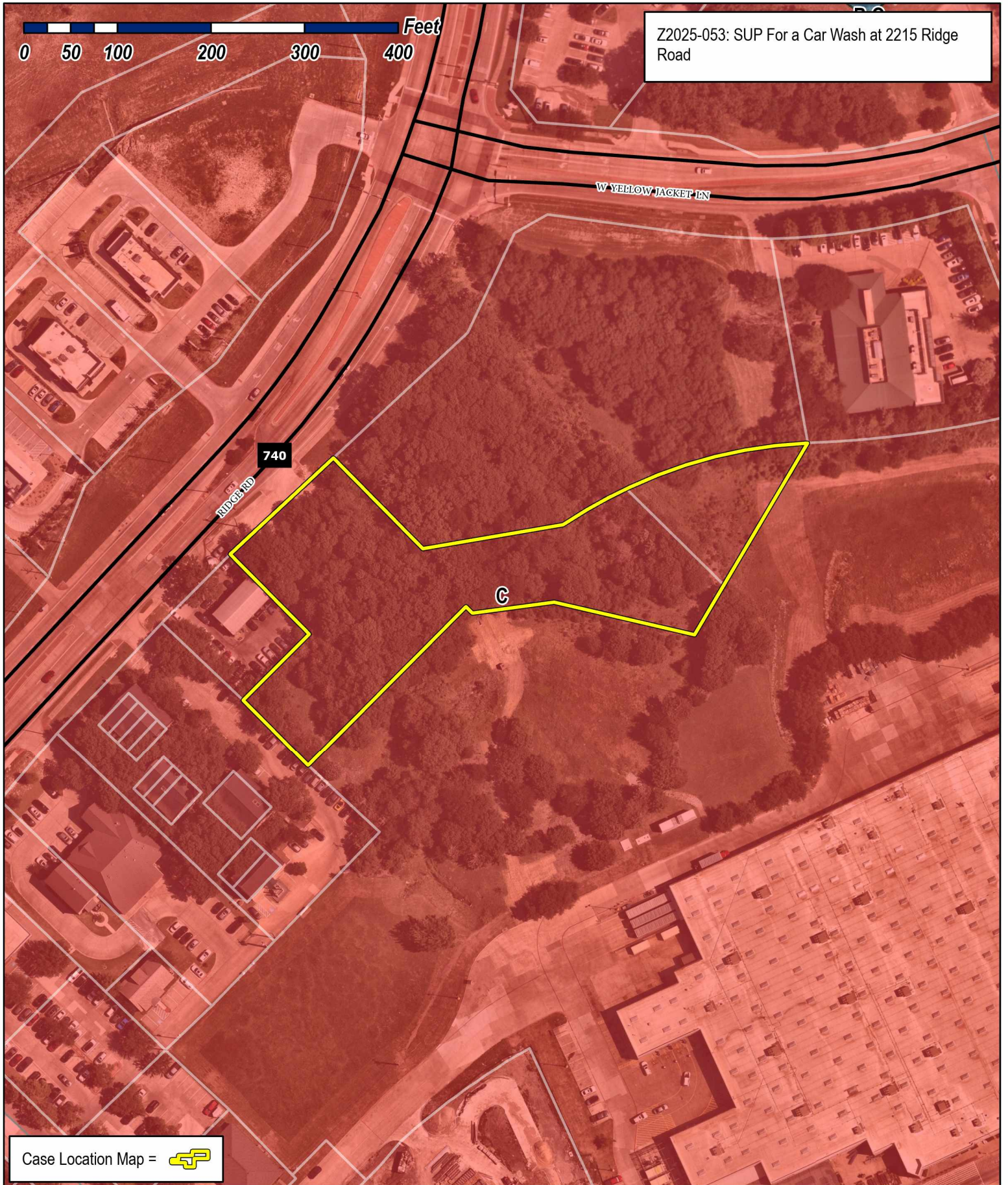
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF July, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

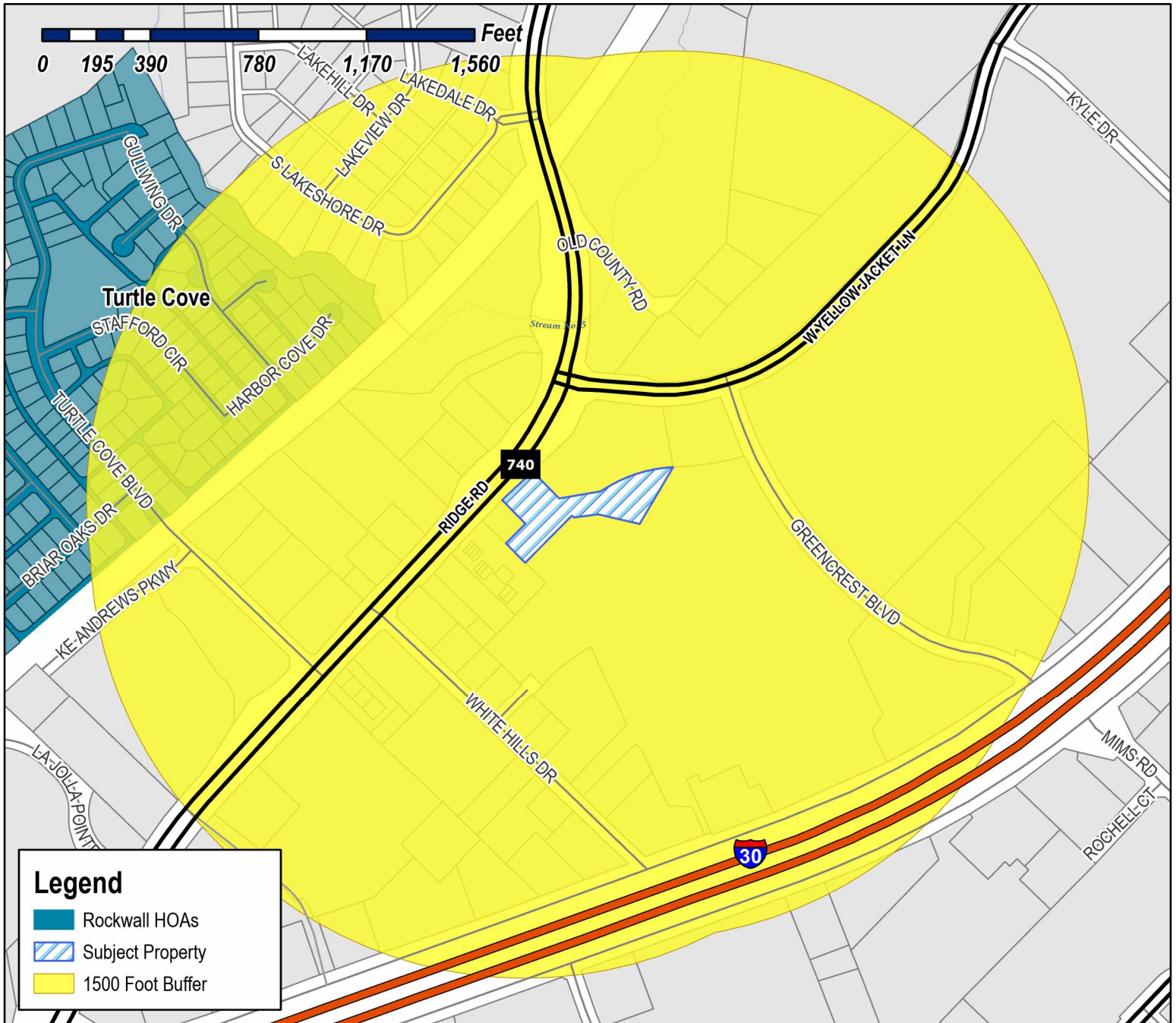




City of Rockwall

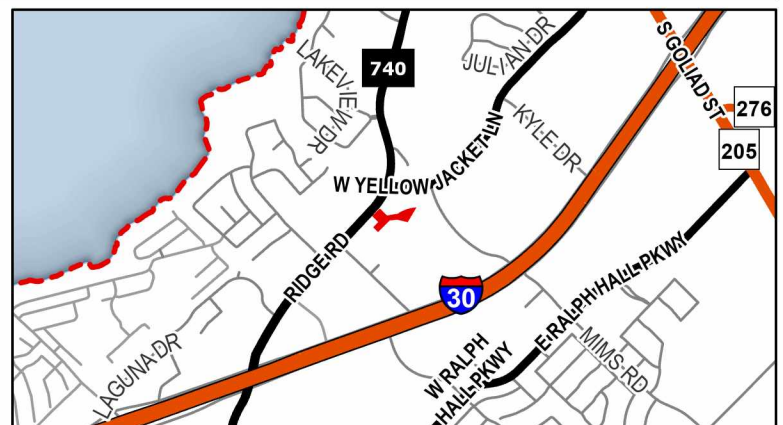
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Case Number: Z2025-053
Case Name: SUP for a Car Wash at 2215
Case Type: Ridge Road
 Zoning
Zoning: Commercial (C) District
Case Address: 2215 Ridge Road

Date Saved: 8/14/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-053}
Date: Thursday, August 21, 2025 8:09:24 AM
Attachments: [Public Notice \(08.19.2025\).pdf](#)
[HOA Map \(08.15.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-053: SUP for a Carwash

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

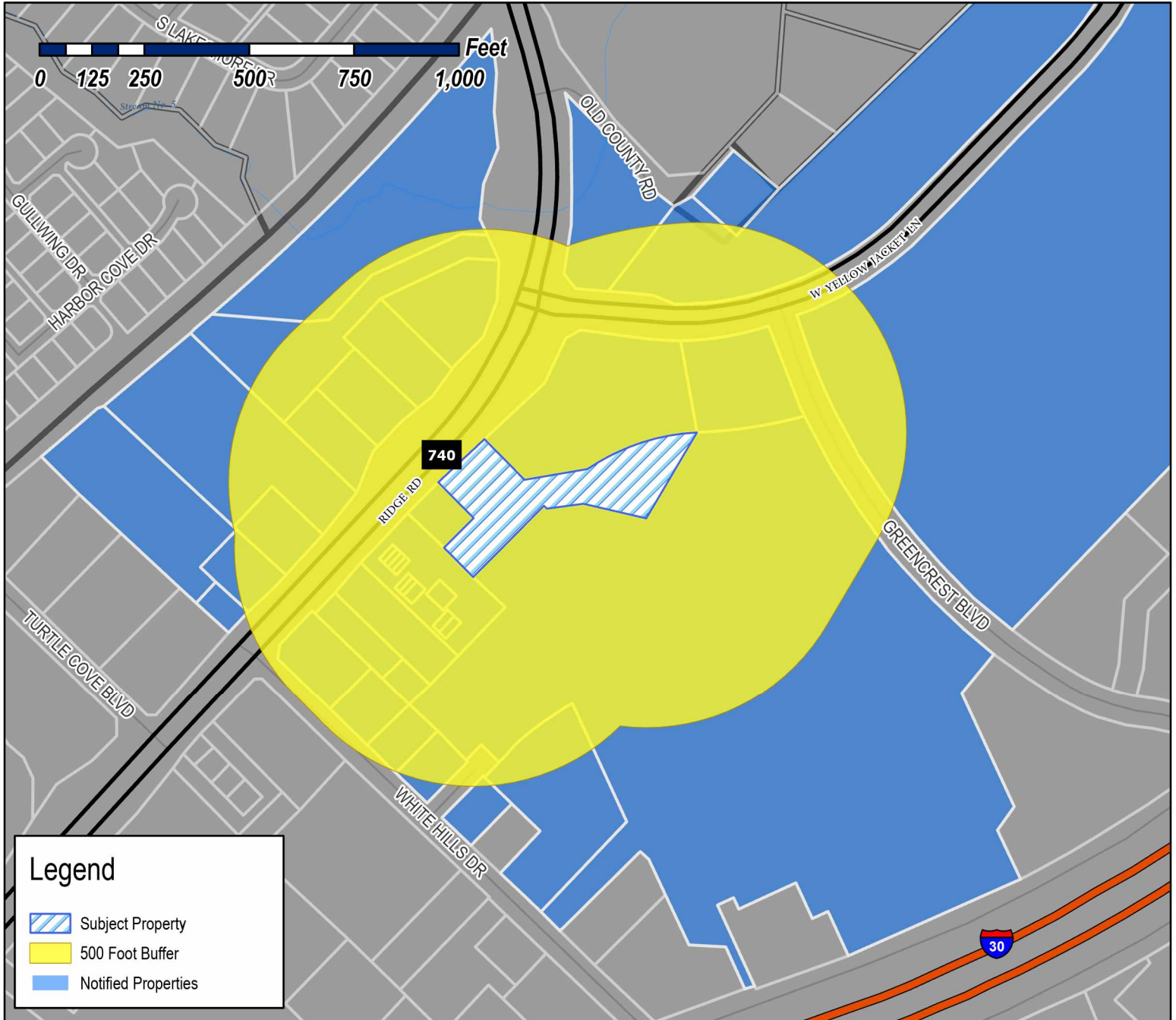
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-053
Case Name: SUP for a Car Wash at 2215 Ridge Road
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 2215 Ridge Road

Date Saved: 8/14/2025

For Questions on this Case Call: (972) 771-7745



CHACKO & ABRAHAM INVESTMENTS LLC
1007 N. BLUFFVIEW DR
LUCAS, TX 75002

7.1 RIDGE LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

7.1 RIDGE LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

BIGTX 825 W YELLOWJACKET LANE LLC
12007 SAN CHALIFORD CT
TAMPA, FL 33607

TRAVELERS PLAZA LLC
1324 SOMERSET COURT
ROCKWALL, TX 75032

JARA PARTNERS LTD
1425 HUNTERS GLEN
ROYSE CITY, TX 75189

MOURIER LAND INVESTMENT CORPORATION
1430 Blue Oaks Blvd Ste 190
Roseville, CA 95747

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

MEHL ROBERT F III & JOAN
1545 RUNNING CEADER CT
CHARLOTTESVILLE, VA 22911

DGR ASSOCIATES INC A MISSOURI CORP
1710 WEISKOPF DR
HEATH, TX 75032

DGR ASSOCIATES INC A MISSOURI CORP
1710 WEISKOPF DR
HEATH, TX 75032

DGR ASSOCIATES INC A MISSOURI CORP
1710 WEISKOPF DR
HEATH, TX 75032

2224 RIDGE ROAD LLC
1915 Westridge Dr
Irving, TX 75038

2210 RIDGE ROAD LLC
1915 Westridge Dr
Irving, TX 75038

MOUNTAINPRIZE INC
ATTN: PROPERTY TAX DEPT
200 Galleria Pkwy SE Ste 900
Atlanta, GA 30339

RESIDENT
2001 RIDGE RD
HEATH, TX 75032

RESIDENT
2135 RIDGE RD
Agoura Hills, CA 91301

RESIDENT
2200 RIDGE RD
GARLAND, TX 75044

RESIDENT
2205 RIDGE RD
Atlanta, GA 30339

RESIDENT
2210 RIDGE RD
Irving, TX 75038

RESIDENT
2215 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2224 RIDGE RD
Irving, TX 75038

RESIDENT
2225 RIDGE RD
SACHSE, TX 75048

RESIDENT
2230 RIDGE RD
Roseville, CA 95747

RESIDENT
2231 RIDGE RD
ROYSE CITY, TX 75189

RESIDENT
2231 RIDGE RD
ROYSE CITY, TX 75189

RESIDENT
2231 RIDGE RD
ROYSE CITY, TX 75189

RESIDENT
2231 RIDGE RD
ROYSE CITY, TX 75189

RESIDENT
2231 RIDGE RD
ROYSE CITY, TX 75189

RESIDENT
2233 RIDGE RD
HEATH, TX 75032

RESIDENT
2233 RIDGE RD
HEATH, TX 75032

RESIDENT
2233 RIDGE RD
HEATH, TX 75032

RESIDENT
2235 RIDGE RD
Rockwall, TX 75087

DOUPHRATE PROPERTIES INC
2235 Ridge Rd Ste 200
Rockwall, TX 75087

RESIDENT
2237 RIDGE RD
CHARLOTTESVILLE, VA 22911

RESIDENT
2245 RIDGE RD
HEATH, TX 75032

RESIDENT
2249 RIDGE RD
LUCAS, TX 75002

RESIDENT
2251 RIDGE RD
Dallas, TX 75204

RESIDENT
2255 RIDGE RD
Rockwall, TX 75087

MMF INVESTMENTS LLC
2255 Ridge Rd Ste 333
Rockwall, TX 75087

RESIDENT
2304 RIDGE RD
ROCKWALL, TX 75087

HUDSPETH FREDERICK WARD ESTATE
NONA MAHAFFY HUDSPETH INDEPENDENT
EXECUTOR
2304 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2306 RIDGE RD
San Antonio, TX 78240

RESIDENT
2308 RIDGE RD
Rockwall, TX 75087

SPILLMAN DENTAL PROPERTIES LLC
2308 Ridge Rd Ste B
Rockwall, TX 75087

RESIDENT
2310 RIDGE RD
ROCKWALL, TX 75087

MFR PROPERTIES LLC AND
YELLOW JACKET PLAZA LLC
28632 Roadside Dr Ste 270
Agoura Hills, CA 91301

BEAUTY LEGACY LLC
3509 RIM FIRE DRIVE
GARLAND, TX 75044

2251 RIDGE ROAD LLC
4131 N Central Expy Ste 450
Dallas, TX 75204

LAKEWOOD PROPERTIES LLC
457 LAURENCE DR #166
HEATH, TX 75032

RESIDENT
600 TURTLE COVE BLVD
ROCKWALL, TX 75087

GAMEZ SUSAN AND
VICTOR BALDERAS
602 LAURENCE
HEATH, TX 75032

THE TWO SHORT, LP
A TEXAS LIMITED PARTNERSHIP
603 WHITE HILLS DR STE A
ROCKWALL, TX 75087

BANNA ROCKWALL REALTY LLC
6403 CRESTMOOR LN
SACHSE, TX 75048

SHEIKHA INVESTMENTS LLC
7515 FOREST BEND DRIVE
PARKER, TX 75002

RESIDENT
782 I30
BENTONVILLE, AR 72716

RESIDENT
825 YELLOW JACKET LN
TAMPA, FL 33607

ROCKWALL ALIGNED REI LP
8637 Fredericksburg Rd Ste 360
San Antonio, TX 78240

CENTERS FOR PEACE AND MERCY, INC
P.O. BOX 615
ROCKWALL, TX 75087

ALMLAM REAL ESTATE LLC
PO BOX 755
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
BUSINESS TRUST
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-053: Specific Use Permit (SUP) for a Carwash

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-053: Specific Use Permit (SUP) for a Carwash

Please place a check mark on the appropriate line below:

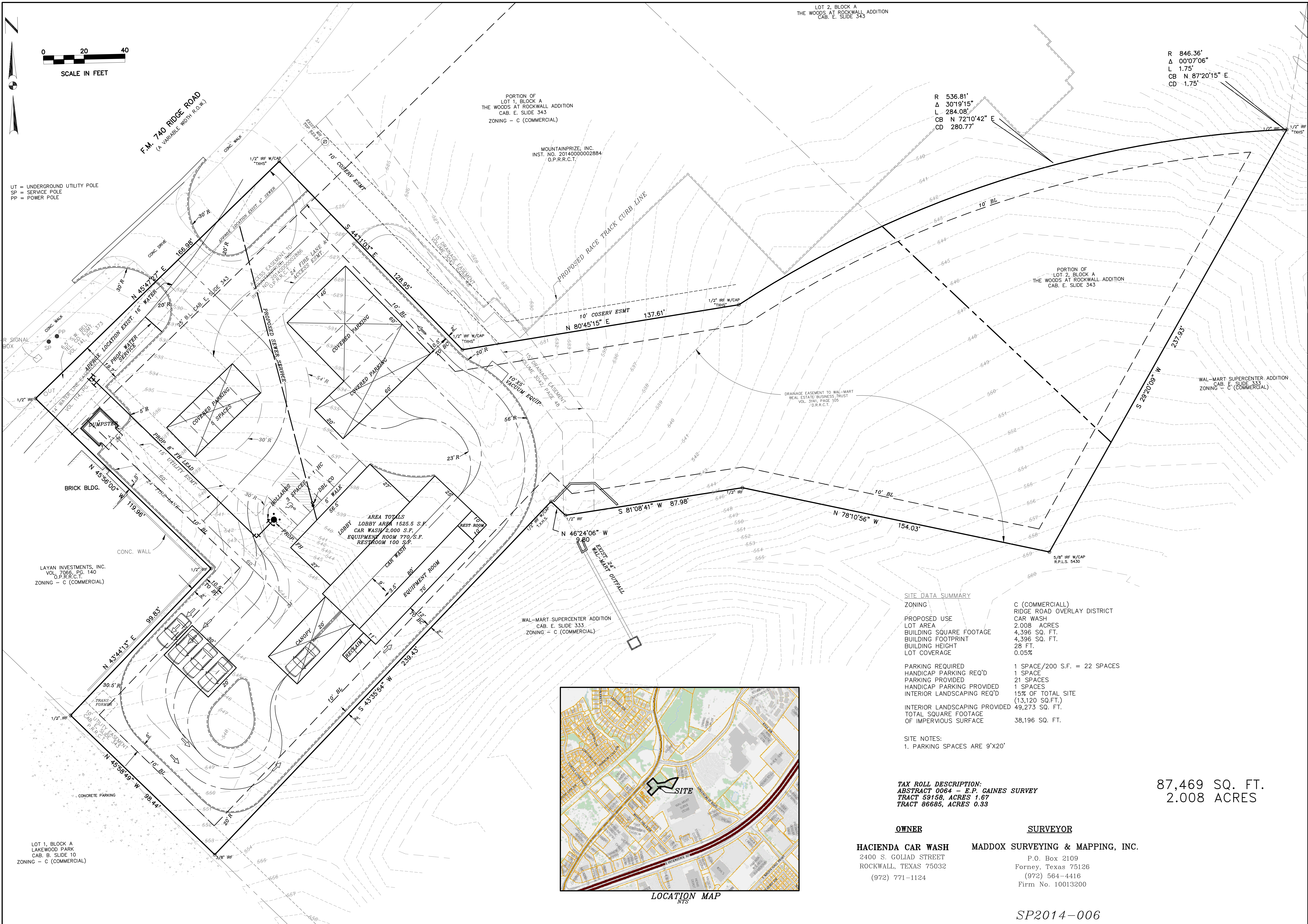
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



UT = UNDERGROUND UTILITY POLE
 SP = SERVICE POLE
 PP = POWER POLE

LAYAN INVESTMENTS, INC.
 VOL. 7366, P. 140
 O.P.R.C.T.
 ZONING - C (COMMERCIAL)

LOT 1, BLOCK A
 LAKEWOOD PARK
 CAB. E. SLIDE 10
 ZONING - C (COMMERCIAL)

PORTION OF
 LOT 1, BLOCK A
 THE WOODS AT ROCKWALL ADDITION
 CAB. E. SLIDE 343
 ZONING - C (COMMERCIAL)

MOUNTAINPRIZE, INC.
 INST. NO. 2014000002884
 O.P.R.C.T.

LOT 2, BLOCK A
 THE WOODS AT ROCKWALL ADDITION
 CAB. E. SLIDE 343

R 846.36'
 Δ 00°07'06"
 L 1.75'
 CB N 87°20'15" E
 CD 1.75'

R 536.81'
 Δ 30°19'15"
 L 284.08'
 CB N 72°10'42" E
 CD 280.77'

PORTION OF
 LOT 2, BLOCK A
 THE WOODS AT ROCKWALL ADDITION
 CAB. E. SLIDE 343

WAL-MART SUPERCENTER ADDITION
 CAB. E. SLIDE 343
 ZONING - C (COMMERCIAL)

WAL-MART SUPERCENTER ADDITION
 CAB. E. SLIDE 333
 ZONING - C (COMMERCIAL)

SITE DATA SUMMARY

ZONING	C (COMMERCIAL) RIDGE ROAD OVERLAY DISTRICT
PROPOSED USE	CAR WASH
LOT AREA	2.008 ACRES
BUILDING SQUARE FOOTAGE	4,396 SQ. FT.
BUILDING FOOTPRINT	4,396 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	0.05%
PARKING REQUIRED	1 SPACE/200 S.F. = 22 SPACES
HANDICAP PARKING REQ'D	1 SPACE
PARKING PROVIDED	21 SPACES
HANDICAP PARKING PROVIDED	1 SPACES
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (13,120 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	49,273 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	38,196 SQ. FT.

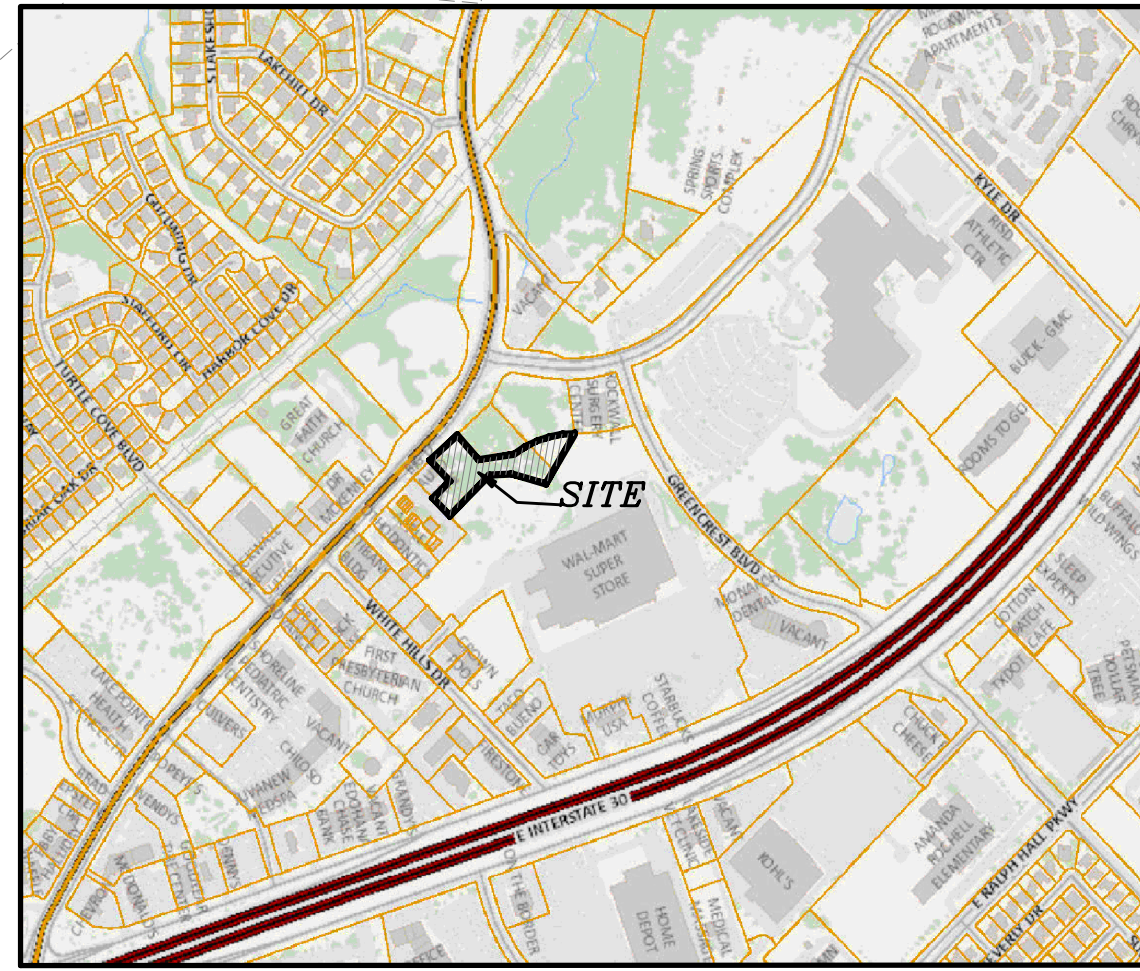
SITE NOTES:
 1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
 ABSTRACT 0064 - E.P. CAINES SURVEY
 TRACT 59158, ACRES 1.67
 TRACT 86685, ACRES 0.33

OWNER
HACIENDA CAR WASH
 2400 S. GOLIAD STREET
 ROCKWALL, TEXAS 75032
 (972) 771-1124

SURVEYOR
MADDOX SURVEYING & MAPPING, INC.
 P.O. Box 2109
 Forney, Texas 75126
 (972) 564-4416
 Firm No. 10013200

87,469 SQ. FT.
 2.008 ACRES



LOCATION MAP
 NTS

SP2014-006



THE SEAL APPEARING ON THIS PLAN IS THE PROPERTY OF THE STATE OF TEXAS AND IS TO BE USED ONLY BY THE ENGINEER WHOSE NAME IS THEREON AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING - PROJECT MANAGEMENT - SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-9004 FAX: (972) 771-9005

HACIENDA CAR WASH SITE PLAN
LOT 4, BLOCK A
REPLAT OF THE WOODS AT ROCKWALL ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	GCW.
DRAWN	GCW.
SCALE	1" = 20'H 1" = 4'V
DATE	AUG. 30, 2017
PROJECT	14026
	50

EXTERIOR MATERIAL CALCULATIONS

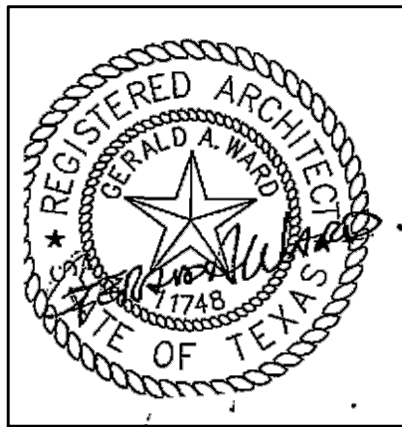
FACADE PRIMARY / SECONDARY	01 REAR ELEVATION		02 FRONT ELEVATION		03 SIDE ENTRY ELEVATION		04 SIDE EXIT ELEVATION		TOTAL OF ALL ELEVATIONS	
	SECONDARY FACADE		PRIMARY FACADE		PRIMARY FACADE		SECONDARY FACADE		AREA S.F.	PERCENTAGE
MATERIALS	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE
TOTAL AREA	1,523 SQ FT	100%	1,718 SQ FT	100%	1,161 SQ FT	100%	1,161 SQ FT	100%	7,110 SQ FT	100%
DOORS & WINDOWS	368 SQ FT	24%	198 SQ FT	12%	312 SQ FT	27%	218 SQ FT	13%	1,096 SQ FT	15%
ELEV. SQ. FOOTAGE (EXCLUSIVE OF DOORS & WINDOWS)	1,849 SQ FT	76%	1,520 SQ FT	88%	849 SQ FT	73%	1,108 SQ FT	87%	6,014 SQ FT	85%
SPLIT FACE CMU	543 SQ FT	36%	0 SQ FT	0%	185 SQ FT	16%	292 SQ FT	25%	3,920 SQ FT	55%
STONE	84 SQ FT	6%	463 SQ FT	27%	296 SQ FT	25%	165 SQ FT	14%		
STONE IN STUCCO @ 20%	101 SQ FT		170 SQ FT		84 SQ FT		86 SQ FT		0 SQ FT	
STUCCO	503 SQ FT	34%	1,057 SQ FT	61%	368 SQ FT	32%	565 SQ FT	48%	2,094 SQ FT	30%

MATERIAL LEGEND

MATERIAL	COLOR	NOTES:
ST - 1	STONE : ACME NATURAL STONE	MOSS BUILDERS
STC - 1	STUCCO : DRYVIT - SAND PEBBLE	464 LITE CINNAMON
STC - 2	STUCCO : DRYVIT - SAND PEBBLE	423A FRENCH VANILLA
P - 1	EXTERIOR PAINT: TO MATCH STUCCO	TOMATCH STUCCO
CMU - 1	SPLIT FACE CMU : FEATHERLITE	SAHARA TAN
RF - 1	BARREL TILE : GERARD - BARREL VAULT TILE	SANTA FE
RF - 2	METAL ROOFING:MEULER R-PANEL	GALVALUME
AL - 1	DOOR / WINDOW:	POWDER COAT BRONZE
AL - 2	ROLL UP DOORS:	GALVALUME

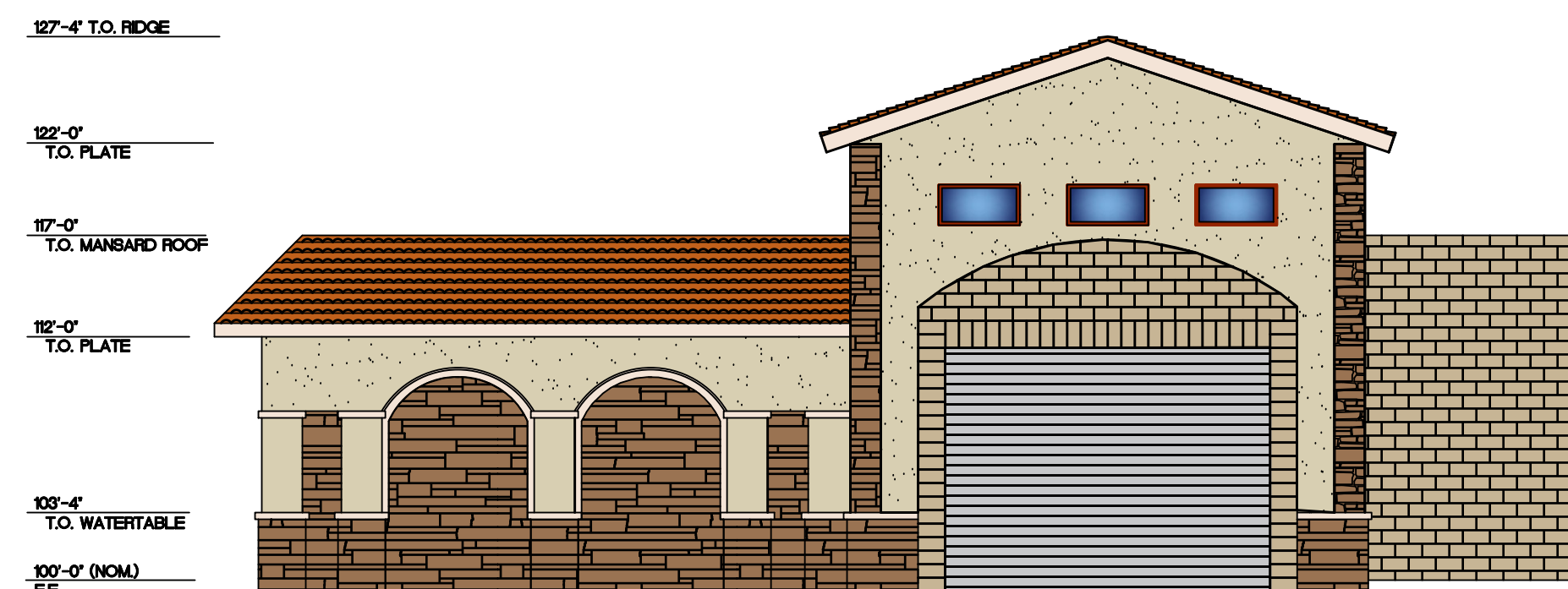
W

WARD ARCHITECTURE PLLC
609 CHEEK SPARGER ROAD SUITE 118
COLLEYVILLE, TEXAS 76034



08/28/2018

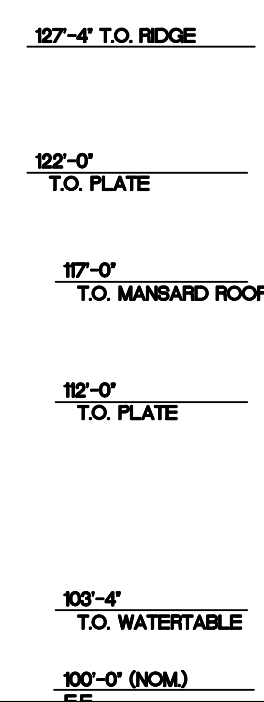
HACIENDA CAR WASH
2215 RIDGE DR. ROCKWALL, TX 75087



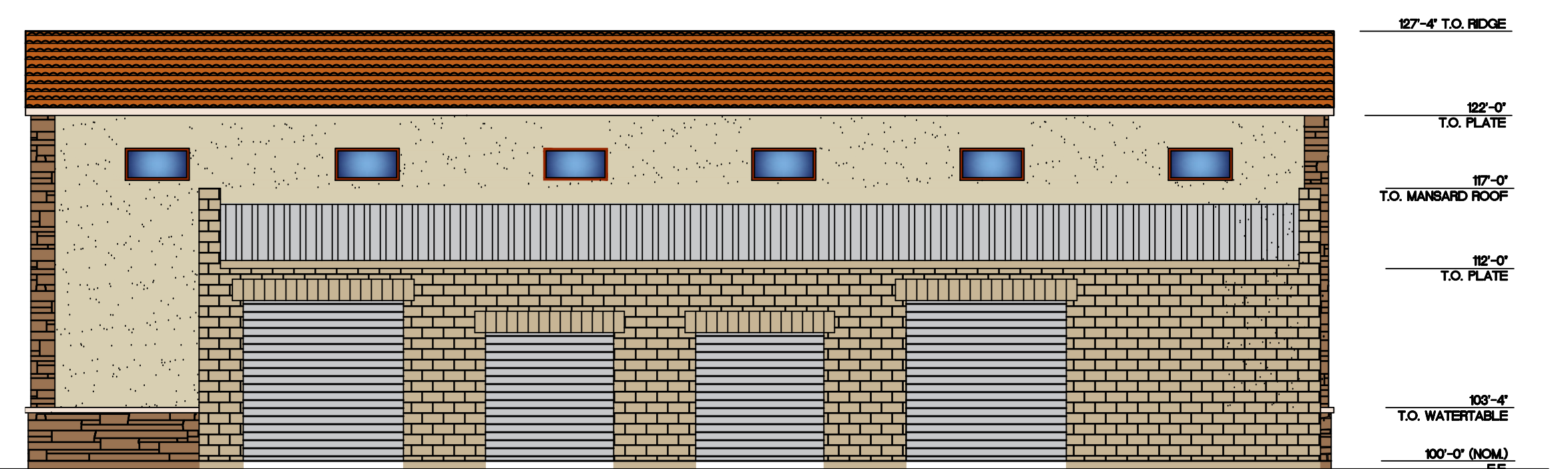
③ SIDE (ENTRY) ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



② FRONT ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



④ SIDE (EXIT) ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



① REAR ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"

Drawn By RLB

Checked By GAW

Project No: 17-16

Issue Date: 08/28/2018

Revisions

No.	Date	Description

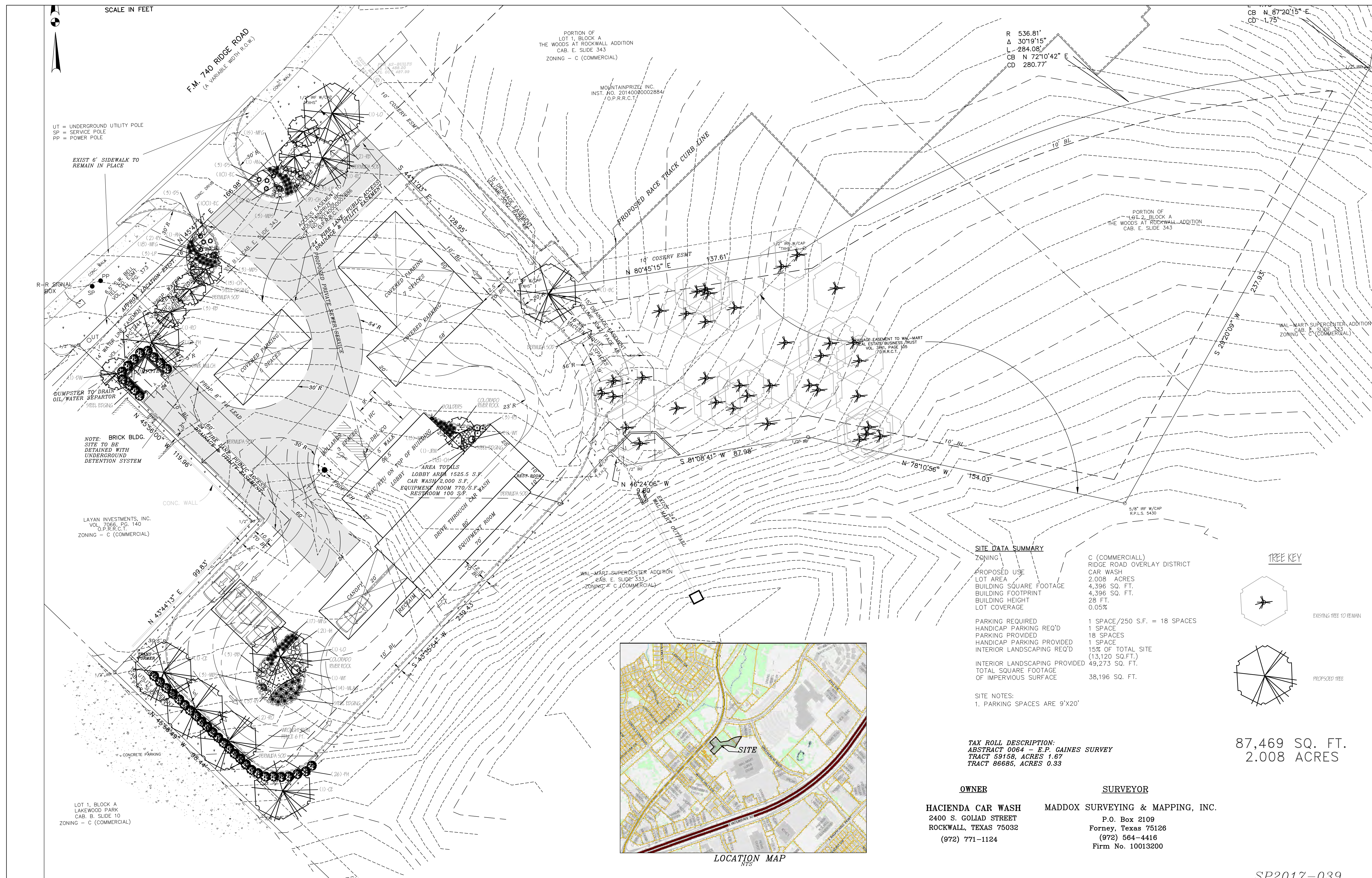
Issued: REVIEW SET

Sheet Title

ELEVATIONS

A3.00

Sheet Number



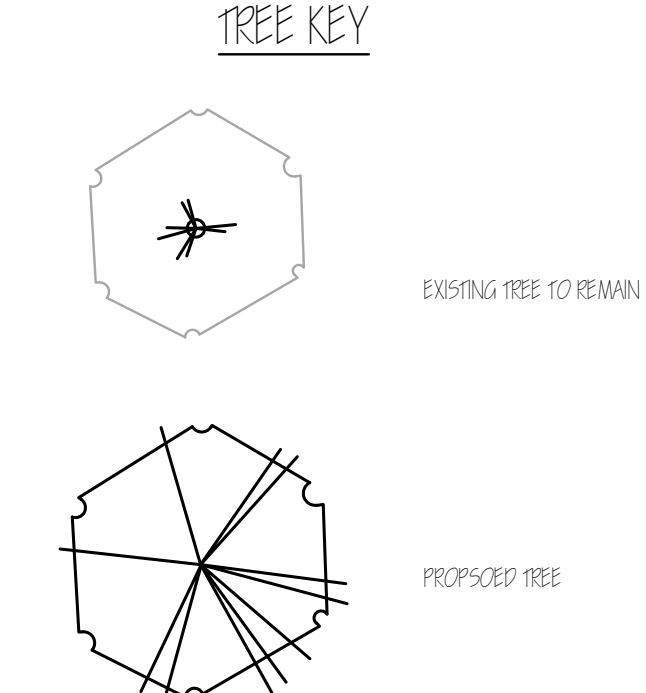
PLANT MATERIAL LIST

KEY	QUANTITY	TREES	DESCRIPTION	SIZE
BC	1	TAXODIUM DISTICHUM	BALD CYPRESS	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
CE	2	ULMUS CRASSIFOLIA	CEDAR ELM	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
LO	2	QUERCUS VIRGINIANA	LIVE OAK	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
RO	4	QUERCUS SHUMARDII	RED OAK	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
KEY	QUANTITY	ORNAMENTAL TREES	DESCRIPTION	SIZE
DW	1	CHILOPSIS LINEARIS	DESERT WILLOW	30 GAL., 8' HT., 3' SPREAD
JRM	1	ACER PALMATUM	JAPANESE RED MAPLE	30 GAL., 8' HT., 3' SPREAD
RB	5	CERCIS CANADENSIS	EASTERN RED BUD	30 GAL., 8' HT.
KEY	QUANTITY	SHRUBS	DESCRIPTION	SIZE
CH	40	ILEX BURFORDII 'CARISSA'	CARISSA HOLLY	5 GAL., MIN. 15" HT., 24" O.C.
DS	6	DASYLIRON WHEELERI	DESERT SPOON	3 GAL., MIN. 24" HT., SPACING A.S.
LP	6	LORDPETALUM CHINENSE	CHINESE FRINGEFLOWER	5 GAL., MIN. 15" HT., 24" O.C.
IH	21	RAPHIOLEPIS INDICA 'PINK LADY'	INDIAN HAWTHORN	5 GAL., MIN. 15" HT., 30" O.C.
FH	26	ILEX X ATTENUATA 'FOSTERI'	FOSTER HOLLY	30 GAL., 6' HT., 3' SPD., 36" O.C., FULL TO GD.
AN	2	YUCCA GLORIOSA 'VARIEGATA'	ADAM'S NEEDLE	3 GAL., MIN. 15" HT., A.S.
RS	3	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	5 GAL., MIN. 15" HT.
RY	7	HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL., MIN. 15" HT.
BB	3	DASYLIRON TEXANUM	BUTTERFLY BUSH	5 GAL., MIN. 15" HT.
WT	2	AGAVE OVATIFOLIA	WHALES TONGUE	5 GAL., MIN. 24" HT.
KEY	QUANTITY	GROUND COVER	DESCRIPTION	SIZE
EC	210	EULONIUMS FORTUNEI 'COLORATUS'	PURPLE WINTERCREEPER	4" POT, FULL PLANT 10" D.C.
KEY	QUANTITY	ORNAMENTAL GRASSES	DESCRIPTION	SIZE
MLAG	14	MULLENBERGIA LINDHEIMERI	AUTUMN GLOW	1 GAL., FULL PLANT 16" O.C.
MFG	63	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL., FULL PLANT 16" O.C.

SITE DATA SUMMARY

ZONING: C (COMMERCIAL)
 RIDGE ROAD OVERLAY DISTRICT
 PROPOSED USE: CAR WASH
 LOT AREA: 2.008 ACRES
 BUILDING SQUARE FOOTAGE: 4,396 SQ. FT.
 BUILDING FOOTPRINT: 4,396 SQ. FT.
 BUILDING HEIGHT: 28 FT.
 LOT COVERAGE: 0.005%

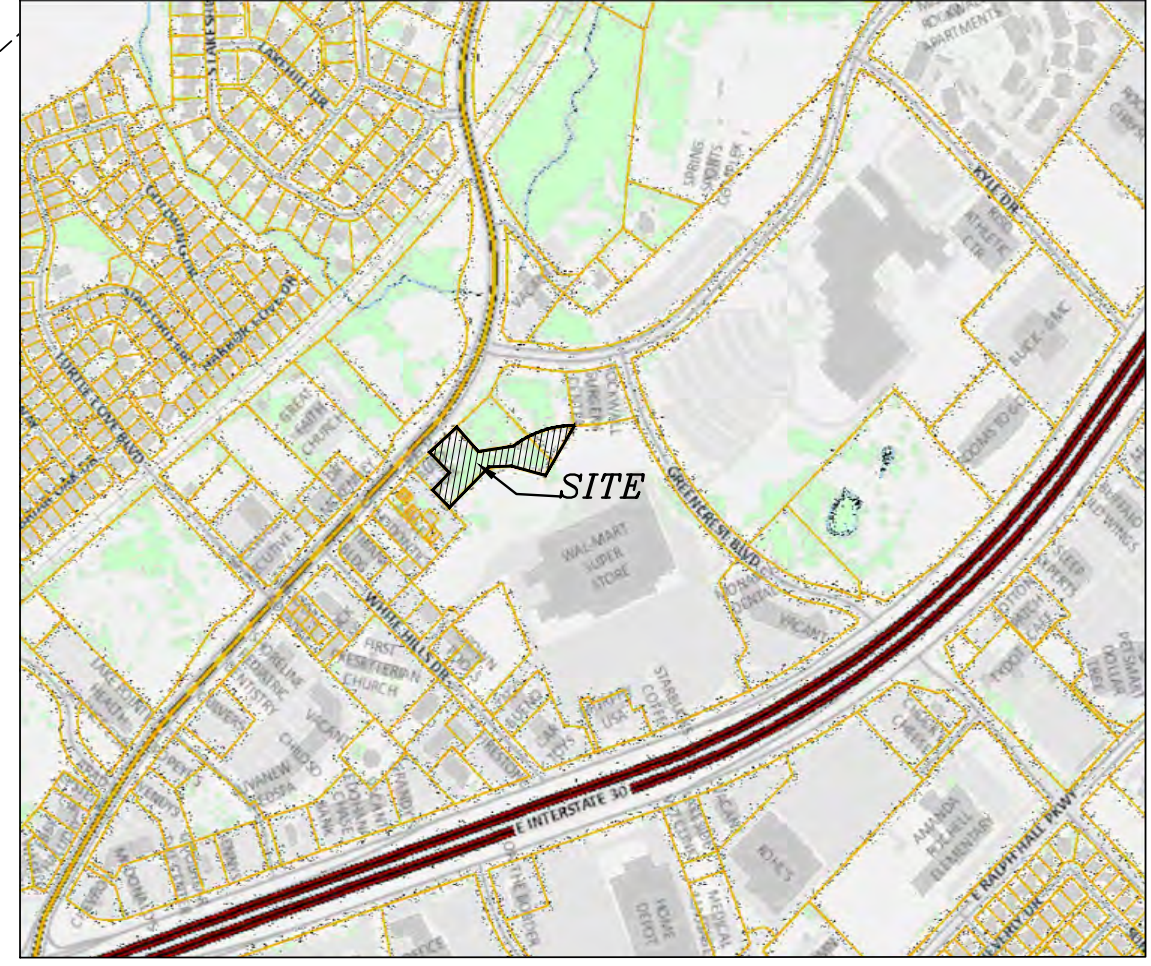
PARKING REQUIRED: 1 SPACE/250 S.F. = 18 SPACES
 HANDICAP PARKING REQ'D: 1 SPACE
 PARKING PROVIDED: 18 SPACES
 HANDICAP PARKING PROVIDED: 1 SPACE
 INTERIOR LANDSCAPING REQ'D: 15% OF TOTAL SITE (113,120 SQ. FT.)
 INTERIOR LANDSCAPING PROVIDED: 49,273 SQ. FT.
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 38,196 SQ. FT.



87,469 SQ. FT.
 2.008 ACRES

TREE MITIGATION

TOTAL NUMBER OF TREES PROVIDED:
 (7) CANOPY TREES @ 4" = 28"
 (7) ORNAMENTAL TREES @ 2" = 14"



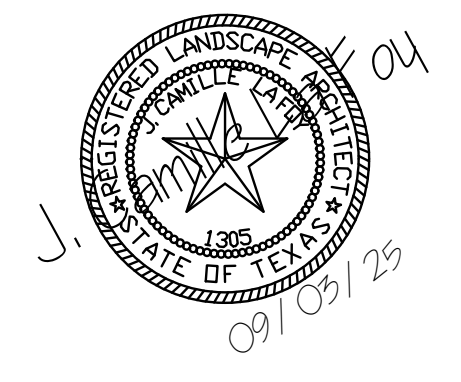
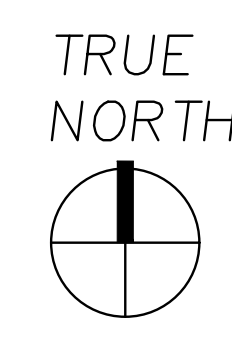
OWNER
 HACIENDA CAR WASH
 2400 S. GOLJAD STREET
 ROCKWALL, TEXAS 75032
 (972) 771-1124

SURVEYOR
 MADDOX SURVEYING & MAPPING, INC.
 P.O. Box 2109
 Forney, Texas 75126
 (972) 564-4416
 Firm No. 10013200

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

REQUIREMENTS	PROVIDE
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN THE ZONING DISTRICTS SET FORTH AS FOLLOWS: COMMERCIAL - 15% @ 49,069 S.F. = 6,760 S.F. REQUIRED	7,400 S.F. (15% OF TOTAL AREA) OF THE LANDSCAPE AREA PROVIDED
ANY PARCEL LOT WITH MORE THAN 2 TREES SHALL HAVE A MINIMUM OF 5% OF 200 S.F. WHEATHERED COVER IN THE REAR OF THE PARCEL LOT ALL LANDSCAPING SHALL BE COMPLETED BY TOTAL LANDSCAPING	100 S.F. (5% OF TOTAL LANDSCAPE AREA)
REQUIRED TO: TREES LANDSCAPING BUFFER STRIP MUST BE PROVIDED ALONG THE OVER LENGTH OF F.M. 740 RIDGE ROAD AND 20' WIDE LANDSCAPING BUFFER STRIP MUST BE PROVIDED ALONG THE PORTION OF THE PERIMETER OF ANY COMMERCIAL OR RESIDENTIAL LOT THAT ADJACENT TO ALLEY OR DRIVE, APPROXIMAL OR 10 FEET TO ADJACENT PUBLIC STREET FROM THE SIDEWALK. ZONING DISTRICT, EXCLUSIVE OF DRIVEWAYS AND ACCESSWAYS.	
F.M. 740 RIDGE ROAD: 6" x 1" TREE PER 100 S.F. OF STREET FRONTAGE REQUIRED = 5 TREES	F.M. 740 RIDGE ROAD: 6" x 1" TREE PER 100 S.F. OF STREET FRONTAGE PROVIDED = 5 PROPOSED TREES
NO PARKING SPACE SHALL BE FURTHER PROVIDED FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 50 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WALKER, SEWER AND SLOTTED SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WALKER, SEWER AND SLOTTED SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDEWALK WITH STREET FRONTAGE IN 10' ZONING DISTRICTS. LANDSCAPE REQUIREMENTS = 6,260 S.F. @ 10' x 10' = 518 S.F.	LANDSCAPE PROVIDED = 87,469 S.F. @ 10' x 10' = 518 S.F.
LANDSCAPING BUFFER STRIP - MINIMUM 10 FT. WIDE ALONG OVER LENGTH OF PUBLIC STREET	LANDSCAPE BUFFER STRIP PROVIDED: 20 FT. WIDE
OVERLAY DISTRICT: 10' x 10' (20' x 20' MIN. ROW) OR SHADYWOOD (20' x 40') 12" x 4" ALL TREES FOR A 100' x 10' OF STREET FRONTAGE = 4 TREES 1.5" x 4" ALL TREES FOR A 100' x 10' OF STREET FRONTAGE = 6 TREES	20 FT. SHADYWOOD PROVIDED 12" x 4" ALL TREES PROVIDED = 4 TREES WITHIN 6 FT. OF UTILITIES 1.5" x 4" ALL TREES PROVIDED = 6 TREES
ORNAMENTAL FENCE WITH WIND SCREEN REQUIRED ALONG SOUTH PROPERTY LINE	ORNAMENTAL FENCE WITH WIND SCREEN PROVIDED ALONG SOUTH PROPERTY LINE

01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



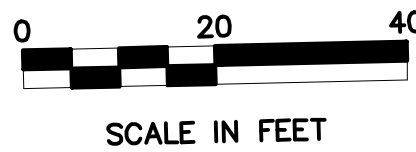
JCL
 J. CAMILLE LA FOY
 LANDSCAPE ARCHITECTURE CONSULTING
 1010 NORTH CHURCH STREET, SUITE 100
 ROCKWALL, TEXAS 75087
 (972) 962-0000

CASE NO. SP2017-039

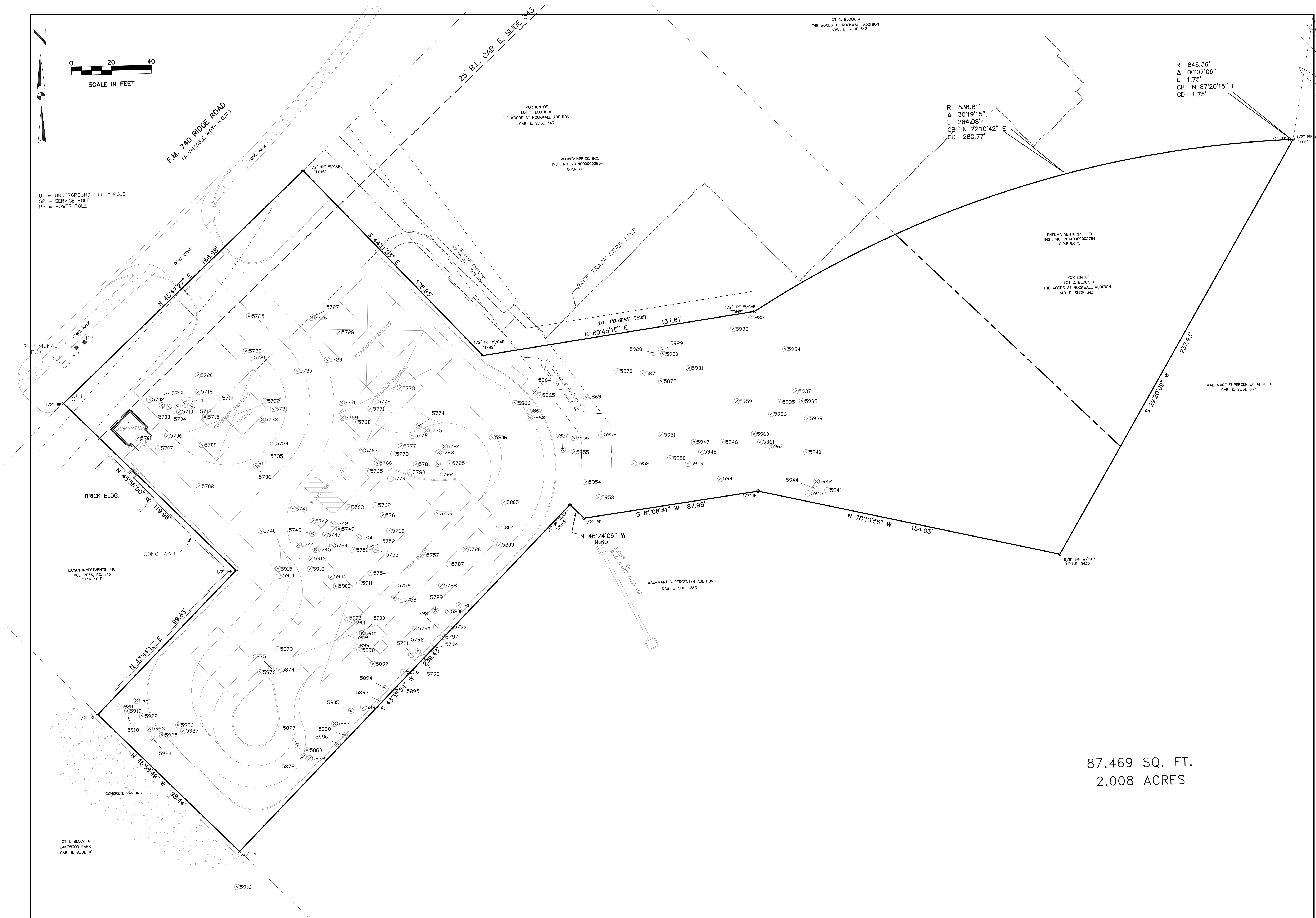
DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING PROJECT MANAGEMENT SURVEYING
 2295 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-9004 FAX: (972) 771-9005

LANDSCAPE PLAN
 HACIENDA CAR WASH
 Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	JCL
CHECKED	
SCALE	1" = 20'H
DATE	SEPT. 03, 2025
PROJECT	14026
	L101



UT = UNDERGROUND UTILITY POLE
 SP = SERVICE POLE
 PP = POWER POLE



87,469 SQ. FT.
 2.008 ACRES



DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

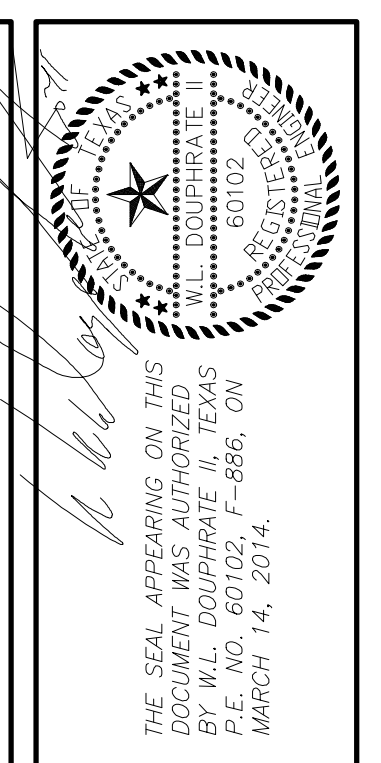
TREE PRESERVATION PLAN
HACIENDA CAR WASH
Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	G.C.W.
DRAWN	
SCALE	1" = 20' H 1" = 4' V
DATE	AUG. 30, 2017
PROJECT	14026
	5.0

Hacienda Carwash Tree List			
TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
5701	18	OAK	18
5702	20	OAK	20
5703	12	OAK	12
5704	12	OAK	12
5706	10	OAK	10
5707	12	CEDAR	12
5708	12	OAK	12
5709	12	OAK	12
5710	16	OAK	16
5711	6	OAK	6
5712	10	OAK	10
5713	6	OAK	6
5714	4	OAK	4
5715	4	OAK	4
5717	8	OAK	8
5718	6	OAK	6
5720	6	OAK	6
5721	12	OAK	12
5722	8	OAK	8
5725	8	OAK	8
5726	10	OAK	10
5727	10	OAK	10
5728	12	CEDAR	12
5729	10	OAK	10
5730	12	OAK	12
5731	4	OAK	4
5732	4	OAK	4
5733	12	OAK	12
5734	4	OAK	4
5735	8	OAK	8
5736	4	OAK	4
5740	10	OAK	10
5741	8	OAK	8
5742	6	OAK	6
5743	8	OAK	8
5744	6	OAK	6
5745	8	OAK	8
5746	16	OAK	16
5747	8	OAK	8
5748	4	OAK	4
5749	6	OAK	6
5750	4	ELM CEDAR	4
5751	8	OAK	8
5752	8	OAK	8
5753	8	OAK	8
5754	14	OAK	14
5756	4	OAK	4
5757	8	OAK	8
5758	6	OAK	6
5759	30	OAK	30
5760	8	OAK	8
5761	6	OAK	6
5762	6	OAK	6
5763	10	ELM CEDAR	10
5765	6	OAK	6
5766	6	OAK	6
5767	10	OAK	10

TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
S.T. INCHES	638		638
5781	6	OAK	6
5782	14	OAK	14
5783	8	OAK	8
5784	14	ELM CEDAR	14
5785	8	OAK	8
5786	6	ELM CEDAR	6
5787	4	OAK	4
5788	10	OAK	10
5789	12	OAK	12
5790	6	OAK	6
5791	6	ELM CEDAR	6
5792	4	OAK	4
5793	14	ELM CEDAR	14
5794	4	ELM CEDAR	4
5797	4	ELM CEDAR	4
5798	6	ELM CEDAR	6
5799	14	OAK	14
5800	4	ELM CEDAR	4
5801	6	ELM CEDAR	6
5803	6	OAK	6
5804	10	OAK	10
5805	12	OAK	12
5806	4	OAK	4
5864	8	OAK	8
5865	4	OAK	4
5866	6	OAK	6
5867	4	OAK	4
5868	6	OAK	6
5869	8	OAK	8
5870	12	OAK	12
5871	10	ELM CEDAR	10
5872	14	ELM CEDAR	14
5873	16	OAK	16
5874	6	OAK	6
5875	8	OAK	8
5876	4	OAK	4
5877	6	OAK	6
5878	6	OAK	6
5879	8	ELM CEDAR	8
5880	4	OAK	4
5886	4	OAK	4
5887	4	OAK	4
5888	6	ELM CEDAR	6
5891	4	OAK	4
5892	4	OAK	4
5893	10	OAK	10
5894	8	OAK	8
5895	8	OAK	8
5896	12	OAK	12
5897	16	OAK	16
5898	8	ELM CEDAR	8
5899	10	OAK	10
5900	18	OAK	18
5901	4	ELM CEDAR	4
5902	12	ELM CEDAR	12
5903	10	ELM CEDAR	10
5904	10	OAK	10
5905	6	ELM CEDAR	6

TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
S.T. INCHES	1180		1136
5923	10	OAK	10
5924	6	OAK	6
5925	10	OAK	10
5926	4	OAK	4
5927	12	CEDAR	12
5928	12	CEDAR	12
5929	12	CEDAR	12
5930	12	CEDAR	12
5931	12	OAK	12
5932	10	OAK	10
5933	10	OAK	10
5934	10	OAK	10
5935	12	OAK	12
5936	12	CEDAR	12
5937	10	OAK	10
5938	8	OAK	8
5939	10	OAK	10
5940	10	OAK	10
5941	16	OAK	16
5942	10	OAK	10
5943	10	OAK	10
5944	10	OAK	10
5945	8	OAK	8
5946	12	ELM CEDAR	12
5947	8	ELM CEDAR	8
5948	14	OAK	14
5949	14	OAK	14
5950	16	ELM CEDAR	16
5951	6	ELM CEDAR	6
5952	8	OAK	8
5953	16	OAK	16
5954	14	OAK	14
5955	10	OAK	10
5956	8	OAK	8
5957	6	OAK	6
5958	8	OAK	8
5959	12	ELM CEDAR	12
5960	10	OAK	10
5961	10	OAK	10
5962	10	OAK	10
TOTAL INCHES	1598	TOTAL INCHES TO BE REMOVED	1194



DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

TREE LIST
HACIENDA CAR WASH
Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION
W.L.D.
CHECKED
GCW.
DRAWN
SCALE 1" = 20'H 1" = 4'V
AUG. 30, 2017 DATE
14026 PROJECT
50

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *FULL-SERVICE CARWASH* WITHIN THE SCENIC OVERLAY (SOV) DISTRICT ON A 2.008-ACRE PARCEL OF LAND IDENTIFIED AS A PORTION OF LOT 1, BLOCK A, THE WOODS AT ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a *Specific Use Permit (SUP)* for a *Full-Service Carwash* on a 2.008-acre parcel of land identified Lot 1, Block A, The Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Full-Service Carwash* within the Scenic Overlay (SOV) District in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards* of the Unified Development Code (UDC) [Ordinance

No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Full-Service Carwash* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Carwash* shall be setback a minimum of 50-feet from Ridge Road, and,
- 3) The *Subject Property* will incorporate and maintain three-tiered screening along the southern property line adjacent to Lot 1, Block A, Lakewood Park Addition.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

Exhibit 'A'
Location Map

Legal Description: A Portion of Lot 1, Block A, The Woods at Rockwall Addition
Address: 2215 Ridge Road [FM-740]



Exhibit 'B':
Site Plan





TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Stephen B. Duncan
CASE NUMBER: Z2025-054; *Specific Use Permit (SUP) for a Carport and Accessory Building at 2389 Saddlebrook Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Stephen B. Duncan for the approval of a Specific Use Permit (SUP) for a *Carport and Accessory Building* on a one (1) acre parcel of land identified as Lot 18, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2389 Saddlebrook Lane, and take any action necessary.

BACKGROUND

On July 25, 1985, a subdivision plat for Saddlebrook Estates #2 Addition was filed with Rockwall County. This subdivision plat established 45 single-family homes on 51.47-acres, and established the subject property as Lot 18, Block B, Saddlebrook Estates #2 Addition. The subject property -- *along with the rest of the Saddlebrook Estates #2 Addition* -- was annexed into the City of Rockwall on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-002]*, and was zoned Agricultural (AG) District at the time of annexation. On November 5, 2001, the City Council approved *Ordinance No. 01-58* rezoning the Saddlebrook Estates #2 Subdivision -- *which included the subject property* -- from an Agricultural (AG) District to Single-Family 16 (SF-16) District. This remains the current zoning designation of the subject property. According to the Rockwall Central Appraisal District (RCAD), a 3,663 SF single-family home was constructed on the subject property in 2002. Also existing on the subject property is a 192 SF accessory building constructed in 2002.

PURPOSE

The applicant -- *Stephen B. Duncan* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a carport and accessory building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2389 Saddlebrook Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Saddlebrook Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is one (1), one (1) acre parcel of land (*i.e. Lot 23, Block A, Saddlebrook Estates #2 Addition*). This property is currently developed with a single-family home and is zoned Single Family 16 (SF-16) District. North of this are the corporate limits of the City of Rockwall.

South: Directly south of the subject property is one (1), one (1) acre parcel of land (*i.e. Lot 3, Block B, Saddlebrook Estates #2 Addition*). Beyond this is Saddlebrook Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is another one (1) acre parcel of land (*i.e. Lot 2, Block A, Saddlebrook Estates #2 Addition*). These properties are currently developed with a single-family home and are zoned Single Family 16 (SF-16) District.

East: Directly east of the subject property are two (2), one (1) acre lots (*i.e. Lots 19 & 20, Block B, Saddlebrook Estates #2 Addition*) that are zoned Single Family 16 (SF-16) District and are developed with single-family homes. Beyond this are the corporate limits of the City of Rockwall and several single-family residences situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property are seven (7), one (1) acre parcels of land (*i.e. Lots 11-17, Block B, Saddlebrook Estates #2 Addition*). Beyond this is Saddlebrook Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this are two (2), one (1) acre parcels of land (*i.e. Lots 13 & 14, Block A, Saddlebrook Estates #2 Addition*). All of these properties are developed with single-family homes and zoned Single-Family 16 (SF-16) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

According to the site plan and building elevations provided by the applicants, the proposed carport and accessory building will measure 26-feet by 73-feet (*or 1,898 SF*), and be situated at the end of the driveway in the rear yard of the subject property. It will be located approximately six (6) feet from the western or side property line and more than 90-feet from the southern or rear property line. The proposed overall height of the structure will be 16-feet, 6¼-inches (*or 13-feet, 3⅞-inches at the midpoint*). The exterior of the structure will be clad in metal siding with a brick wainscot as is typical with other, surrounding accessory structures.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 16 (SF-16) District allows a maximum of two (2) accessory structures with a maximum square footage of 144 SF each. In addition, the Unified Development Code (UDC) allows one (1) of these accessory structures to be a detached garage with a maximum square footage of 625 SF. The proposed accessory structure is

a total of 1,898 SF and there is currently one (1) existing accessory structures situated on the subject property that has a building footprint of 192 SF; however, the applicant has indicated that the existing structure will be removed prior to the approval of the proposed building. In addition, the proposed *Accessory Building* is required to meet the density and dimensional requirements for Single-Family 16 (SF-16) District contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Number of Accessory Structures Permitted</i>	2	X=1; <i>In Conformance</i>
<i>Accessory Structure (Maximum Square Footage)</i>	144 SF	1,898 SF; <i>Not in Conformance</i>
<i>Minimum Rear Yard Setback</i>	3-Feet	X>50-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	3-Feet	X=6-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	15-Feet	X=16-Feet, 3½-inches at midpoint; <i>In Conformance</i>
<i>Between Buildings</i>	6-feet	X=6-feet; <i>In Conformance</i>

STAFF ANALYSIS

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council are asked to consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed *accessory structure* compared to the size of other *accessory structures* in the area/neighborhood/subdivision, and [3] the size, architecture, and location of the proposed accessory structure compared to those of the primary structure. In this case, the proposed accessory structure is consistent in size with other *accessory buildings* in the Saddlebrook Estates Subdivision with the majority being similar in scale or larger than what the applicant is proposing.

Although the request exceeds code limits, it does not appear to negatively impact adjacent properties based on placement and/or scale of the structure. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 21, 2025, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received three (3) notices in favor of the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for a *Carport* and *Accessory Building*, then staff would propose the following conditions of approval:

- (1) The applicants shall be responsible for maintaining compliance with the operational conditions contained within the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Carport and Accessory Building* shall generally conform to the Site Plan as depicted in *Exhibit ‘B’* of the Specific Use Permit (SUP) ordinance.
 - (b) The *Carport and Accessory Building* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the Specific Use Permit (SUP) ordinance.

- (c) The *Carport and Accessory Building* shall not exceed a total maximum size of 1,892 SF.
 - (d) The *Carport and Accessory Building* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
 - (e) No other *Accessory Structures* shall be permitted on the subject property.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2389 Saddlebrook Ln Rockwall TX 75087

SUBDIVISION Saddlebrook II LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Stephen B Duncan APPLICANT _____

CONTACT PERSON _____ CONTACT PERSON _____

ADDRESS _____ ADDRESS _____

CITY, STATE & ZIP _____ CITY, STATE & ZIP _____

PHONE _____ PHONE _____

E-MAIL _____ E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

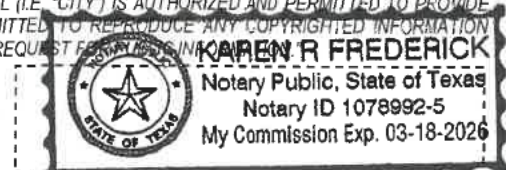
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen B. Duncan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9 DAY OF August, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF August, 2025.

OWNER'S SIGNATURE Stephen B Duncan

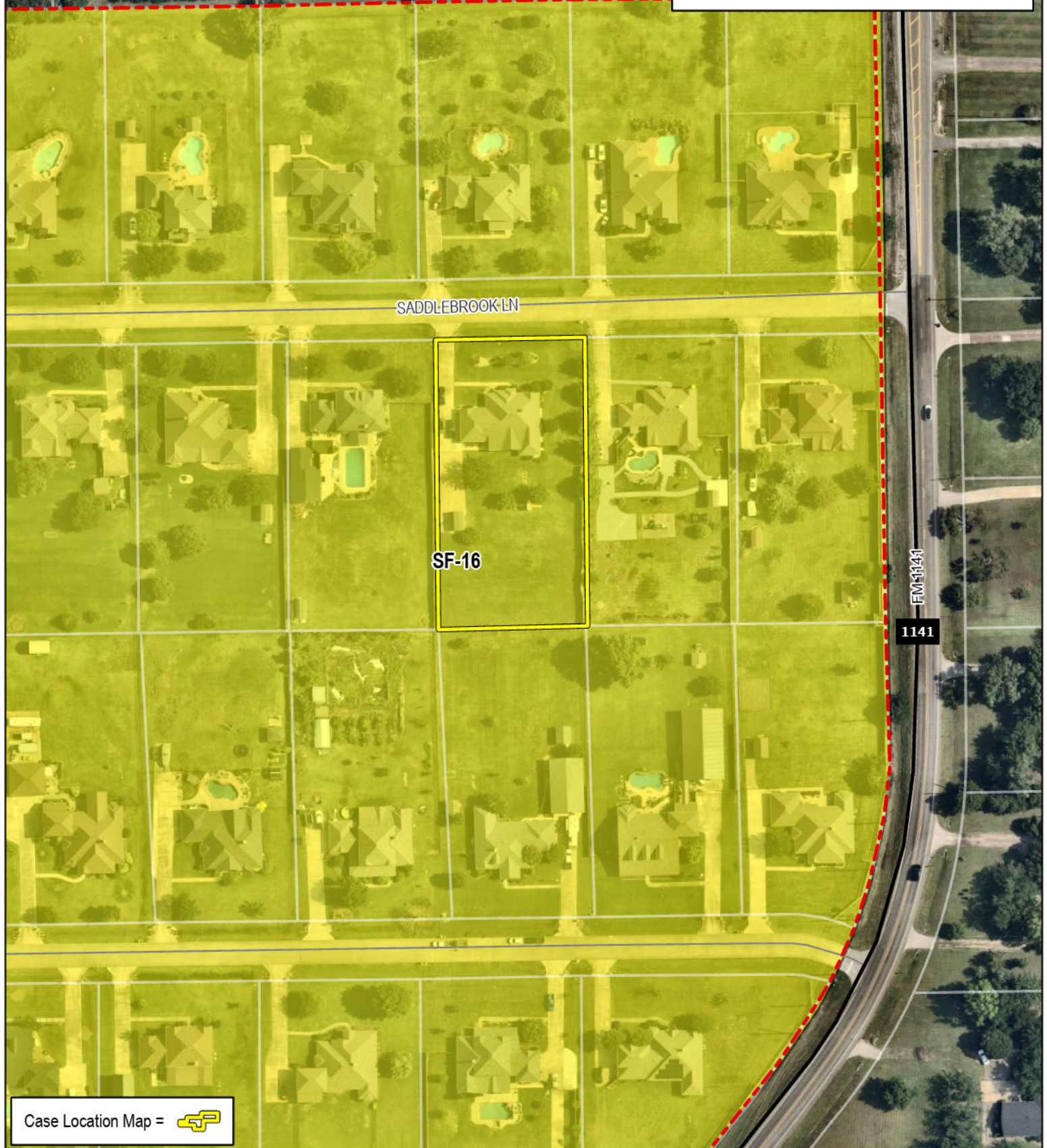
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Karen R



MY COMMISSION EXPIRES 3-18-2026



Z2025-054: SUP for an Accessory Structure at 2389 Saddlebrook Lane



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

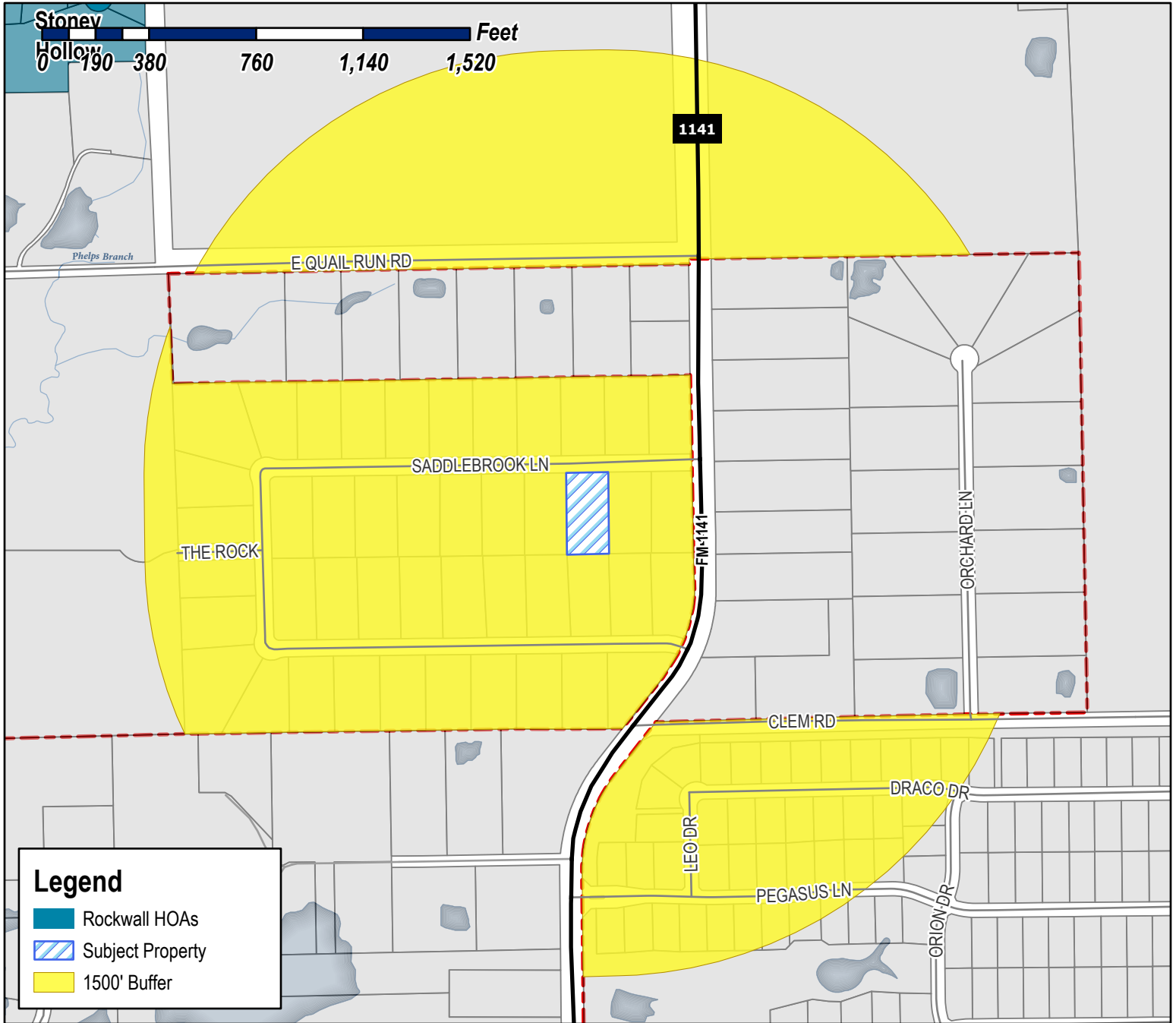




City of Rockwall

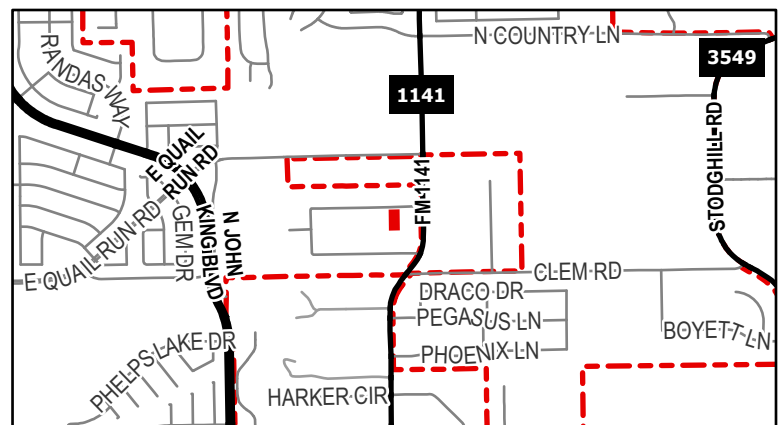
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2025-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2389 Saddlebrook Lane

Date Saved: 8/19/2025
 For Questions on this Case Call (972) 771-7745








City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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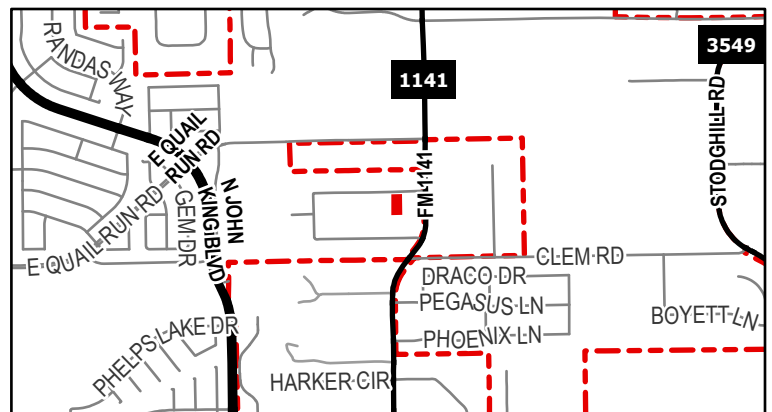
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2025-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2389 Saddlebrook Lane

Date Saved: 8/19/2025

For Questions on this Case Call: (972) 771-7745



CULP TERRI L
2301 SADDLEBROOK LN
ROCKWALL, TX 75087

MURPHEY HARVEY W
2304 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE AARON & BARBARA
2305 SADDLEBROOK LANE
ROCKWALL, TX 75087

ECHOLS JAMES WADE
2307 E 2307 QUAIL RUN RD
ROCKWALL, TX 75087

CONFIDENTIAL
2308 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES JAMES E
2309 SADDLEBROOK LN
ROCKWALL, TX 75087

SMITH WILLIAM CLEVE JR &
EDITH LILLIAN
2312 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE MICHAEL B & DESIRAE M
2313 Saddlebrook Ln
Rockwall, TX 75087

LLOYD DANIEL AND REBECCA R
2316 SADDLEBROOK LANE
ROCKWALL, TX 75087

MUGGEO THOMAS & PATRICIA M
2317 SADDLEBROOK LN
ROCKWALL, TX 75087

TAYLOR BRANDON G & AMANDA H
2320 SADDLEBROOK LN
ROCKWALL, TX 75087

BARON JEFFREY MICHAEL & JEANNE MARIE
2324 SADDLEBROOK LANE
ROCKWALL, TX 75087

AMUNDSON DAVID O & ALICIA K
2328 SADDLEBROOK LN
ROCKWALL, TX 75087

RICHARDSON FRANKLIN AND JENNIFER
2343 EAST QUAIL RUN ROAD
ROCKWALL, TX 75087

TRUITT PAMELA MARIE & ROBERT EDWIN
2372 Saddlebrook Ln
Rockwall, TX 75087

CALDERON ALEJANDRO & ROSARIO
2373 SADDLEBROOK LN
ROCKWALL, TX 75087

BASHAM ERIC B
2376 SADDLEBROOK LN
ROCKWALL, TX 75087

SPINER YWAINE & JOAN FROEHLICH
2377 Saddlebrook Ln
Rockwall, TX 75087

W D DEFEBAGH REVOCABLE TRUST 2023
WALTER WAYNE DEFEBAGH & DAWN ANN
DEFEBAGH - TRUSTEES
2380 SADDLEBROOK LN
ROCKWALL, TX 75087

WHISENHUNT BARRY I & JOYCE D
2381 SADDLEBROOK LN
ROCKWALL, TX 75087

GRAY RYAN D AND MARISA C
2384 SADDLEBROOK LN
ROCKWALL, TX 75087

PUTCHINSKI PAUL & SHANNON
2385 SADDLEBROOK LANE
ROCKWALL, TX 75087

CALLICOATT GEORGE & JUDY
2388 SADDLEBROOK LN
ROCKWALL, TX 75087

DUNCAN BRYAN AND BEVERLY
2389 SADDLEBROOK LN
ROCKWALL, TX 75087

THORMAHLEN KARL M SR & ETUX
2392 SADDLEBROOK LN
ROCKWALL, TX 75087

DIETRICH SHELLEY L & DAROLD T
2393 SADDLEBROOK LN
ROCKWALL, TX 75087

MINNICH SHAWN C & WENDY A
2396 SADDLEBROOK LN
ROCKWALL, TX 75087

FLEMING DONALD CHARLES LIV TR
DONALD CHARLES FLEMING TRUSTEE
2397 SADDLEBROOK LN
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-054: SUP for a Carport and Accessory Building

Hold a public hearing to discuss and consider a request by Stephen B. Duncan for the approval of a *Specific Use Permit (SUP)* for a Carport and Accessory Building on a one (1) acre parcel of land identified as Lot 18, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2389 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-054: SUP for a Carport and Accessory Building

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Alicia Amundson](#)
To: [Planning](#)
Subject: P&Z Case# Z2025-054
Date: Thursday, August 28, 2025 1:23:22 PM

Planning Department:

We are neighbors with the property in this SUP request for 2389 Saddlebrook Lane. We are in favor of the request and fully support them being able to build this building on their property. We think it looks like a great building design and have no issues with their plans.

Regards,
Dave and Alicia Amundson



CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: [Patricia Muggeo](#)
To: [Planning](#)
Subject: Case No. Z2025-054
Date: Sunday, August 24, 2025 6:09:39 PM

Carport & Accessory Building

We are in favor of the request of an accessory building with carport at 2389 Saddlebrook Lane, 75087.
We know what the Duncan's are asking for will fit into the neighborhood aesthetics.

Thank you,

Tom & Patti Muggeo

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Case No. Z2025-054: SUP for a Carport and Accessory Building

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I see no reason why this request should not be granted.

Name:

NOEMA KEGGERS

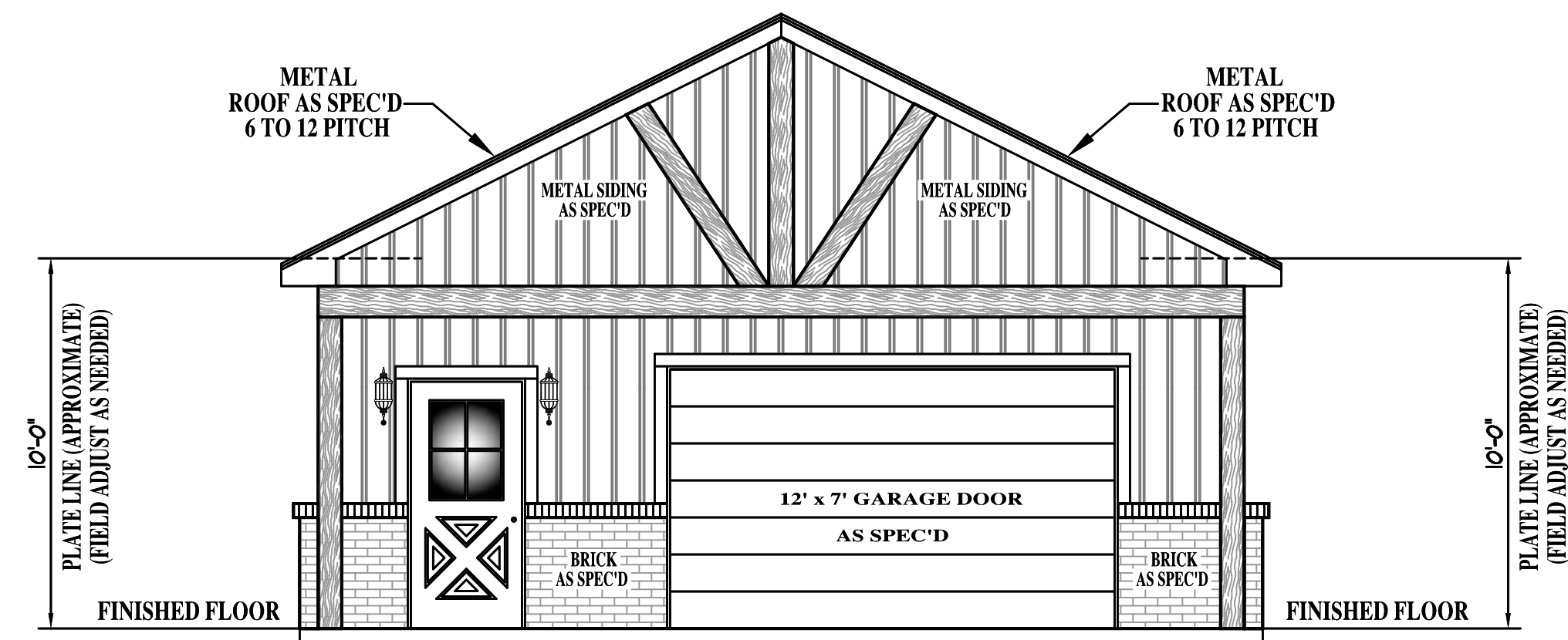
Norma Keggers

Address:

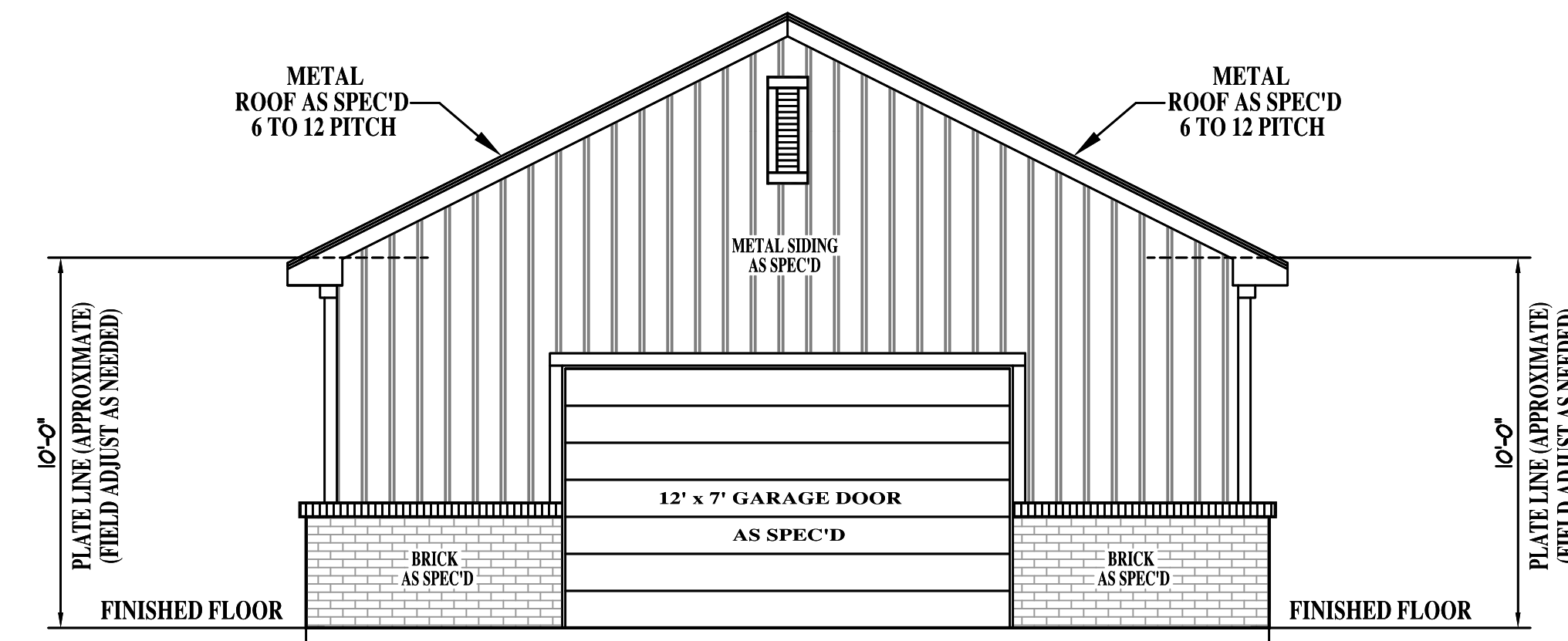
[REDACTED ADDRESS]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

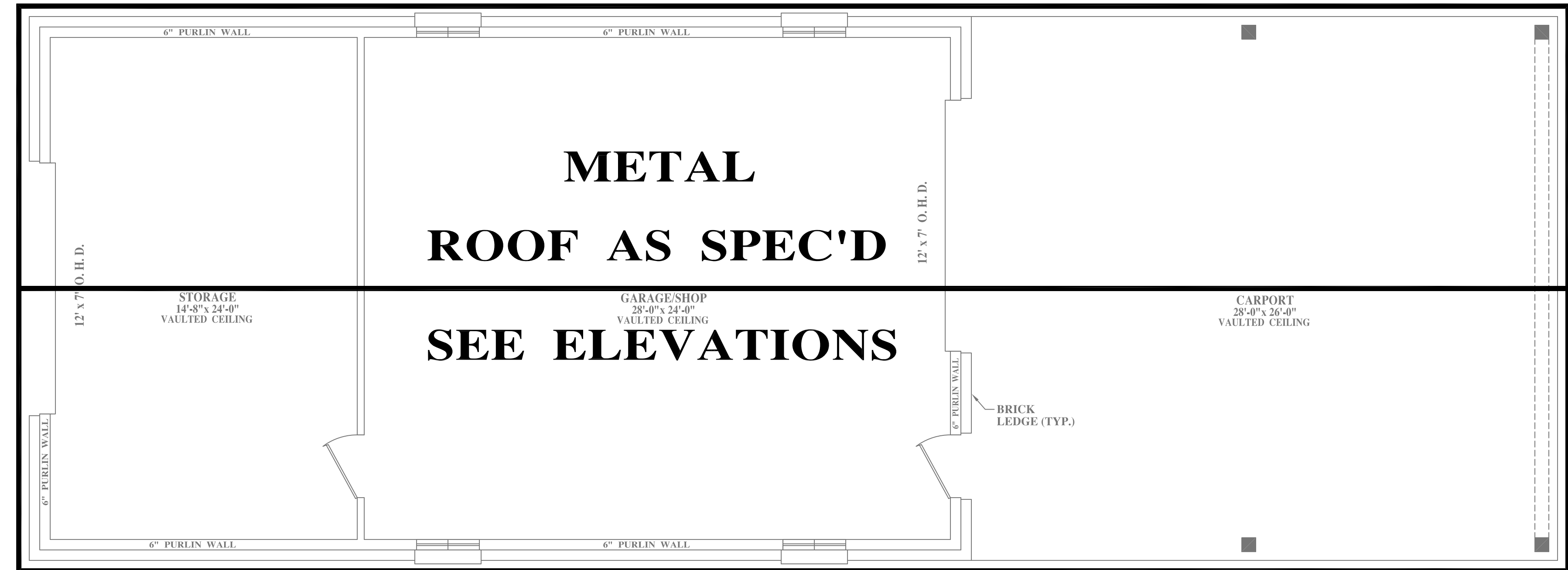
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
1/4" = 1'-0"



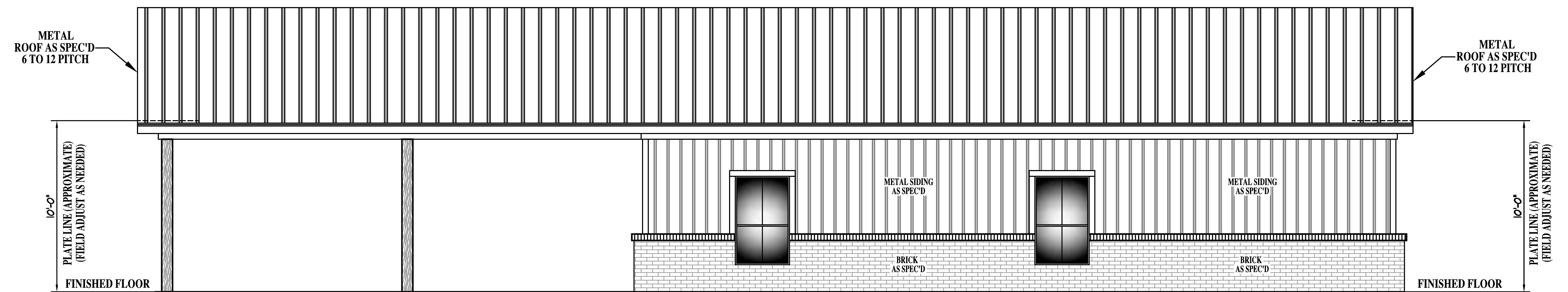
REAR ELEVATION
1/4" = 1'-0"



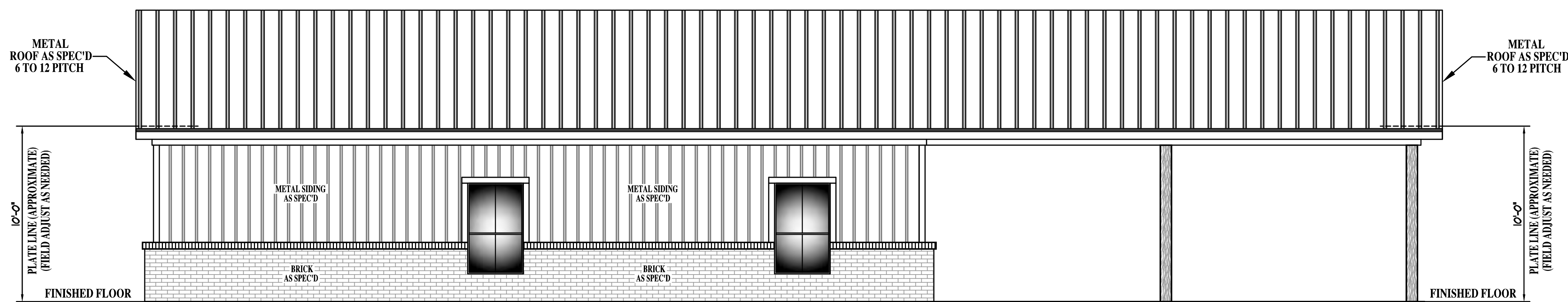
ROOF PLAN
1/4" = 1'-0"

NOTES:

1. ALL PLATE LINES ARE ESTIMATES ONLY & MUST BE FIELD VERIFIED & ADJUSTED AS NEEDED TO MAKE ROOF ALIGN PROPERLY.
2. ALL ROOF PITCHES ARE ESTIMATES ONLY AND MUST BE FIELD VERIFIED AND ADJUSTED AS NEEDED TO MAKE ROOF ALIGN PROPERLY.
3. ALL CEILING HEIGHTS TO BE FIELD VERIFIED AND APPROVED BY OWNER & BUILDER BEFORE ANY CEILING OR ROOF RAFTERS ARE FRAMED.
4. THESE ELEVATIONS ARE RECOMMENDATIONS ONLY AND CAN BE FIELD MODIFIED AND ADJUSTED AS NEEDED PER BUILDERS INSTRUCTIONS AND OWNER APPROVAL.
5. IT IS THE RESPONSIBILITY OF THE BUILDER, OWNER & FRAMER TO FOLLOW THE ABOVE NOTES AND VERIFY AND INFORM THE OWNER AND BUILDER OF ANY AND ALL DISCREPANCIES BEFORE ROOF IS COMPLETED.



RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

NOTE:
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DRAWN BY: ALAN LOOSIER
BUILDER:
SCALE: 1/4" = 1'-0"
DATE: 07-14-2025
CAD FILE: DUNCAN.DWG

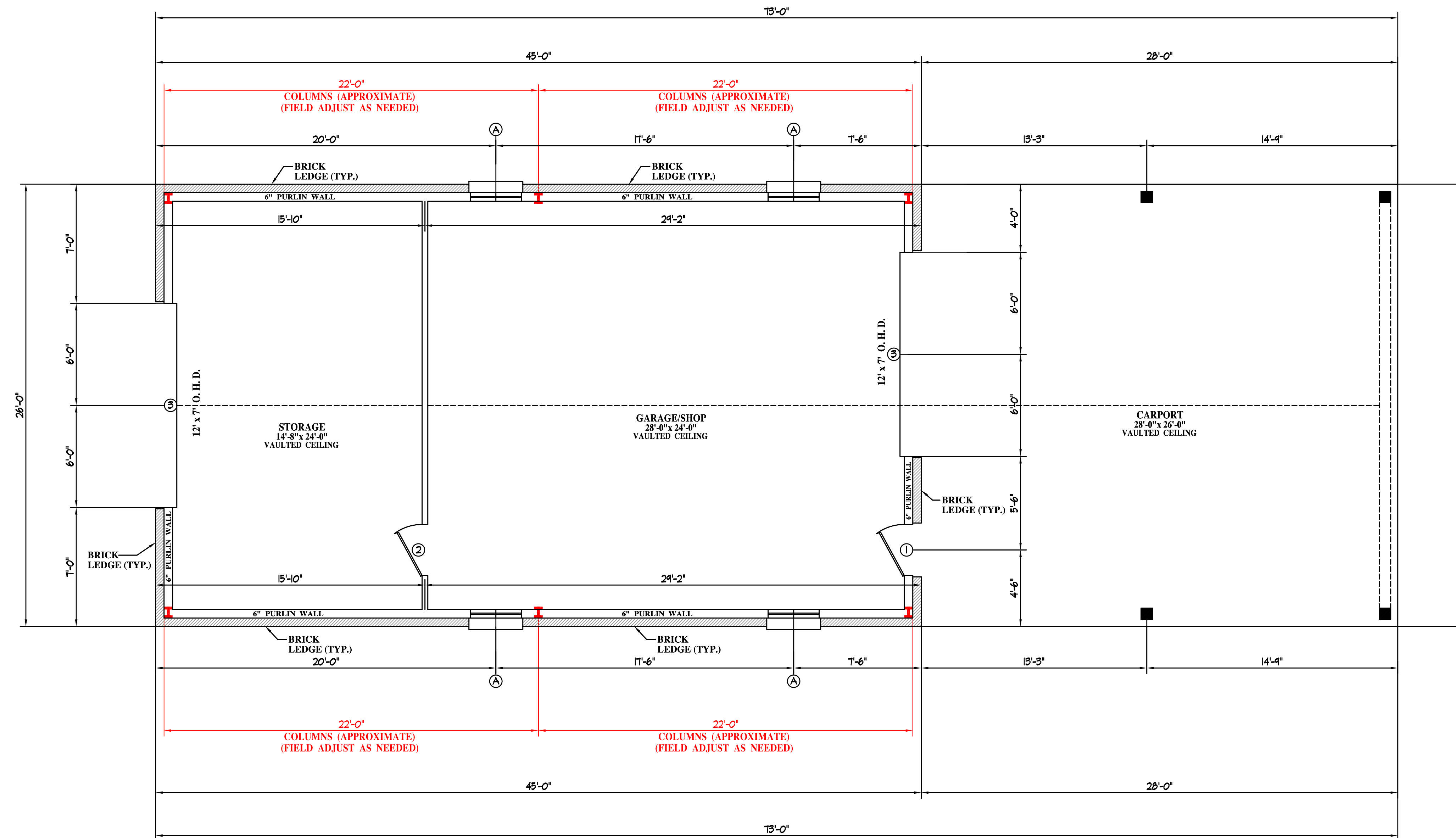
DRAWN BY:
Ellis County Reprographics, Inc.
351 SOUTH RING ROAD
WAXAHACHE, TEXAS 75165
972-938-3430

NOTICE OF NON-RESPONSIBILITY
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THE LIMIT OF LIABILITY FOR E.C.R. INC IS NOT TO EXCEED THE COST OF THE PLANS.
ELLIS COUNTY REPROGRAPHICS, INC.

PLANS FOR:
BRYAN DUNCAN
2389 SADDLEBROOK LANE
ROCKWALL, TEXAS

DRAWING:
ELEVATIONS AND ROOF PLAN

SHEET NO.
A-3



FLOOR PLAN
1/4" = 1'-0"

DRAWING INDEX

A-1 FLOOR PLAN
A-2 ELECTRICAL PLAN
A-3 ELEVATIONS AND ROOF PLAN

- GENERAL NOTES:**
1. ALL WALLS STUDS SHALL BE 16" O.C. UNLESS NOTED OTHERWISE BY CONTRACTOR.
 2. ALL CEILING JOIST AND ROOF RAFTERS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED BY CONTRACTOR.
 3. MAXIMUM SPAN FOR ROOF JOIST AND RAFTERS PER CONTRACTORS SPECS.
 4. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES & ORDINANCES.
 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 6. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COMPLETE LIST OF ALL PRODUCTS, APPLIANCES & MATERIALS TO BE USED PRIOR TO PURCHASE AND INSTALLATION.
 7. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS.
 8. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY CALCULATIONS, DRAWINGS, AND OTHER REQUIREMENTS FOR THE DESIGN AND INSTALLATION OF THE FOUNDATION.
 9. THE FOUNDATION SHALL BE DESIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER CURRENTLY REGISTERED IN THE STATE OF TEXAS, WHO HAS AT LEAST FIVE YEARS EXPERIENCE IN THE DESIGN OF FOUNDATIONS FOR SOILS IN THE DALLAS AND FT. WORTH AREA.
 10. ALL REQUIRED SOIL TESTING, INVESTIGATIONS, LAB ANALYSIS AND OTHER REQUIRED DATA SHALL BE PROVIDED BY THE CONTRACTOR.

COLUMN NOTE:
ALL COLUMNS ARE ESTIMATES ONLY AND NEED TO BE FIELD VERIFIED AND ADJUSTED AS NEEDED IN THE FIELD BY BUILDER.

WINDOW SCHEDULE		
NO.	TYPE	SIZE
A	VERTICAL SINGLE HUNG VINYL	3'-0" x 5'-0"

DOOR SCHEDULE			
NO.	SIZE	FIRE	MATERIAL
1	3'-0" x 6'-8"	B	EXTERIOR DOOR MILL CONST. (UTILITY)
2	3'-0" x 6'-8"	B	INTERIOR WOOD RAISED PANEL
3	12'-0" x 7'-0"	B	OVERHEAD GARAGE DOOR UNIT

SPACE LIST	
TITLE	SQ.FT.
GARAGE/SHOP	712
CARPORT	736
STORAGE	388
BRICK LEDGE	56
TOTAL UNDER ROOF	1892

NOTE:
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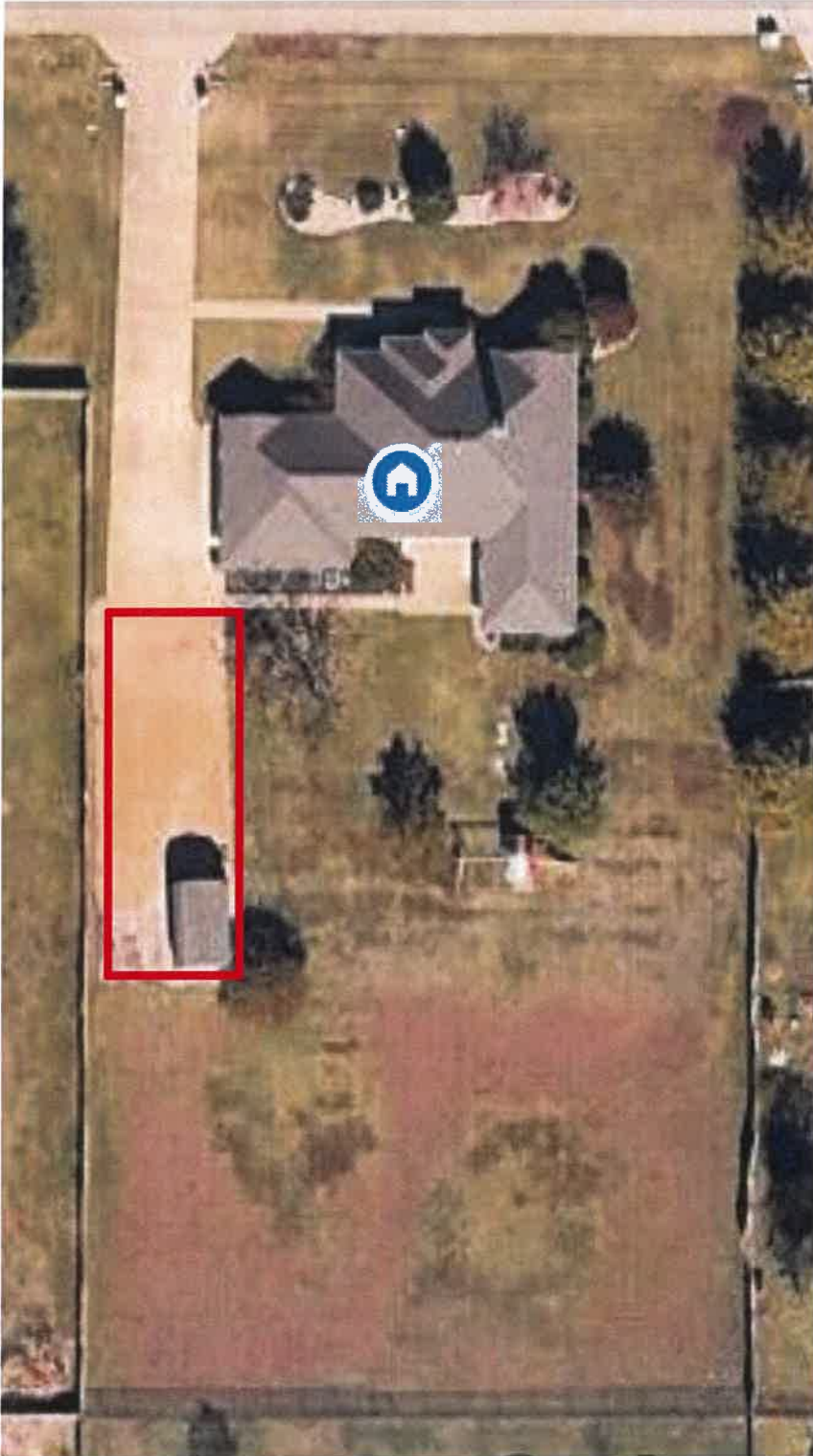
DRAWN BY: ALAN LOOSIER
 BUILDER: Ellis County Reprographics, Inc.
 SCALE: 1/4" = 1'-0"
 DATE: 07-14-2025
 CAD FILE: DUNCAN.DWG

DRAWING FOR: **BRYAN DUNCAN**
2389 SADDLEBROOK LANE
 ROCKWALL, TEXAS

FLOOR PLAN
 SHEET NO. **A-1**

NOTICE OF NON-RESPONSIBILITY
 AS THESE PLANS ARE A RECOMMENDATION ONLY, HAVING BEEN PREPARED FROM SPECIFICATIONS AND DIMENSIONS PROVIDED BY THE BUILDER/PURCHASER OF PLANS TO ECR, INC. THE PLANS SHOULD BE CHECKED AND VERIFIED PER LOCAL CODES AND SPECS BY THE BUILDER/PURCHASER OF THE PLANS. IF THERE ARE ANY ERRORS, OR EXCLUSIONS ECR, INC IS TO BE NOTIFIED UPON DISCOVERY. ECR, INC ASSUMES NO RESPONSIBILITY WHATSOEVER IF THE BUILDER/PURCHASER MODIFIES OR CHANGES THESE PLANS.
 THE LIMIT OF LIABILITY FOR ECR, INC IS NOT TO EXCEED THE COST OF THE PLANS.
 ELLIS COUNTY REPROGRAPHICS, INC

2389 Saddlebrook Ln, Rockwall TX 75087



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT AND ACCESSORY BUILDING ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 18, BLOCK B, OF THE SADDLEBROOK ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Stephen B. Duncan for the approval of a Specific Use Permit (SUP) for a *Carport and Accessory Building* on a one (1) acre parcel of land identified as Lot 18, Block B, of the Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District land uses, addressed as 2389 Saddlebrook Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Carport and Accessory Building* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential Standards*; Section 03.06, *Single-Family 16 (SF-16) District*; and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Carport and Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Carport and Accessory Building* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The *Carport and Accessory Building* shall generally conform to the *Building Elevations* as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The *Carport and Accessory Building* shall not exceed a total maximum size of 1,892 SF; and,
- (4) The *Carport and Accessory Building* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (5) No other *Accessory Structures* shall be permitted on the subject property.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'
Legal Description

Address: 2389 Saddlebrook Lane

Legal Description: Lot 18, Block B, Saddlebrook Estates #2 Addition



Exhibit 'B'
Site Plan

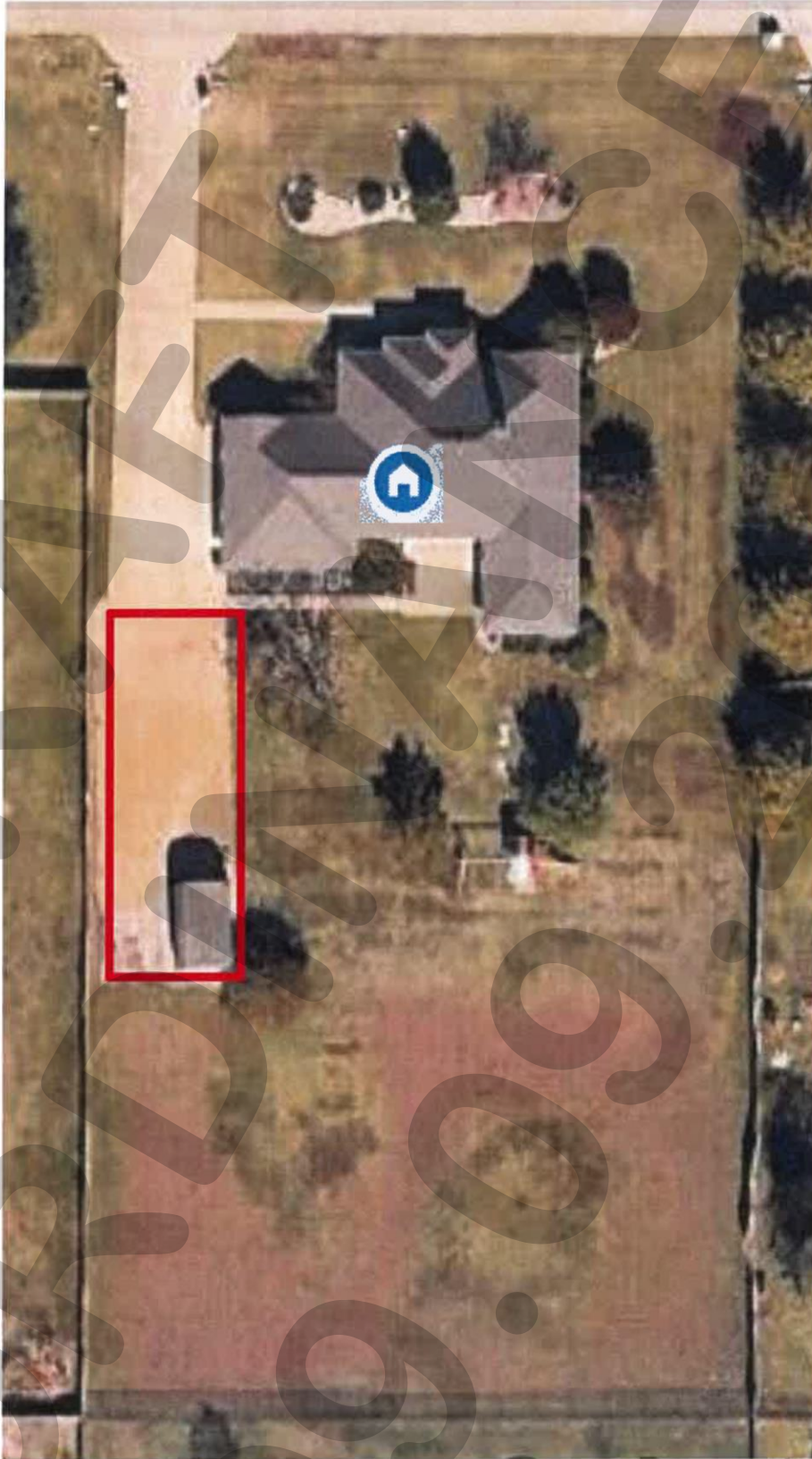
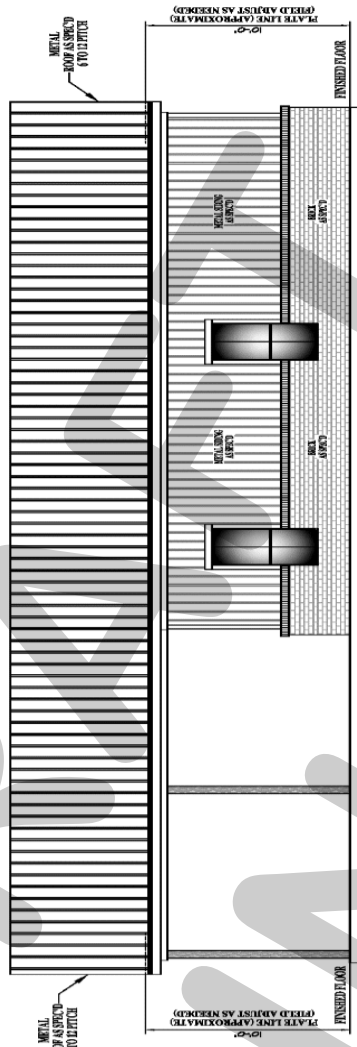
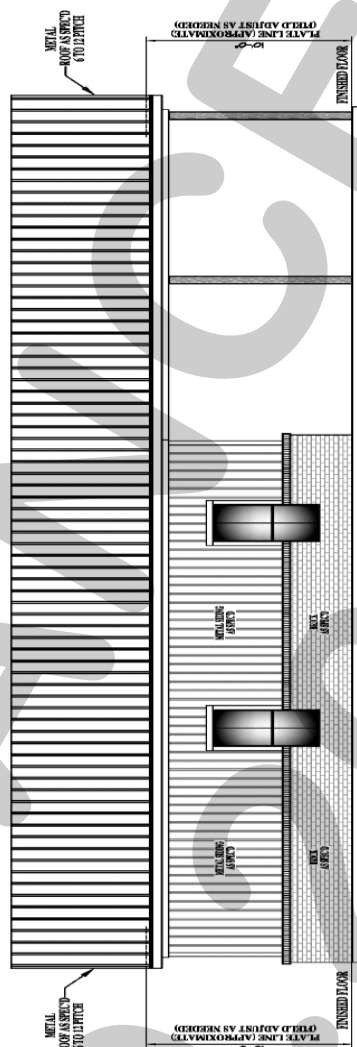


Exhibit 'C':
Building Elevations



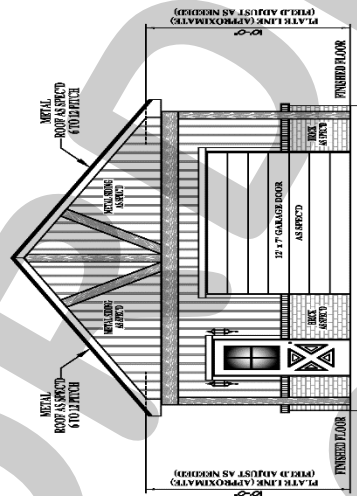
RIGHT ELEVATION

1/4"=1'-0"



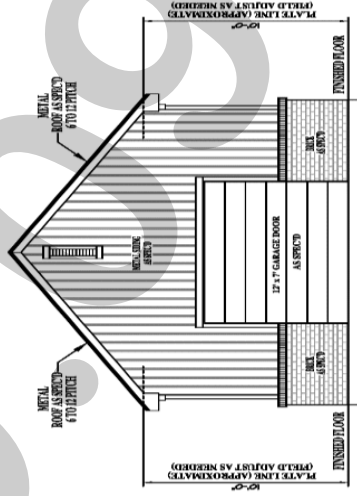
LEFT ELEVATION

1/4"=1'-0"



FRONT ELEVATION

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"

ICES BEFORE ROOF IS COMPLETED.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Lisa Deaton; *Palm Development Partners, LLC*
CASE NUMBER: Z2025-055; *PD Development Plan for 1301 S. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a PD Development Plan for *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned to a Light Industrial (LI) District. This zoning designation was again changed to a Commercial (C) District at some point between December 7, 1993 and April 5, 2005. On August 21, 2006 the City Council approved Planned Development District 68 (PD-68) [*Ordinance No. 06-32; Z2006-013*] changing the zoning of the subject property to allow limited Commercial (C) District land uses. Following this approval, the City Council approved a *Master Plat [Case No. P2006-043]* and a *Preliminary Plat [Case No. P2006-044]* on October 16, 2006. These cases were followed by the approval of a *Final Plat [Case No. P2006-056]* on December 11, 2006, that designated the subject property as Lot 4, Block A, Eastshore Addition. On July 16, 2018, the City Council approved a *Final Plat [Case No. P2018-019]* that establish the subject property as Lot 27, Block A, The Standard-Rockwall Addition.

PURPOSE

On August 15, 2025, the applicant -- *Lisa Deaton of Palm Development Partners, LLC* -- submitted an application requesting the approval of a *PD Development Plan* to allow the development of *Medical Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the east corner of the intersection of S. Goliad Street [*SH-205*] and Community Lane. The land uses adjacent to the subject property are as follows:

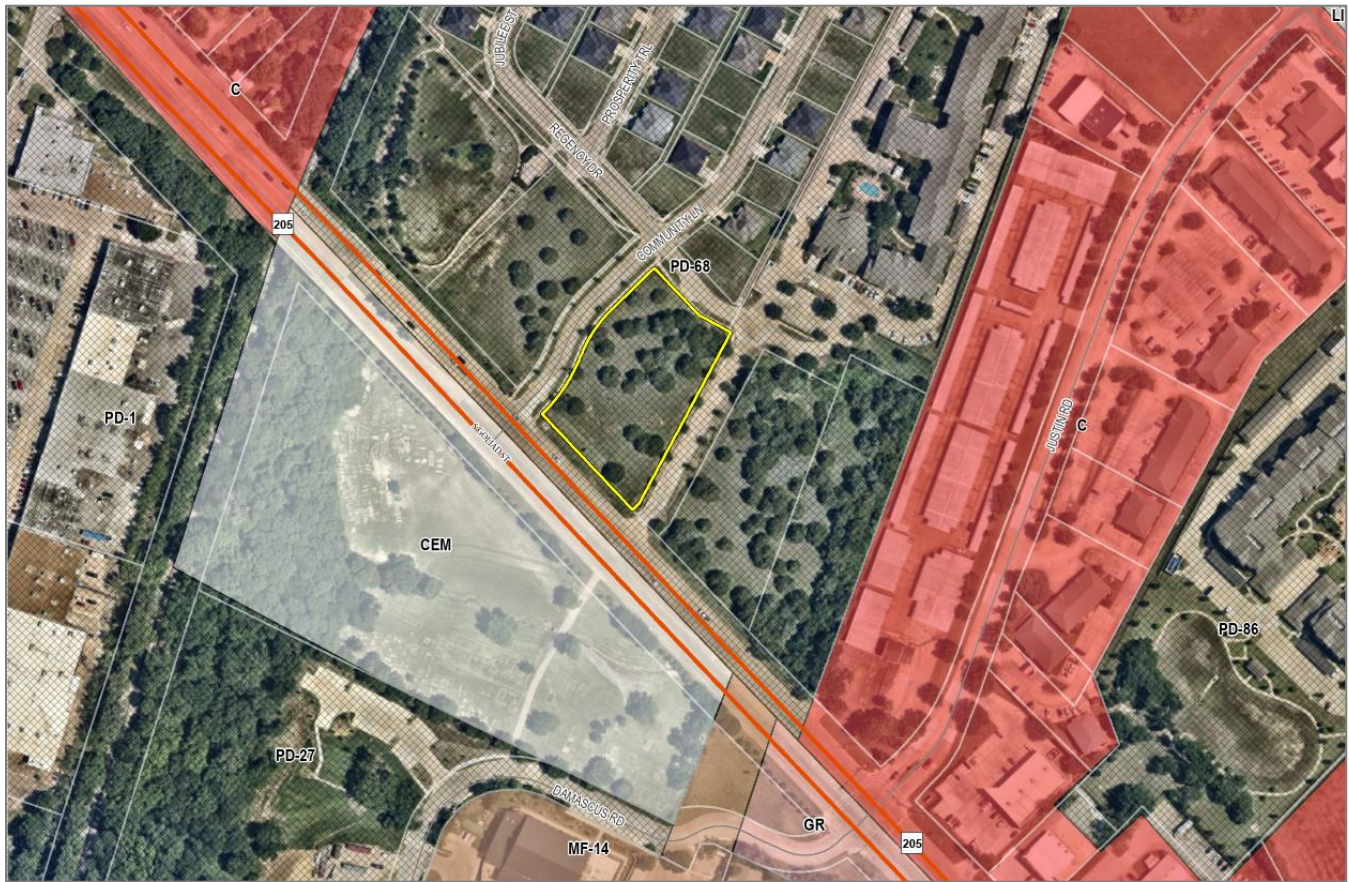
North: Directly north of the subject property is the Standard of Rockwall an *Age Restricted Residential Subdivision* that was established on October 28, 2018 and consists of 47 single-family residential lots. This property is zoned Planned Development District 68 (PD-68) for limited Single Family 7 (SF-7) District land uses. Beyond this is a 1.844-acre parcel of land (*i.e. Lot 1, Block A, Herring Addition*) developed with a *Towing and Impound Yard* zoned Heavy Commercial (HC) District. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall Law Enforcement Center Addition*) developed with the Rockwall County Detention Center.

South: Directly south of the subject property is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

East: Directly east of the subject property is an Age Restricted Apartment Complex (i.e. Evergreen Apartments) on a 6.579-acre parcel of land (i.e. Lot 3, Block A, Eastshore Addition), followed by two (2) vacant parcels of land (i.e. Lots 1 & 2, Block A, Eastshore Addition). Beyond this is a Mini-Warehouse facility (i.e. Advantage Self-Storage), which consists of 555 units on a 4.8164-acre parcel of land (i.e. Lot 2R-A, Block B, Lofland Industrial Park Addition) that is zoned Commercial (C) District. East of this is Justin Road, which is identified as a M4U (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a Cemetery owned by the City of Rockwall and zoned Cemetery (CEM) District.

MAP 1. LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and conceptual building elevations depicting the establishment of a *Medical Office Building* on the subject property. Based on the provided concept plan, the proposed development will not take direct access off of S. Goliad Street [SH-205], rather access will be taken off Community Lane and a provided access easement along the south property line. In addition, the proposed *Medical Office Building* will be one (1) story, approximately 10,377 SF in size, and have 52 parking spaces. The applicant is also proposing a *Private Sports Court with Dedicated Lighting*. This sports court will be private and only for the use of the clients of the *Medical Office*.

CONFORMANCE WITH PLANNED DEVELOPMENT DISTRICT 68 (PD-68)

According to the *Concept Plan* contained in Planned Development District 68 (PD-68) [Ordinance No. 17-05] the subject property is situated within Area 2, which -- according to Ordinance No. 17-05 -- is designated for limited Commercial (C) District land uses. In this case, the applicant is proposing a *Medical Office Building*, which is permitted *by-right* within a Commercial (C) District. The following is a summary of the density and dimensional requirements for a property located within a Commercial (C) District, and how the proposed project conforms to these requirements:

TABLE 1: COMMERCIAL (C) DISTRICT STANDARDS

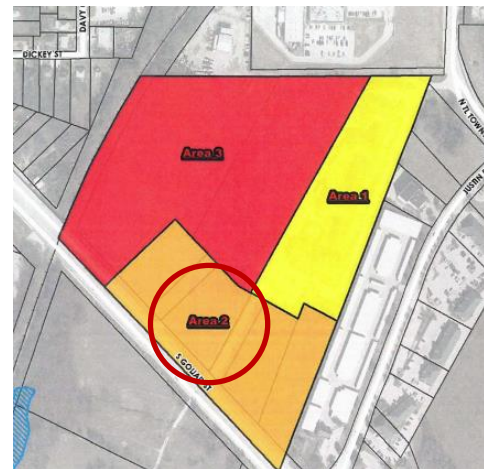
<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
Minimum Lot Area	10,000 SF	1.438-Acres; <i>In Conformance</i>
Minimum Lot Width	60'	X > 60-feet; <i>In Conformance</i>
Minimum Lot Depth	100'	X > 100-feet; <i>In Conformance</i>
Minimum Front Yard Setback ^{(1) & (2)}	25'	X > 25-feet; <i>In Conformance</i>
Minimum Side Yard Setback ⁽³⁾	10'	X > 10-feet; <i>In Conformance</i>
Minimum Rear Yard Setback ⁽³⁾	10'	X > 10-feet; <i>In Conformance</i>
Minimum Between Buildings ⁽³⁾	20'	X > 20-feet; <i>In Conformance</i>
Maximum Building Height ⁽⁴⁾	60'	X < 60%; <i>In Conformance</i>
Maximum Lot Coverage	60%	X < 60%; <i>In Conformance</i>
Minimum Landscaping	20%	X > 20%; <i>In Conformance</i>

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE, UNLESS LOCATED WITHIN AN OVERLAY DISTRICT.
- 3: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 4: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

Staff has provided the concept plan from the Planned Development District 68 (PD-68) ordinance [Ordinance No. 17-05] that depicts Area 2 in Figure 1. Based on the PD Development Standards -- outlined within the PD-68 ordinance --, Area 2 is intended for limited Commercial (C) District land uses, and where the land uses prohibited within the ordinance are land uses that are not always appropriate when adjacent to residential land uses (i.e. Areas 1 & 3). In this case, there are residential adjacencies north of the subject property. That being said, given the residential adjacency and the adjacency along a major thoroughfare (i.e. S. Goliad Street [SH-205]), Area 2 can be developed with land uses that are compatible with the existing surrounding residential, but are cognizant of the major thoroughfare. In this case, the proposed *Medical Office* is allowed *by-right* on the subject property and appears to meet the intent of Planned Development District 68 (PD-68); however, the proposed PD Development Plan is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission.

FIGURE 1: CONCEPT PLAN FOR PD-68
RED CIRCLE = APPROXIMATE LOCATION OF SUBJECT PROPERTY



CONFORMANCE WITH THE CITY'S CODES

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the *Medical Office* land use required one (1) parking space per 200 SF of building area. In this case, the applicant is proposing a 10,377 SF *Medical Office Building*. Given this, the applicant is required to provide 52 parking spaces (i.e. 10,377 SF / 200 SF = 51.885 or 52 parking spaces). Staff should note, that according to Subsection 03.01, *Calculation of Spaces*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), if a parking calculation results in a fractional parking space the fraction space shall always be rounded up.

According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a property located within a Commercial (C) District is permitted either a masonry wall or a wrought iron fence. In this case, the applicant is requesting to utilize an eight (8) foot vinyl fence around the *Private Sports Court*. The applicant has indicated that the proposed *Private Sports Court* is related to the services they provide for children/teens, and that privacy is a concern. This item is discretionary to the City Council and the Planning and Zoning Commission; however, staff should note that other vinyl fences have been approved for *Daycare Facilities*.

In addition to the concept plan, the applicant has provided building elevations. Staff has included these building elevations in the *Draft Ordinance* in order to generally tie down the architecture. That being said, the provided building elevations do not meet the material or articulation standards for a building located within an *Overlay District*. Given this, staff has included a *Condition of Approval* in this memo and an *Operational Condition* in the *Draft Ordinance* that requires the building elevations to be reviewed by the Architecture Review Board (ARB) at the time of site plan. At this time, the City Council and Planning and Zoning Commission are not approving any exceptions or variances to the building elevations as part of this *PD Development Plan* request. These will be approved with the site plan should this case be approved.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, there are no major *Rodway* or *Wastewater and Water* infrastructure items related to the request; however, staff should note that detention shall be required.

NOTIFICATIONS

On August 22, 2025, staff mailed 42 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Homeowner's Association (HOA), which was the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *PD Development Plan* for a *Medical Office Building*, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the *PD Development Plan* ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, the Architectural Review Board (ARB) shall review the building elevations at the time of site plan and provide recommendations to the Planning and Zoning Commission. During the site plan process, the Planning and Zoning Commission shall be tasked with approving any exceptions/variances.
- (2) Any construction resulting from the approval of this *Planned Development District* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 1301 S. Goliad St, Rockwall, TX

SUBDIVISION The Standard - Rockwall Addition

LOT 27

BLOCK A

GENERAL LOCATION Located on the corner of S Goliad and Community Ln

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING PD-68, SH-205 Overlay

CURRENT USE None, Vacant lot

PROPOSED ZONING PD-68, SH-205 Overlay

PROPOSED USE Business (Medical Office Bldg)

ACREAGE 1.4384

LOTS [CURRENT]

One (1)

LOTS [PROPOSED]

One (1)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER East Shore JV

APPLICANT Palm Development Partners, LLC

CONTACT PERSON Donna Perry, Venture Manager

CONTACT PERSON Lisa Deaton, Chief Operations Officer

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donna Perry, Venture Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

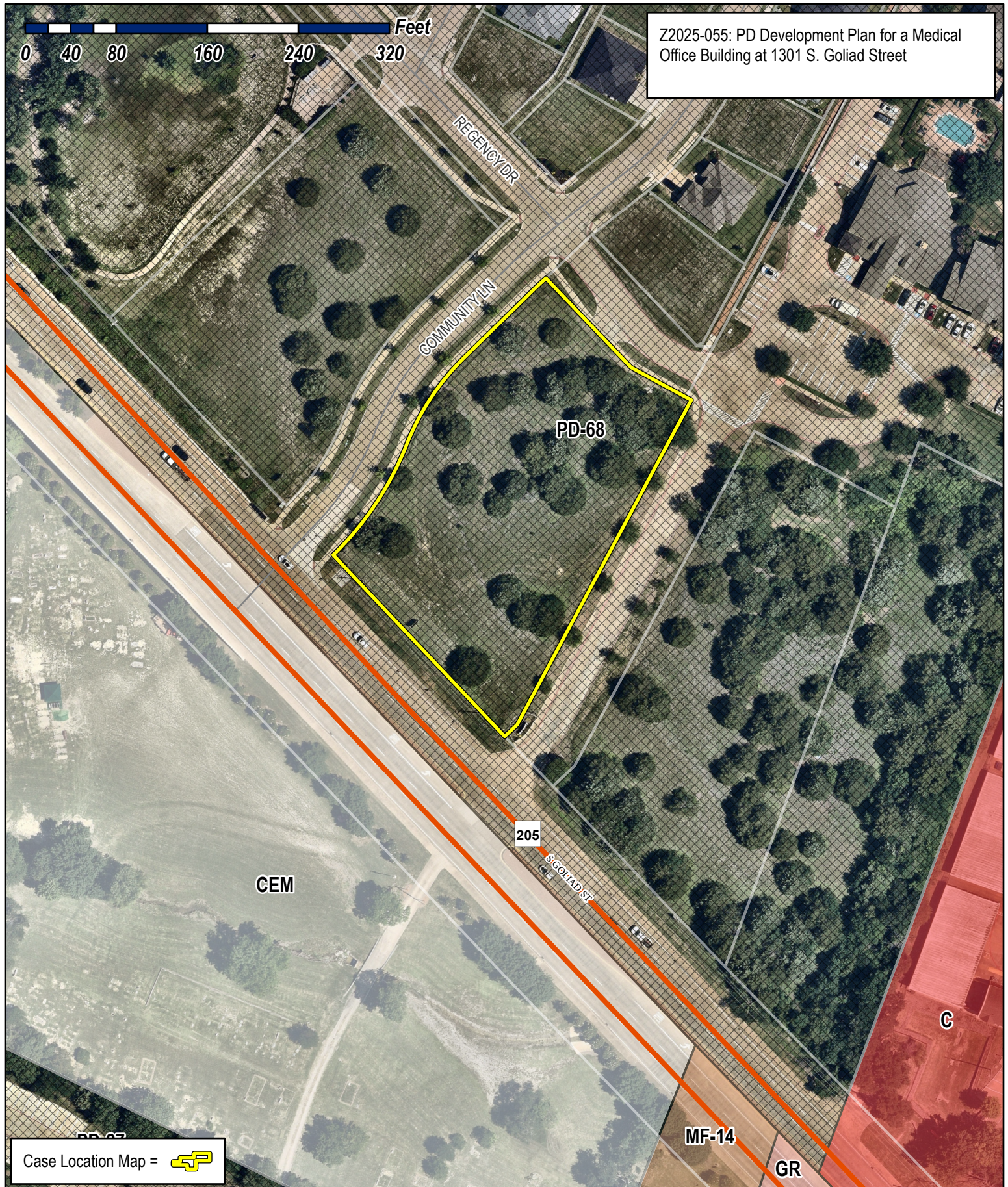
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 221.58 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF August, 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPY RIGHTS INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF August, 20 25.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

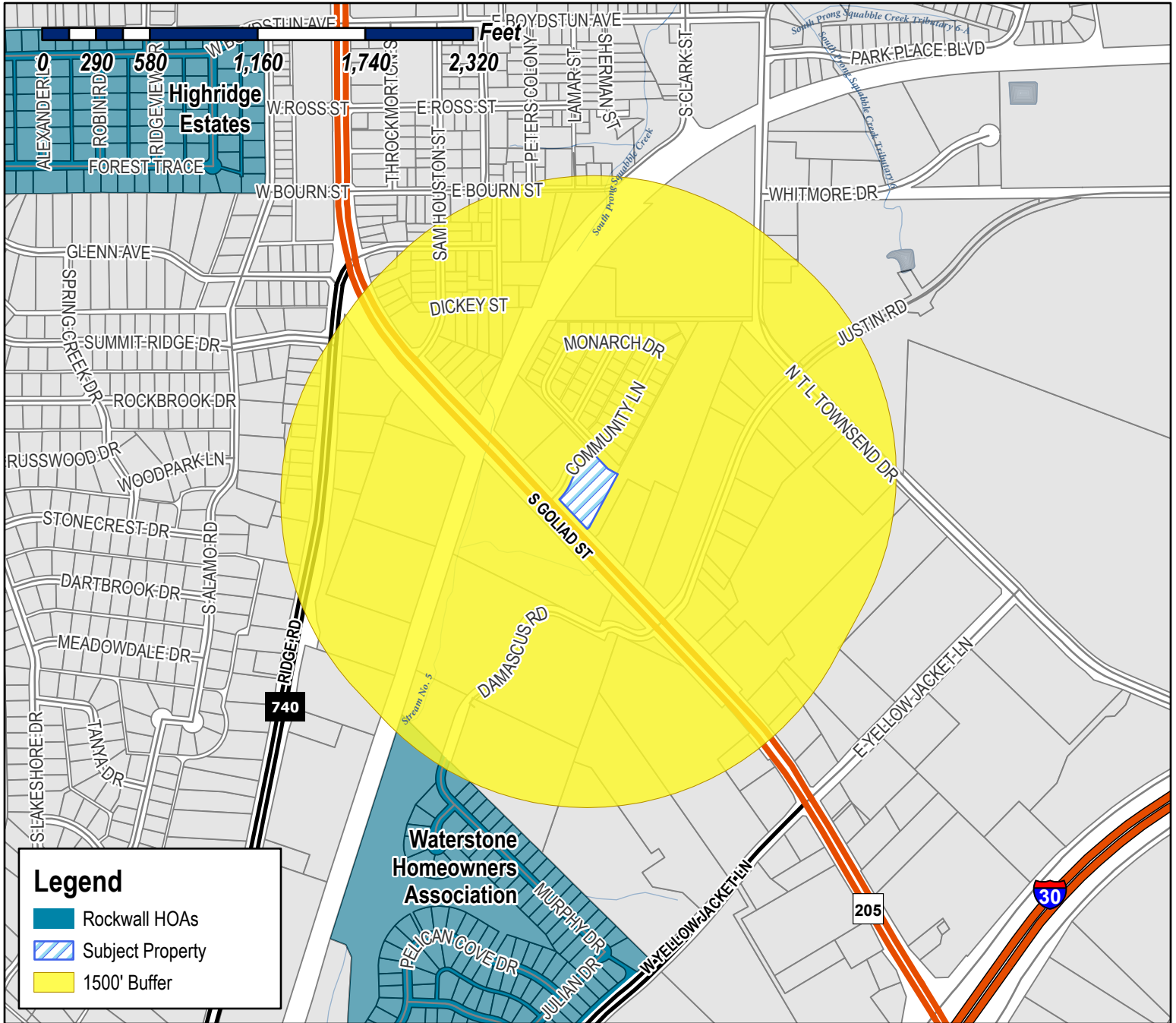




City of Rockwall

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Case Number: Z2025-055
Case Name: PD Development Plan for a Medical Office Building
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: 1301 S. Goliad

Date Saved: 8/14/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-055]
Date: Thursday, August 21, 2025 8:19:02 AM
Attachments: [Public Notice \(08.19.2025\).pdf](#)
[HOA Map \(08.15.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-055: PD Development Plan for Medical Office Building

Hold a public hearing to discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a [PD Development Plan](#) for Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

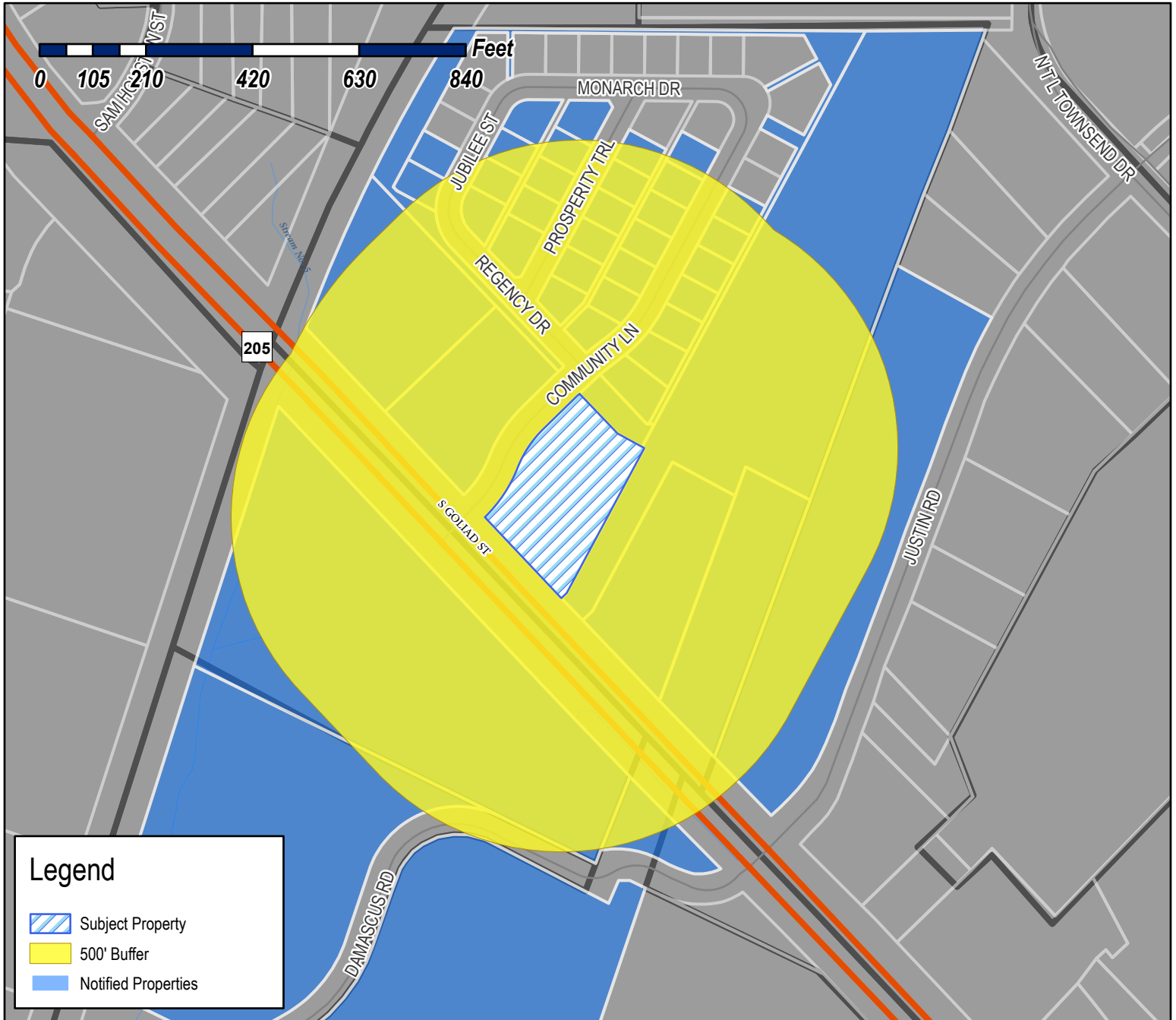
972-771-7745 Ext. 6568






City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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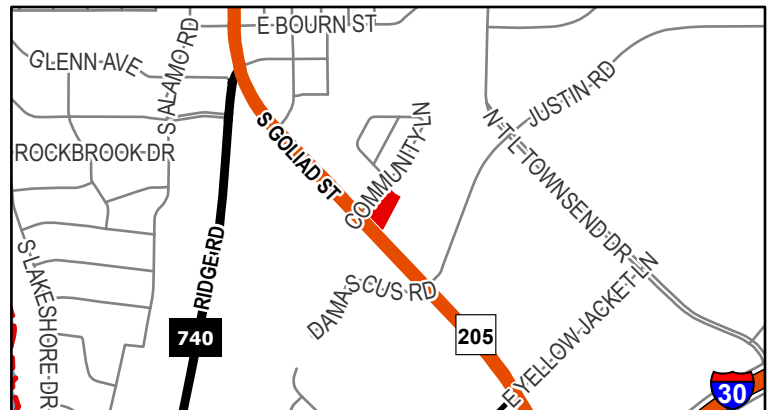
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2025-055
Case Name: PD Development Plan for a Medical Office Building
Case Type: Zoning
Zoning: Planned Development District (PD-68)
Case Address: 1301 S. Goliad Street

Date Saved: 8/14/2025

For Questions on this Case Call: (972) 771-7745



ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
1132 Glade Rd
Colleyville, TX 76034

RESIDENT
1275 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1300 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1301 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1325 S GOLIAD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 Glen Lakes Dr Ste 110
Dallas, TX 75231

RESIDENT
601 COMMUNITY LN
ROCKWALL, TX 75087

RESIDENT
601 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
602 COMMUNITY LN
ROCKWALL, TX 75087

THOMAS LOU BERTHA
602 JUBILEE STREET
ROCKWALL, TX 75087

RESIDENT
603 JUBILEE ST
ROCKWALL, TX 75087

RESIDENT
604 PROSPERITY TR
ROCKWALL, TX 75087

ADAIR HARMON L JR AND CAROLE J
605 COMMUNITY DRIVE
ROCKWALL, TX 75087

MORGAN JERRY RAY & GABRIELA HANNI
605 PROSPERITY TRL
ROCKWALL, TX 75087

RESIDENT
606 JUBILEE ST
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

RESIDENT
607 COMMUNITY LN
ROCKWALL, TX 75087

CATHEY OPAL A
607 JUBILEE ST
ROCKWALL, TX 75087

RESIDENT
608 PROSPERITY TR
ROCKWALL, TX 75087

MCCURRY JAMES M
609 Prosperity Trl
Rockwall, TX 75087

RESIDENT
610 COMMUNITY LN
ROCKWALL, TX 75087

BUSBY ARTHUR LEE JR &
DOROTHEA BUSBY
611 Community Ln
Rockwall, TX 75087

THE DAVID AND PATRICIA HENDRICKSON LIVING
TRUST
DAVID L HENDRICKSON & PATRICIA S
HENDRICKSON - TRUSTEES
611 JUBILEE ST
ROCKWALL, TX 75087

ALFRED T WILLIAMS AND PATRICIA M WILLIAMS
REVOCABLE LIVING TRUST
PATRICIA M WILLIAMS - SURVIVOR TRUSTEE
612 PROSPERITY TRL
ROCKWALL, TX 75087

RESIDENT
613 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
614 COMMUNITY LN
ROCKWALL, TX 75087

RESIDENT
615 JUBILEE ST
ROCKWALL, TX 75087

MONTGOMERY PAMELA ANN
615 COMMUNITY LN
ROCKWALL, TX 75087

RESIDENT
616 PROSPERITY TR
ROCKWALL, TX 75087

HAMMERLING CHRISTOPHER JOHN AND RONI
PENBERTHY
617 PROSPERITY TR
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LANE
ROCKWALL, TX 75087

RESIDENT
619 COMMUNITY LN
ROCKWALL, TX 75087

WINCH TERRI L
620 PROSPERITY TRAIL
ROCKWALL, TX 75087

RESIDENT
621 PROSPERITY TR
ROCKWALL, TX 75087

RESIDENT
622 COMMUNITY LN
ROCKWALL, TX 75087

RESIDENT
623 COMMUNITY LN
ROCKWALL, TX 75087

JOHNSON LINDA JONES & ALLEN RAY
626 COMMUNITY LANE
ROCKWALL, TX 75087

RESIDENT
660 JUSTIN RD
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8226 Douglas Ave Ste 709
Dallas, TX 75225

PS LPT PROPERTIES INVESTORS
DEPT-PT-TX-26644
PO BOX 25025
GLENDALE, CA 91201

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-055: PD Development Plan for a Medical Office Building

Hold a public hearing to discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a PD Development Plan for Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-055: PD Development Plan for a Medical Office Building

Please place a check mark on the appropriate line below:

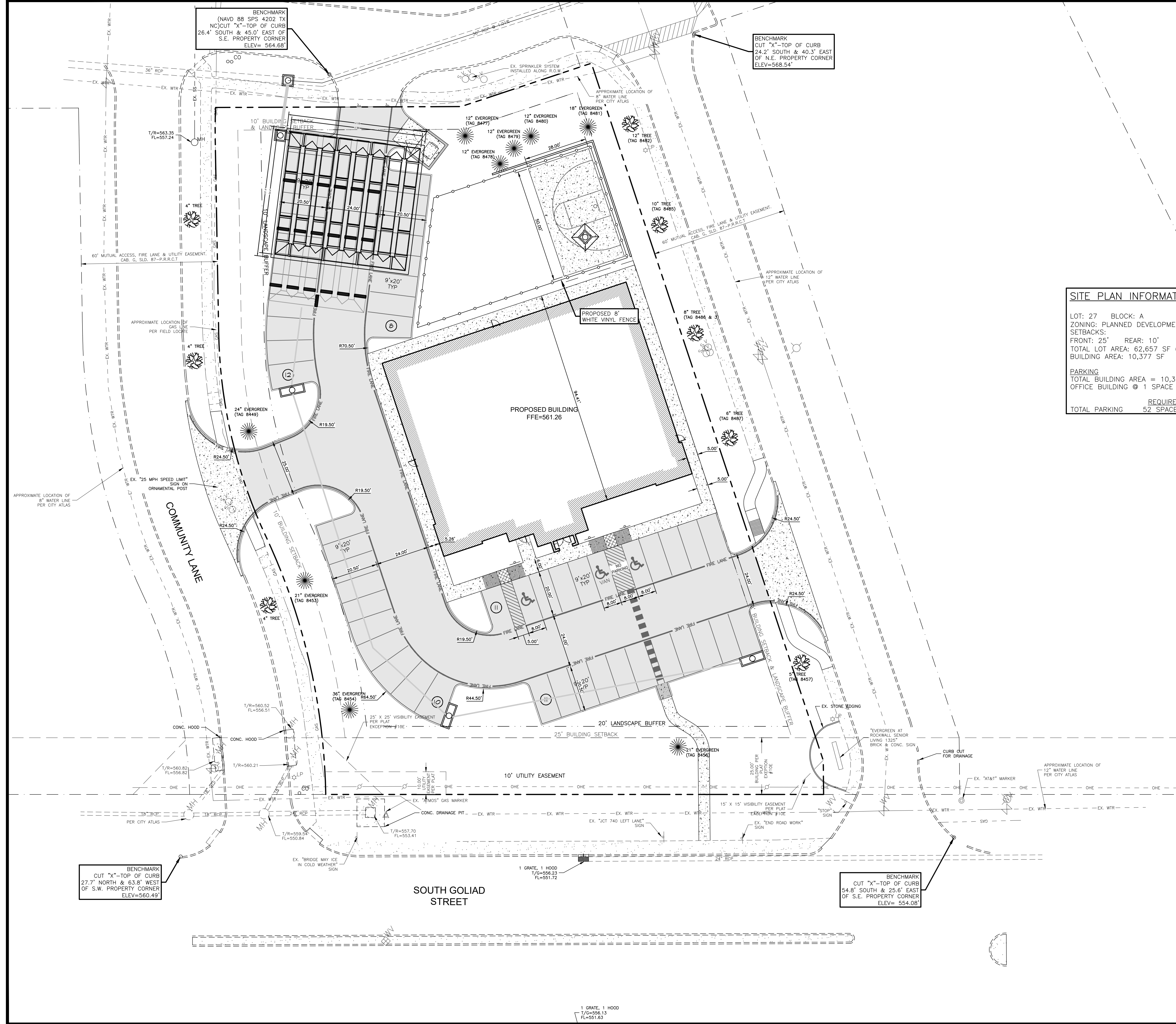
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

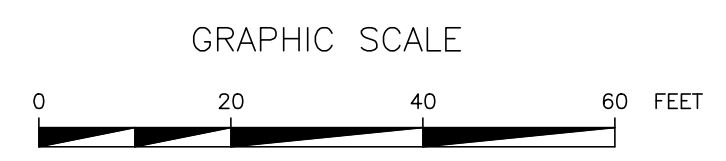
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



BENCHMARK
 (NAVD 88 SPS 4202 TX
 NC) CUT "X"-TOP OF CURB
 26.4' SOUTH & 45.0' EAST OF
 S.E. PROPERTY CORNER
 ELEV= 564.68'

BENCHMARK
 CUT "X"-TOP OF CURB
 24.2' SOUTH & 40.3' EAST
 OF N.E. PROPERTY CORNER
 ELEV=568.54'



SITE PLAN INFORMATION

LOT: 27 BLOCK: A
 ZONING: PLANNED DEVELOPMENT (PD-68)
 SETBACKS:
 FRONT: 25' REAR: 10' SIDE: 10'
 TOTAL LOT AREA: 62,657 SF (1.438 AC)
 BUILDING AREA: 10,377 SF

PARKING
 TOTAL BUILDING AREA = 10,377 SF
 OFFICE BUILDING @ 1 SPACE PER 200 SF OF 10,377 SF = 52 SPACES

TOTAL PARKING	REQUIRED 52 SPACES	PROVIDED 52 SPACES
---------------	-----------------------	-----------------------

DATE	REVISIONS

BENCHMARK DESIGN GROUP
 CIVIL / ENVIRONMENTAL / PLANNERS

2024 REPUBLIC DRIVE SUITE B TYLER TEXAS 75701 • (903) 534-5353 • FROM NUMBER 7-914 - WWW.BENCHMARK-ENGINEERS.COM

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF INTERIM REVIEW AND COMMENTS UNDER THE AUTHORITY OF JOHN G. MITCHELL, P.E., REGISTRATION NO. 82899 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.



*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown hereon is a reflection of the information provided by MARK DEAL & ASSOCIATES
- If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of modification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

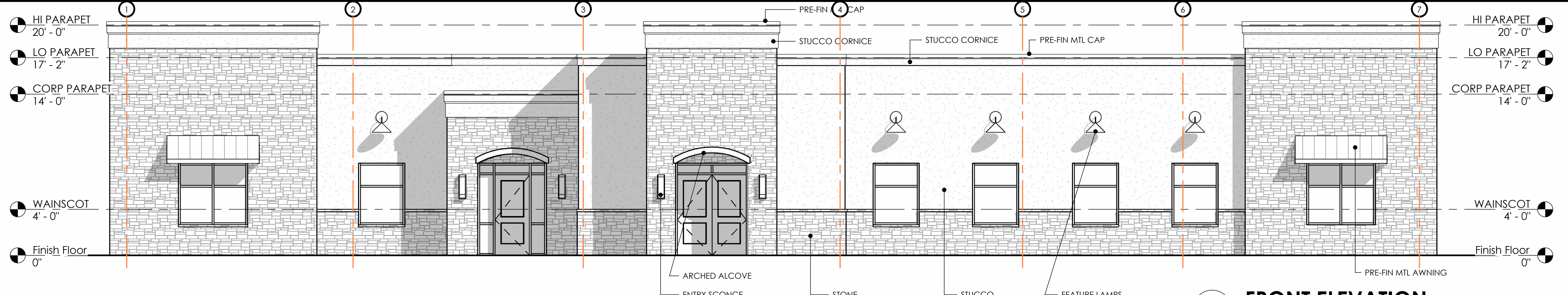
MINDFUL WELLNESS
 ROCKWALL, TX

CONCEPT SITE PLAN

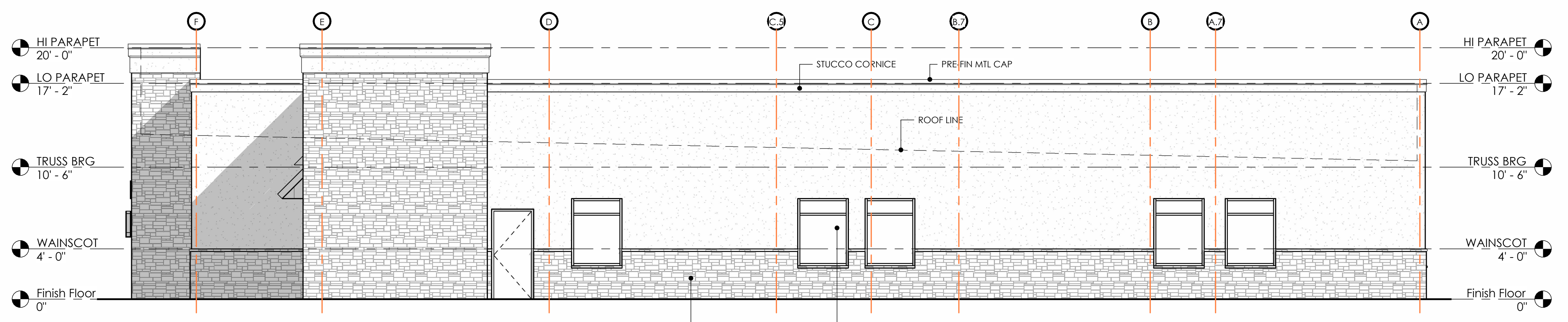
BENCHMARK DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

DRAWN BY: CCB
 CHECKED BY: JGM
 DATE: JUNE 2025
 JOB NO: 2025.036
 SHEET NO. EX

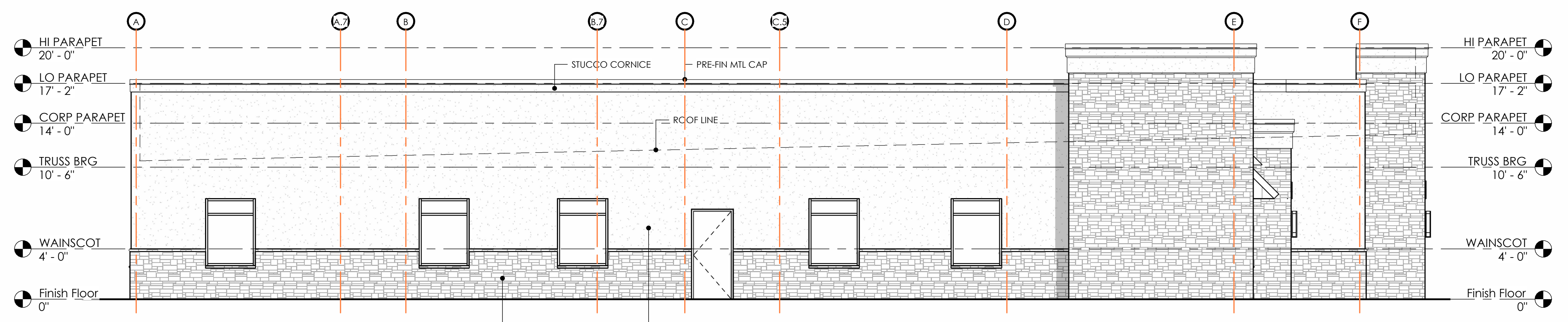
F:\Projects\2025\2025.036 Palm Development - Rockwall, TX\dwg\2025.036.dwg, 9/22/2025 9:36:01 AM, Andrew



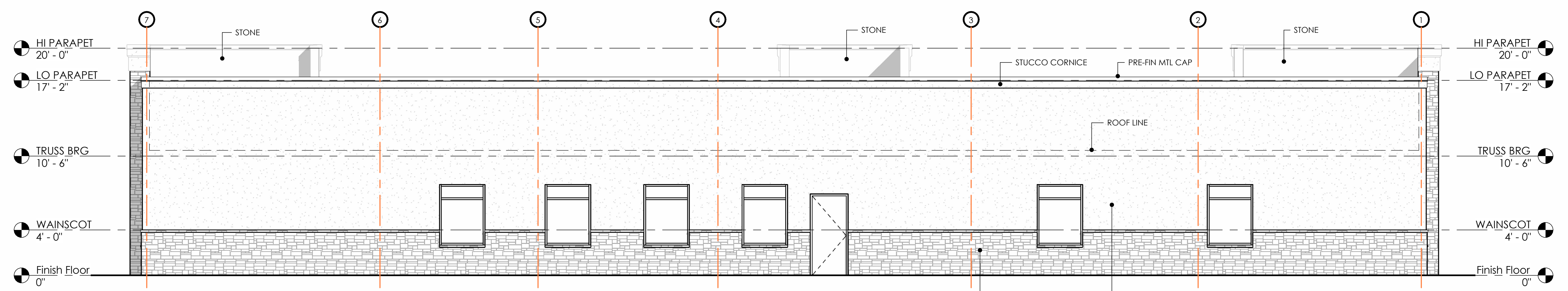
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



3 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



4 REAR ELEVATION
SCALE: 3/16" = 1'-0"

MATERIAL COVERAGE

Stucco	3,847 SF	57%
Stone	2,941 SF	43%

TLM ASSOCIATES
Architects + Engineers

REVISIONS

NO.	DESCRIPTION	BY	DATE

CONSULTANT

*Preliminary
Not For Construction*

TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS

www.tlmae.com
117 East Lafayette Street Jackson, Tennessee
731.988.9840 (phone) - 731.988.9959 (fax)

ARCHITECTURAL ELEVATIONS

MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY

FOR
PALM DEVELOPMENT
1301 S. GOLIAD ST. ROCKWALL, TEXAS 75087

15 AUG 2025

T0105

DP2

REVISIONS			
NO.	DATE	BY	DESCRIPTION

CONSULTANT

*Preliminary
 Not For Construction*

TLM ASSOCIATES, INC.
 ARCHITECTS + ENGINEERS
 www.tlmae.com
 117 East Lafayette Street Jackson, Tennessee
 731.988.9840 (phone) - 731.988.9959 (fax)

RENDERING
MINDFUL HEALTH
 ROCKWALL, TEXAS FACILITY
 FOR
PALM DEVELOPMENT
 1301 S. GOLIAD ST. ROCKWALL, TEXAS 75087

15 AUG 2025
 T0105

DP1



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 68 (PD-68) [ORDINANCE NO. 17-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR A MEDICAL OFFICE BUILDING ON A 1.4384-ACRE PARCEL OF LAND IDENTIFIED AS LOT 27, BLOCK A, THE STANDARD-ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Lisa Deaton of Pal Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a *PD Development Plan* for a *Medical Office Building*, on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 68 (PD-68) [*Ordinance No. 17-05*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, the Architectural Review Board (ARB) shall review the building elevations at the time of site plan and provide recommendations to the Planning and Zoning Commission. During the site plan process, the Planning and Zoning Commission shall be tasked with approving any exceptions/variances.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF OCTOBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

DRAFT
ORDINANCE
09.09.2025

**Exhibit 'A':
Location Map**

Legal Description: Lot 27, Block A, The Standard-Rockwall Addition



Exhibit 'B':
Concept Plan

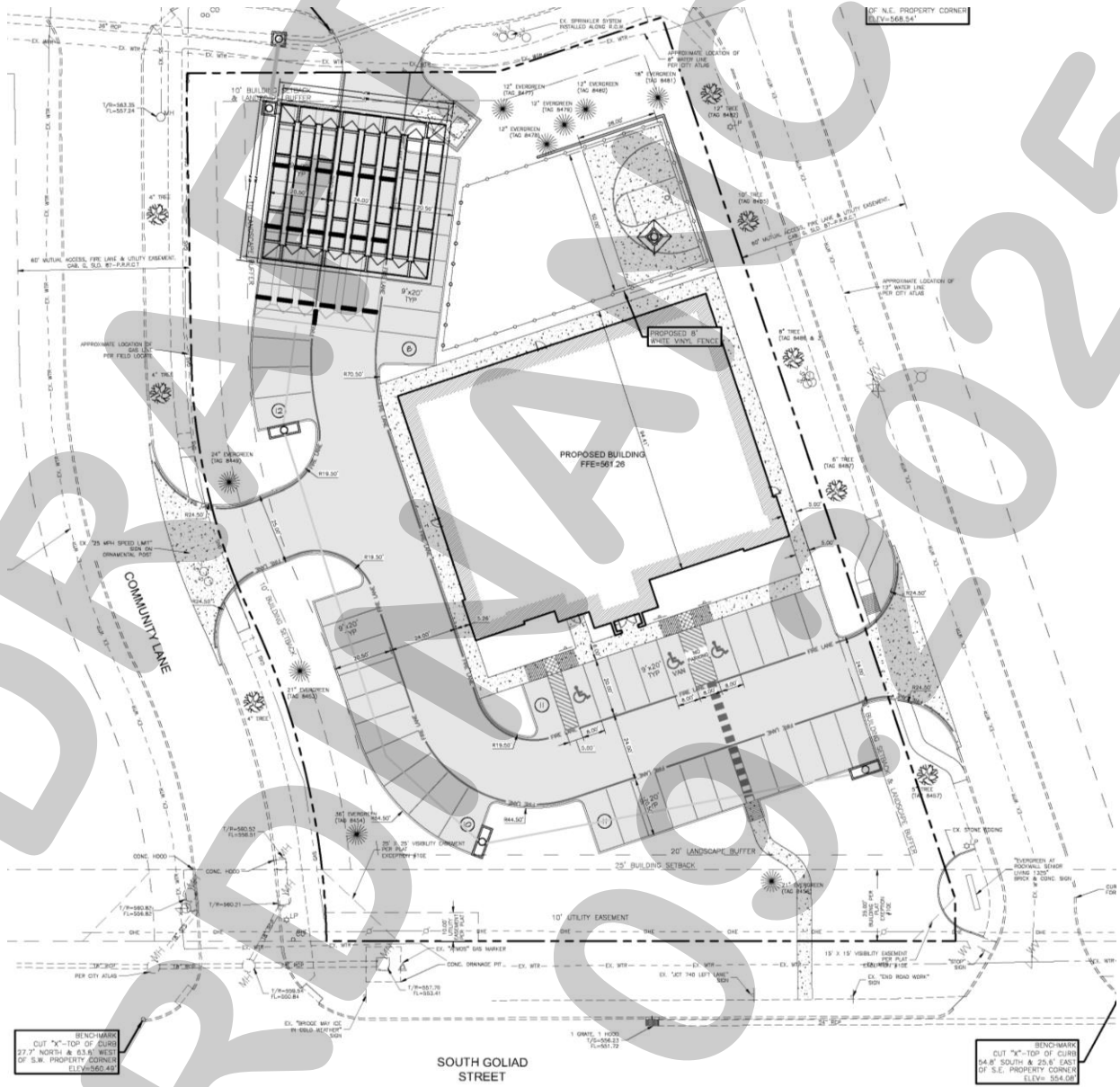
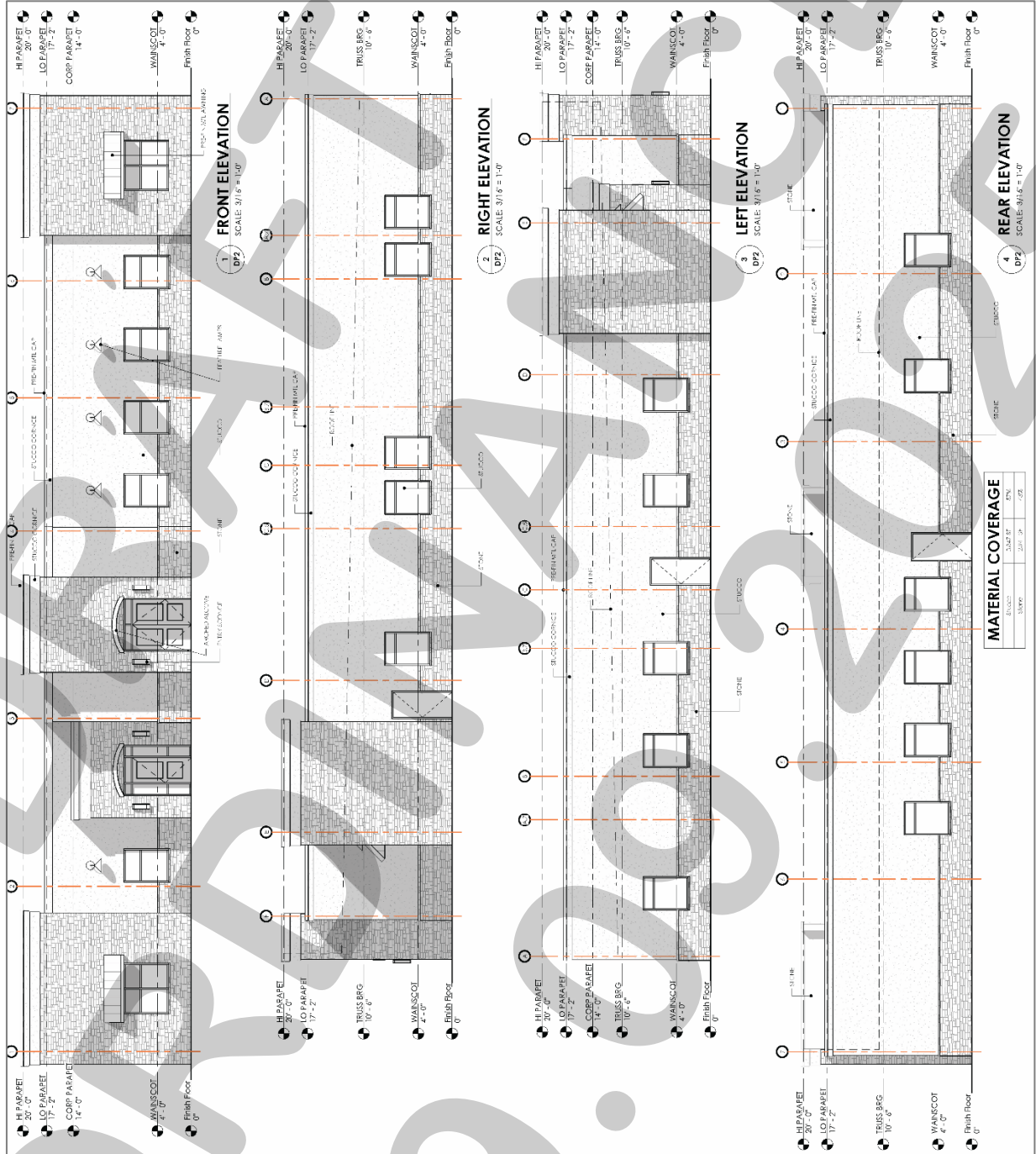


Exhibit 'C':
Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Nahomi Anaya
CASE NUMBER: Z2025-056; *Specific Use Permit (SUP) for Residential Infill at 308 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.368-acre tract of land identified as a Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 308 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973, by *Ordinance No. 73-43 [i.e. Case No. A1973-005]*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned -- along with the rest of the *Chandler's Landing Subdivision* -- to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. On April 2, 1984, Phase 2 of Harbor Landing Addition -- being a part of the *Chandler's Landing Subdivision* -- was amended by *Ordinance No. 84-16*. A Preliminary Plat [i.e. *Case No. PZ1987-022-01*] and Final Plat [i.e. *Case No. PZ1987-030-01*] were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant -- *Nahomi Anaya* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 308 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land [i.e. 305, 307, & 309 Harbor Landing Drive] that are developed with single-family homes. Beyond this is Harbor Landing Drive, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is Phase 1 of Harbor Landing Addition, which was established on December 22, 1986, and consists of 38 residential lots. Beyond that is an open space area owned and maintained by the Chandler's Landing Community Homeowner's Association (HOA). All of these properties are zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property is Harborview Drive, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are various parcels of land that make up the remainder of Phase 2 of Harbor

Landing Addition, which was established on June 15, 1987, and consists of 32 residential lots. South of this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina.

East: Directly east of the subject property are various parcels of land developed with single-family homes. All of these homes are within Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986, and consists of 38 residential lots. Beyond this is Harbor Landing Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This phase of the Chandler's Landing Subdivision is zoned Planned Development District 8 (PD-8) for single-family land uses.

West: Directly west of the subject property are two (2) parcels of land (i.e. 310 Harborview Drive and 312 Portview Place) developed with single-family homes. Beyond this is Portview Place, which is identified as a R2 (i.e. residential, [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the remainder of Phase 2 of Harbor Landing Addition, which was established on June 15, 1987, and consists of 32 residential lots. This phase of the Chandler's Landing Subdivision is zoned Planned Development District 8 (PD-8) for single-family land uses.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of Phase 2 of the Harbor Landing Subdivision, which has been in existence since June 15, 1987, consists of 32 residential lots, and is considered to be more than 90%

developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...". The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story (24'-6")
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2012-2023	N/A
Building SF on Property	4,145 – 6,558 SF	3,995 SF
Building Architecture	Traditional Suburban Residential & Newer Modern Residential Homes & Four (4) Vacant Lots	Comparable Architecture to the Newer Homes in the area.
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (6) foot side yard setback.	X>14'-1"
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	X>18'-4"
Building Materials	Brick, Hardie Board Siding, Stone, and Stucco	Stucco, Lap Siding, Metal Pane, Wood Panel
Paint and Color	White, Cream, Brown, Black, and Grey	White, Brown, Tan
Roofs	Composite Shingles and Metal Roofs	Standing Metal Seam
Driveways/Garages	Driveways are all in the front with the orientations being <i>flat front entry</i> , <i>side entry</i> , and ' <i>J</i> ' or <i>traditional swing entry</i> .	The garage will be situated one (1) foot, six (6) inches in front of the front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...". In this case, the applicant's proposed garage is oriented one (1) foot, six (6) inches in front of the front façade of the home. Additionally, Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, within the Unified Development Code (UDC), specifies that "...all residential structures shall be constructed with a minimum of a 3:12 roof pitch." The proposed elevations indicate a roof pitch of 2:12, which does not comply with the requirements set forth in the UDC. Staff should point out that this is not atypical of the area and is comparable to the newer architecture in the area. A waiver to the garage orientation and the roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council, upon recommendation by the Planning and Zoning Commission, will be waiving the garage orientation and roof pitch requirement. With this being said, staff should point out -- *that with the exception of these two (2) deviations*-- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On August 21, 2025, staff mailed 92 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Cabana's at Chandler's Landing, Match Point Townhomes, Cutter Hill, Spyglass and Chandler's

Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 308 Harborview Dr.

SUBDIVISION Harbor Landing Phase 2

LOT 15 BLOCK C

GENERAL LOCATION Southwest Rockwall next to the lake

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-B

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Residential

ACREAGE 0.368 or 16,039 sq

LOTS [CURRENT] 15

LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dustin Fox

APPLICANT Nahomi Anaya

CONTACT PERSON Dustin Fox

CONTACT PERSON Nahomi Anaya

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION [REQUIRED]

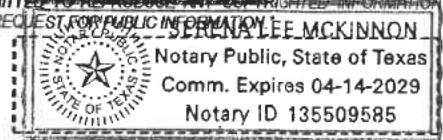
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dustin Fox [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 205.52 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29th DAY OF July 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29th DAY OF July, 2025

OWNER'S SIGNATURE Dustin Fox

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Shiralee McKinnon



MY COMMISSION EXPIRES 04-14-2029

0 20 40 80 120 160 Feet

Z2025-056: SUP for a Residential Infill at 308 Harborview Lane



PD-8

AG

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

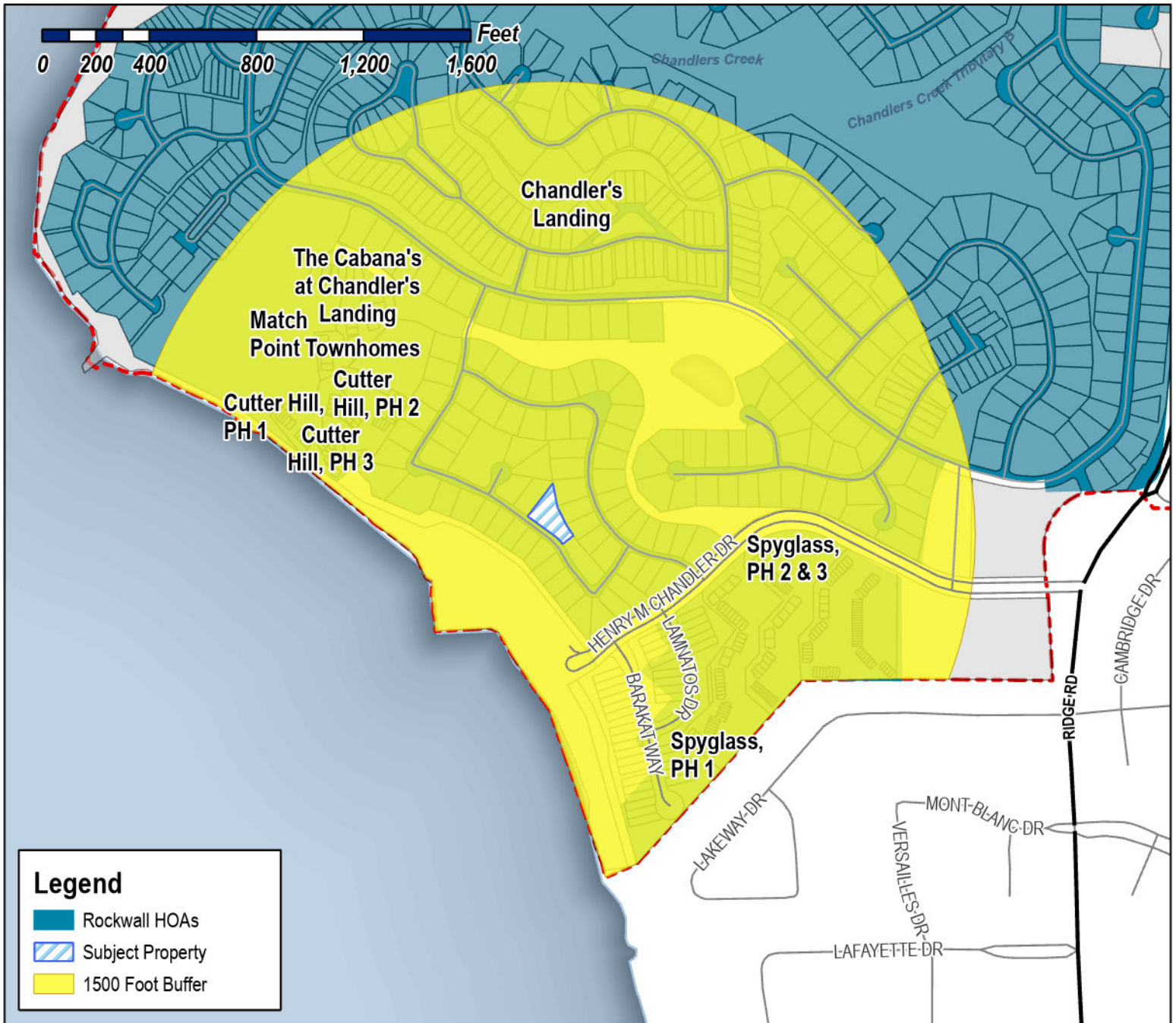




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-056
Case Name: SUP for a Residential Infill
Case Type: Zoning
Zoning: Planned Development 8 (PD-8)
 District
Case Address: 308 Harborview Lane

Date Saved: 8/15/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-056]
Date: Thursday, August 21, 2025 8:17:07 AM
Attachments: [Public Notice \(08.19.2025\).pdf](#)
[HOA Map \(08.15.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-056: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.368-acre tract of land identified as a Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 308 Harborview Drive, and take any action necessary.

Melanie Zavala

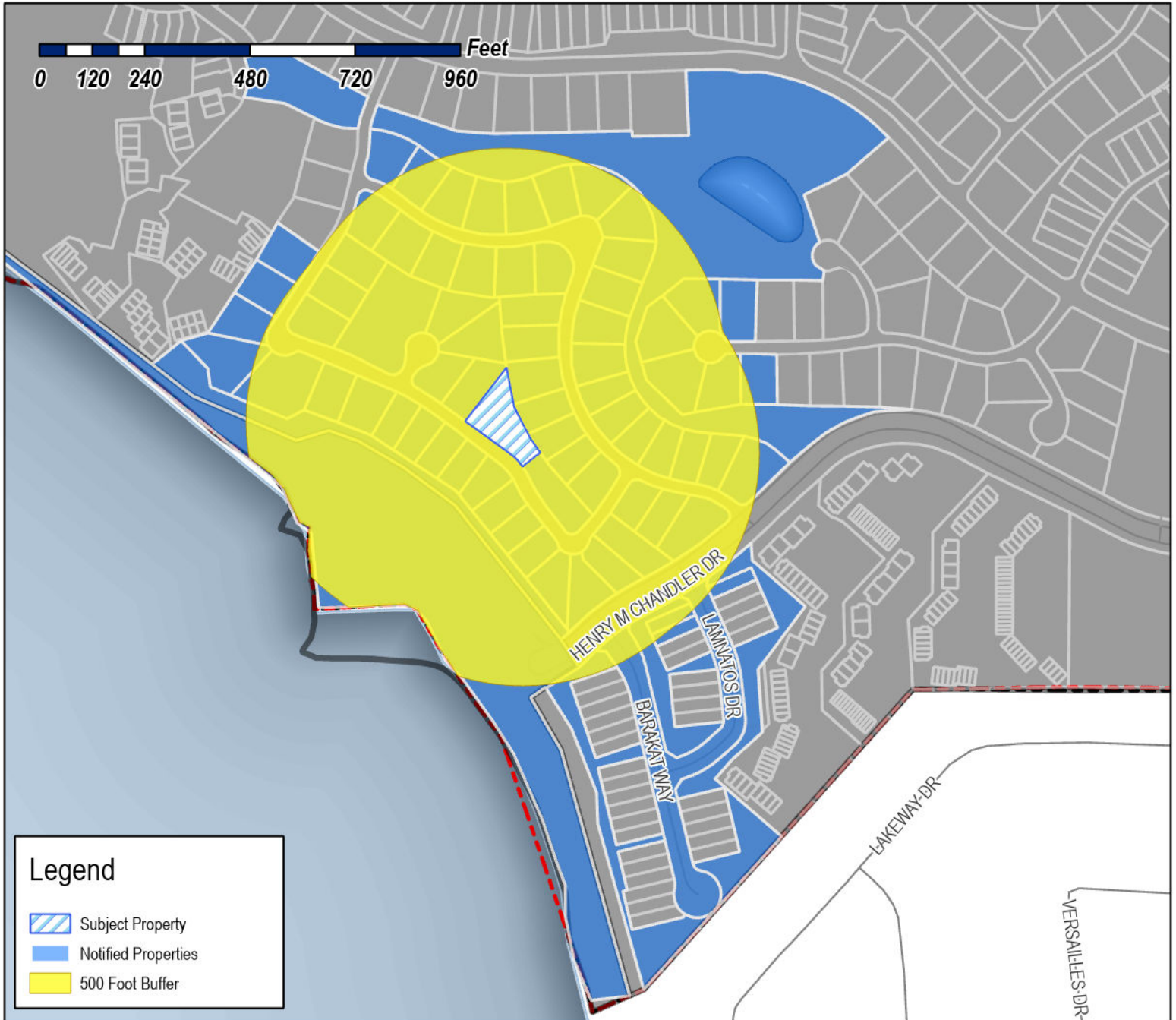
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC
106 SAWGRASS DR
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

JR WASATCH HOME BUILDER LLC
1314 Wendell Way
Garland, TX 75043

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 Preston Rd Ste 220A
Dallas, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
CARLOS AUGUSTO MOSQUERA
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

THORNQUIST LAURA & EUGENE C
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

GHEBRETSADIK KISANET
295 Blackhaw Dr
Fate, TX 75087

RESIDENT
297 HAVORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARORVIEW DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
309 HARBORVIEW DR
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE
309 Harbor Landing Dr
Rockwall, TX 75032

RESIDENT
310 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

TURCHI ARLENE S
314 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
316 HARBOR LANDING DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

NADEAU JESSICA & STEPHEN
318 HARBOR LANDING DR
ROCKWALL, TX 75032

BOLTON LINDSAY E & DONALD P PRIBYL
319 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

POTTS ANNA A
320 PORTVIEW PL
ROCKWALL, TX 75032

2024 R K LINNSTAEDTER REVOCABLE TRUST
RANDALL CLAY LINNSTAEDTER & KIMBERLY
GENE LINNSTAEDTER - TRU
321 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF BILLY & KATIE
C/O PRO SOAP
321 Harborview Dr
Rockwall, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA
324 Harbor Landing Dr
Rockwall, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
326 HARBORVIEW DR
ROCKWALL, TX 75032

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

Haidar Lamora J and
Lucinda K Polhemus
327 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 Quorum Dr Ste 610
Dallas, TX 75254

JUDD MANO
508 MARIAH BAY DR
ROCKWALL, TX 75032

RESIDENT
5201 LAMNATO DR
ROCKWALL, TX 75032

RESIDENT
5202 LAMNATO DR
ROCKWALL, TX 75032

RESIDENT
5208 LAMNATO DR
ROCKWALL, TX 75032

RESIDENT
5226 LAMNATO DR
ROCKWALL, TX 75032

RESIDENT
5300 BARAKAT WAY
ROCKWALL, TX 75032

AD CUSTOMS LLC
5525 BLAZING STAR RD
FRISCO, TX 75036

BYRNE PATRICK F AND LAURA KRUSE
6107 VOLUNTEER PLACE
ROCKWALL, TX 75032

DRAPER CHARLES E & JANICE M
6108 VOLUNTEER PL
ROCKWALL, TX 75032

MARSH ELIZABETH AND JACK
6109 VOLUNTEER PL
ROCKWALL, TX 75032

NEAL RYAN & ALLYSON
6110 VOLUNTEER PLACE
ROCKWALL, TX 75032

BROWN BRYAN K
6111 VOLUNTEER PL
ROCKWALL, TX 75032

MAZUR MELISSA
6112 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
7 GREENBELT <Null>
ROCKWALL, TX 75032

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

ARA MANAGEMENT LLC
9906 LINCOLNSHIRE LN
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-056: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.368-acre tract of land identified as a Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 308 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-056: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

THESE PLANS ARE THE PROPERTY OF RYAN JACOBSON DESIGN LLC AND ARE NOT TO BE REPRODUCED, TRACED, OR REUSED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RYAN JACOBSON DESIGN LLC. THESE PLANS ARE INTENDED TO PROVIDE ALL PROSPECTIVE CONTRACTORS, AND/OR BUILDING MANUFACTURERS THE NECESSARY INFORMATION NEEDED TO DESIGN, BID, AND CONSTRUCT THIS BUILDING. OWNER SHALL VERIFY AND CHECK ALL ASPECTS PRIOR TO ANY CONSTRUCTION. ANY JOBSITE CHANGES WILL VOID DESIGNER'S LIABILITY. DESIGNER'S LIABILITY NOT TO EXCEED FEE PAID FOR PLANS.

No.	Description	Date
1	PERMIT SET	03-26-2025

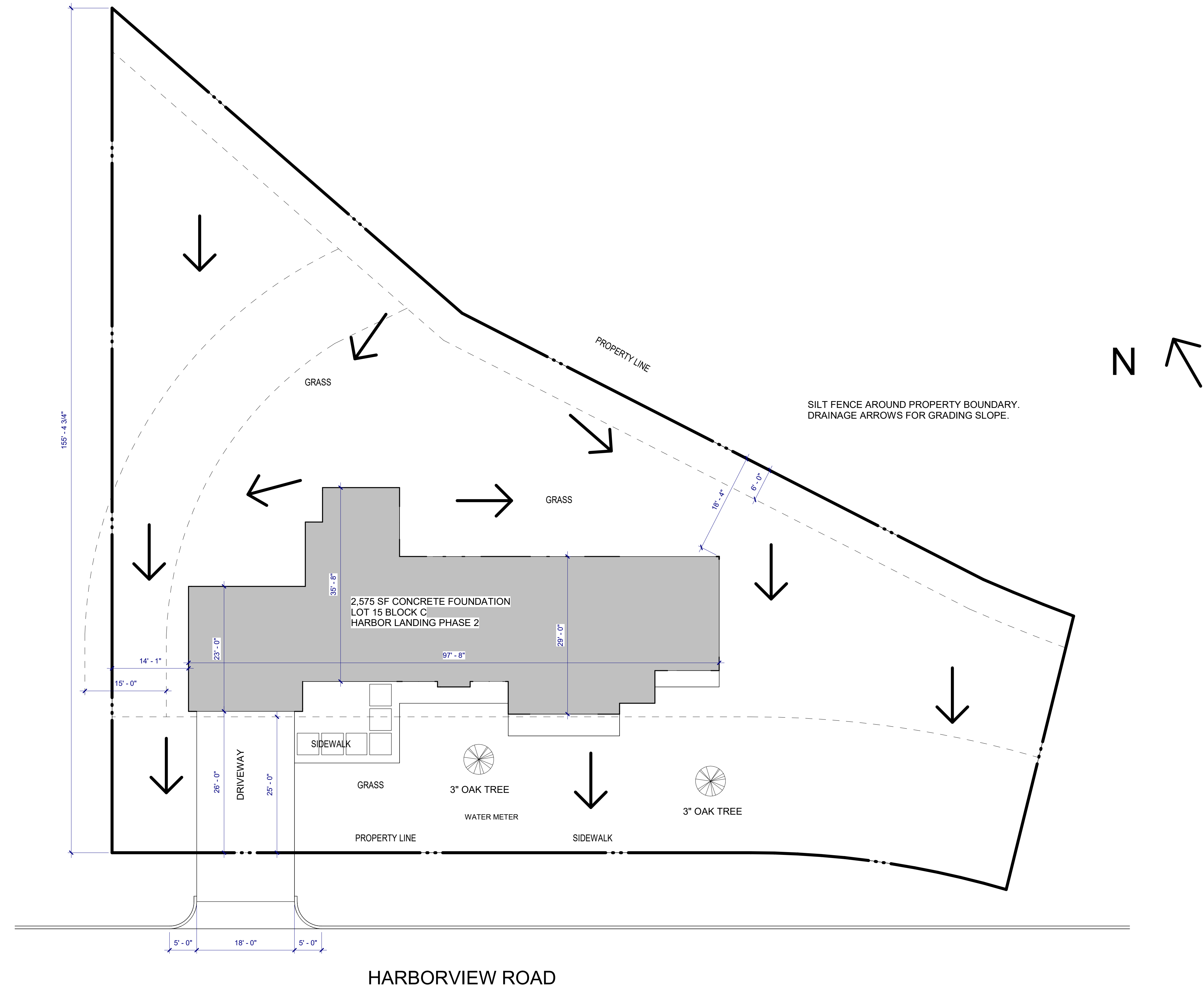
RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

SITE & DRAINAGE PLAN

Project number: ROCKWALL
Date: 03/26/2025

A01.00

Scale: 1" = 10'-0"



SITE & DRAINAGE PLAN
SCALE: 1" = 10'-0"

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

ELEVATIONS

Project number ROCKWALL
Date 03/26/2025

A03.01

Scale 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

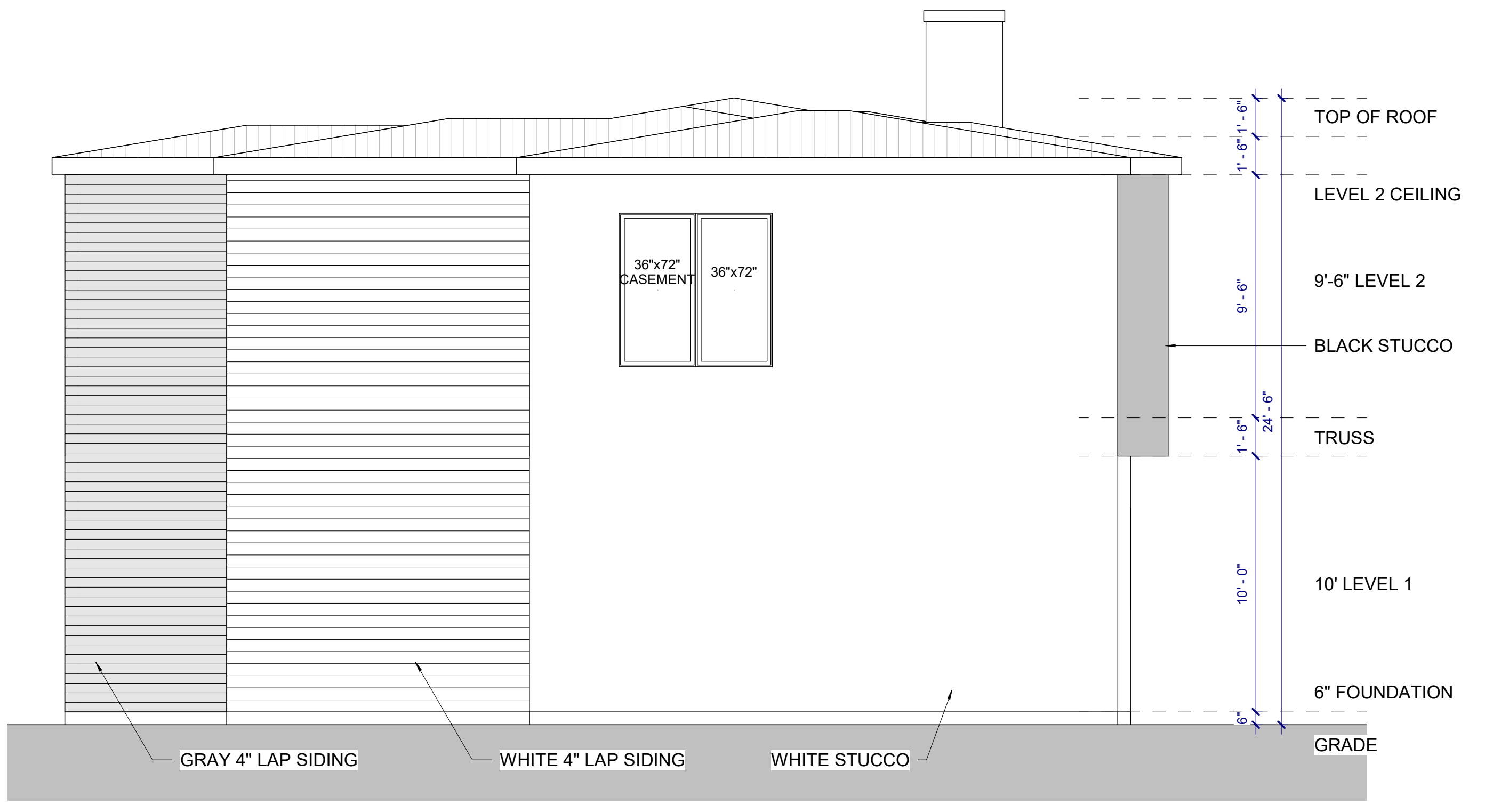
RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

ELEVATIONS

Project number ROCKWALL
Date 03/26/2025

A03.02

Scale 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

2

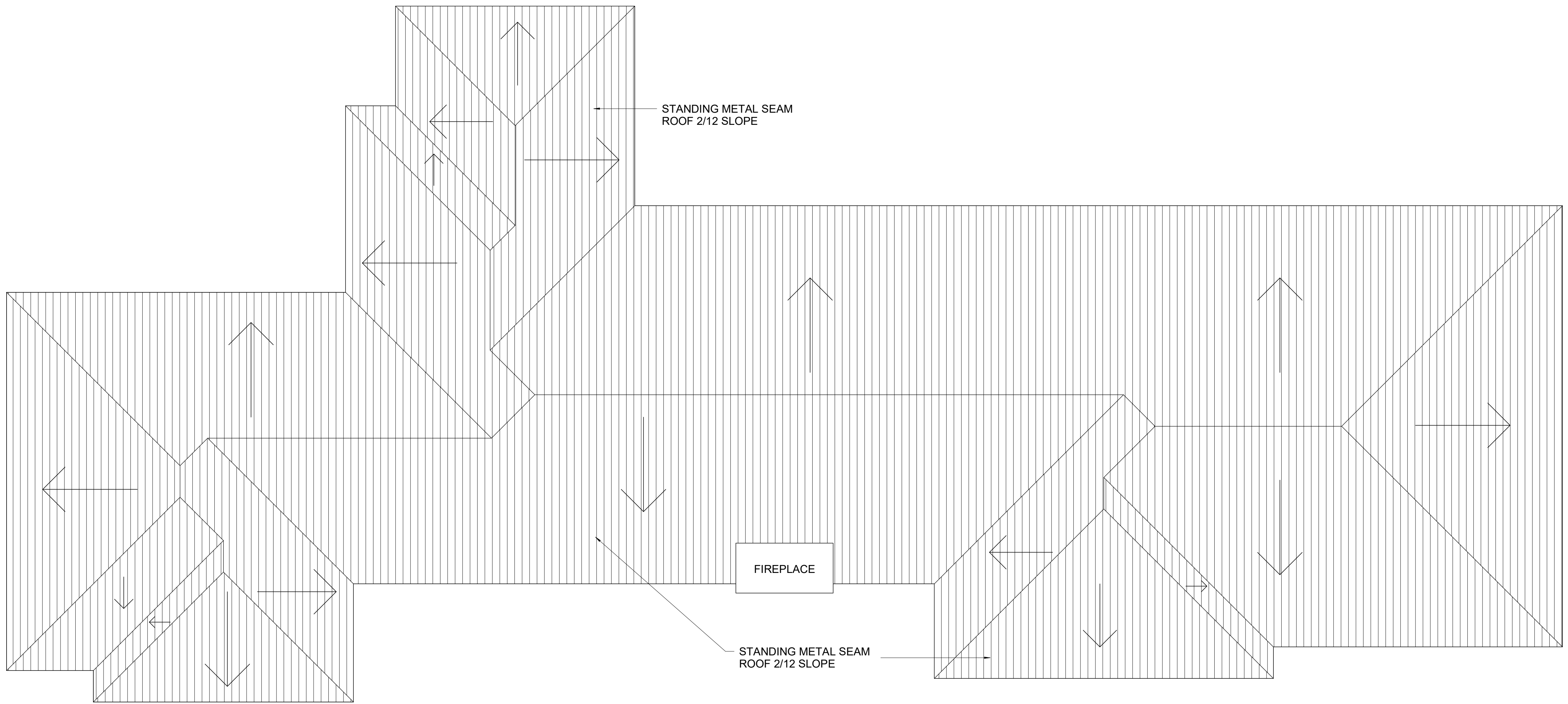


REAR ELEVATION
SCALE: 1/4" = 1'-0"

1

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC

SINGLE FAMILY

ROOF PLAN

Project number ROCKWALL
Date 03/26/2025

A02.03

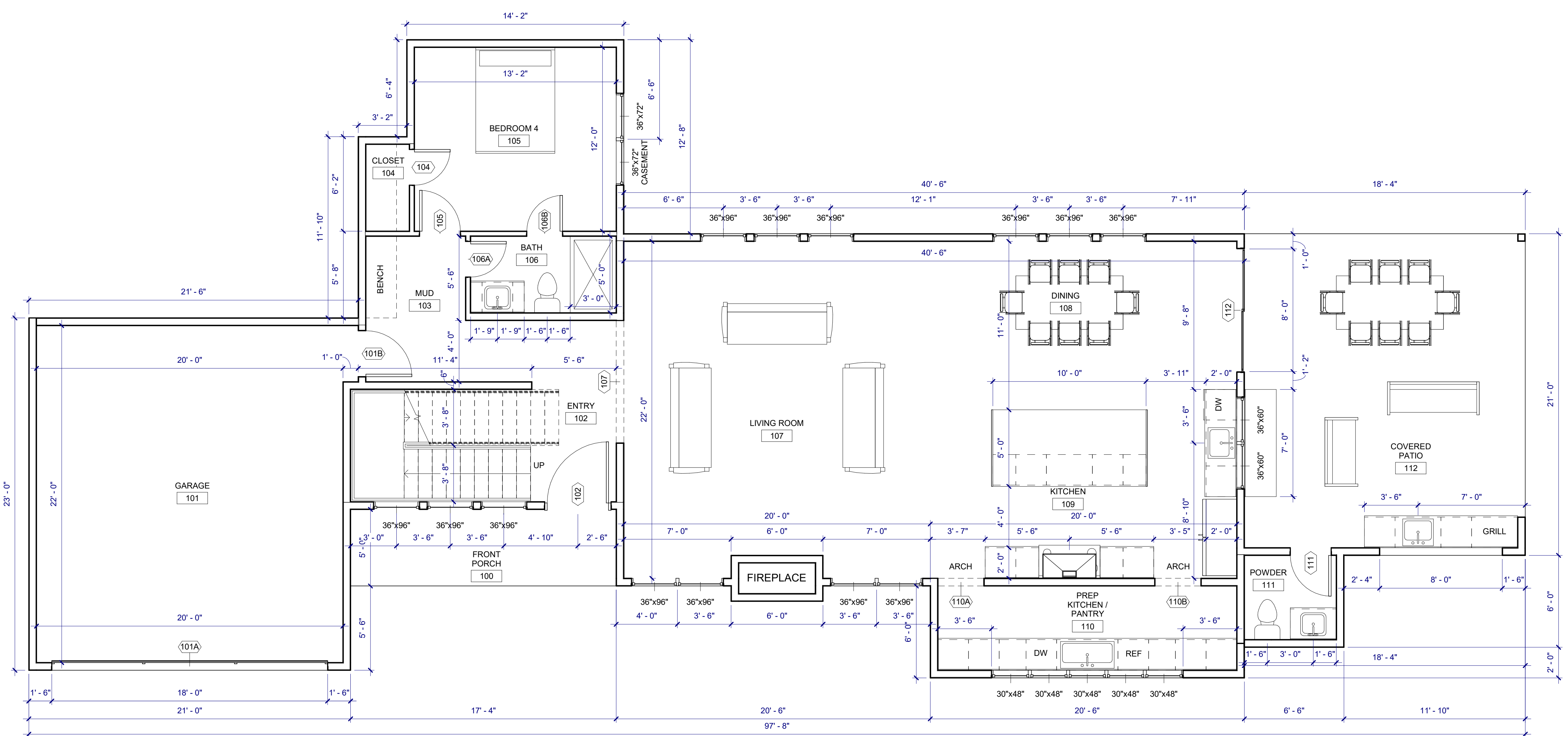
Scale 1/4" = 1'-0"

ROOF PLAN
SCALE: 1/4" = 1'-0"

Door Schedule		
Mark	Type	Material
101A	18' x 8'	GARAGE
101B	36" x 96"	WOOD
102	GLASS DOOR 4'x8'	GLASS
104	28" x 96"	WOOD
105	32" x 96"	WOOD
106A	28" x 96"	WOOD
106B	28" x 96"	WOOD
107	96" x 96"	OPENING
110A	36" x 96"	OPENING
110B	36" x 96"	OPENING
111	32" x 96"	WOOD
112	8'x8' Sliding Glass Door	GLASS
200	32" x 96"	WOOD
202	28" x 96"	WOOD
203	32" x 96"	WOOD
204	28" x 96"	WOOD
206A	28" x 96"	WOOD
206B	28" x 96"	WOOD
207	28" x 96"	WOOD
208	32" x 96"	WOOD
209	48" x 96"	OPENING
210	36" x 96"	WOOD
211A	28" x 96"	WOOD
211B	28" x 96"	WOOD
212A	28" x 96"	WOOD
212B	28" x 96"	WOOD
213A	28" x 96"	WOOD
213B	28" x 96"	WOOD
214	GLASS DOOR 3'x8'	GLASS
215A	36" x 96"	WOOD
215B	GLASS DOOR 3'x8'	GLASS
215C	GLASS DOOR 3'x8'	GLASS
217	32" x 96"	WOOD

Window Schedule			
Mark	Type	Sill Height	Head Height
102A	36" x 96"	0"	8' - 0"
102B	36" x 96"	0"	8' - 0"
102C	36" x 96"	0"	8' - 0"
105A	36" x 72"	2' - 0"	8' - 0"
105B	36" x 72" CASEMENT	2' - 0"	8' - 0"
107A	36" x 96"	0"	8' - 0"
107B	36" x 96"	0"	8' - 0"
107C	36" x 96"	0"	8' - 0"
107D	36" x 96"	0"	8' - 0"
107E	36" x 96"	0"	8' - 0"
107F	36" x 96"	0"	8' - 0"
107G	36" x 96"	0"	8' - 0"
108A	36" x 96"	0"	8' - 0"
108B	36" x 96"	0"	8' - 0"
108C	36" x 96"	0"	8' - 0"
109A	36" x 60"	3' - 0"	8' - 0"
109B	36" x 60"	3' - 0"	8' - 0"
110A	30" x 48"	4' - 0"	8' - 0"
110B	30" x 48"	4' - 0"	8' - 0"
110C	30" x 48"	4' - 0"	8' - 0"
110D	30" x 48"	4' - 0"	8' - 0"
110E	30" x 48"	4' - 0"	8' - 0"
201A	36" x 72"	2' - 0"	8' - 0"
201B	36" x 72"	2' - 0"	8' - 0"
201C	36" x 72"	2' - 0"	8' - 0"
201D	36" x 72"	2' - 0"	8' - 0"
201E	36" x 72"	2' - 0"	8' - 0"
201F	36" x 72"	2' - 0"	8' - 0"
203A	36" x 72"	2' - 0"	8' - 0"
203B	36" x 72" CASEMENT	2' - 0"	8' - 0"
205A	36" x 96"	0"	8' - 0"
205B	36" x 96"	0"	8' - 0"
205C	36" x 96"	0"	8' - 0"
205D	48" x 96"	0"	8' - 0"
208A	36" x 72"	2' - 0"	8' - 0"
208B	36" x 72" CASEMENT	2' - 0"	8' - 0"
209A	36" x 96"	0"	8' - 0"
209B	36" x 96"	0"	8' - 0"
209C	36" x 96"	0"	8' - 0"
209D	36" x 96"	0"	8' - 0"
209E	36" x 72"	2' - 0"	8' - 0"
209F	36" x 72"	2' - 0"	8' - 0"
209G	36" x 72"	2' - 0"	8' - 0"
209H	36" x 72"	2' - 0"	8' - 0"
213A	24" x 96"	0"	8' - 0"
213B	24" x 96"	0"	8' - 0"
215A	36" x 96"	0"	8' - 0"
215B	36" x 96"	0"	8' - 0"
215C	36" x 72"	2' - 0"	8' - 0"
215D	36" x 72"	2' - 0"	8' - 0"

SQUARE FOOTAGE:	
308 HARBORVIEW DRIVE	
FIRST FLOOR SF:	1,617 SF
SECOND FLOOR SF:	1,893 SF
TOTAL LIVABLE SF:	3,510 SF
FRONT PORCH SF:	87 SF
COVERED PATIO SF:	385 SF
LEVEL 2 BLACONY SF:	123 SF
GARAGE SF:	485 SF
FOUNDATION SF:	2,575 SF
BLDG TOTAL SF:	3,995 SF



LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

LEVEL 1 FLOOR PLAN

Project number ROCKWALL
Date 03/26/2025

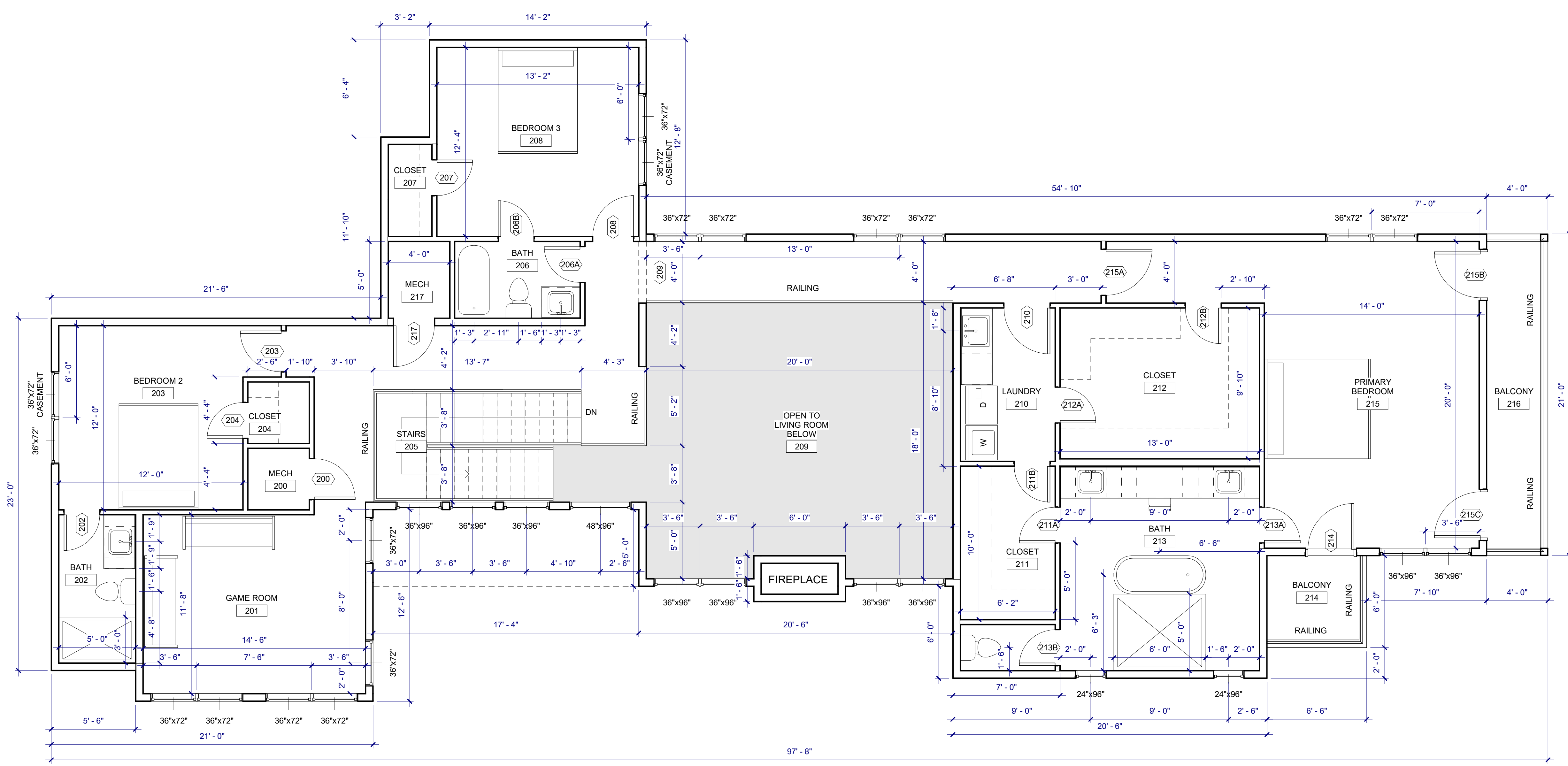
A02.01

Scale 1/4" = 1'-0"

Door Schedule		
Mark	Type	Material
101A	18" x 8"	GARAGE
101B	36" x 96"	WOOD
102	GLASS DOOR 4'x8'	GLASS
104	28" x 96"	WOOD
105	32" x 96"	WOOD
106A	28" x 96"	WOOD
106B	28" x 96"	WOOD
107	96" x 96"	OPENING
110A	36" x 96"	OPENING
110B	36" x 96"	OPENING
111	32" x 96"	WOOD
112	8'x8' Sliding Glass Door	GLASS
200	32" x 96"	WOOD
202	28" x 96"	WOOD
203	32" x 96"	WOOD
204	28" x 96"	WOOD
206A	28" x 96"	WOOD
206B	28" x 96"	WOOD
207	28" x 96"	WOOD
208	32" x 96"	WOOD
209	48" x 96"	OPENING
210	36" x 96"	WOOD
211A	28" x 96"	WOOD
211B	28" x 96"	WOOD
212A	28" x 96"	WOOD
212B	28" x 96"	WOOD
213A	28" x 96"	WOOD
213B	28" x 96"	WOOD
214	GLASS DOOR 3'x8'	GLASS
215A	36" x 96"	WOOD
215B	GLASS DOOR 3'x8'	GLASS
215C	GLASS DOOR 3'x8'	GLASS
217	32" x 96"	WOOD

Window Schedule			
Mark	Type	Sill Height	Head Height
102A	36" x 96"	0"	8' - 0"
102B	36" x 96"	0"	8' - 0"
102C	36" x 96"	0"	8' - 0"
105A	36" x 72"	2' - 0"	8' - 0"
105B	36" x 72" CASEMENT	2' - 0"	8' - 0"
107A	36" x 96"	0"	8' - 0"
107B	36" x 96"	0"	8' - 0"
107C	36" x 96"	0"	8' - 0"
107D	36" x 96"	0"	8' - 0"
107E	36" x 96"	0"	8' - 0"
107F	36" x 96"	0"	8' - 0"
107G	36" x 96"	0"	8' - 0"
108A	36" x 96"	0"	8' - 0"
108B	36" x 96"	0"	8' - 0"
108C	36" x 96"	0"	8' - 0"
109A	36" x 60"	3' - 0"	8' - 0"
109B	36" x 60"	3' - 0"	8' - 0"
110A	30" x 48"	4' - 0"	8' - 0"
110B	30" x 48"	4' - 0"	8' - 0"
110C	30" x 48"	4' - 0"	8' - 0"
110D	30" x 48"	4' - 0"	8' - 0"
110E	30" x 48"	4' - 0"	8' - 0"
201A	36" x 72"	2' - 0"	8' - 0"
201B	36" x 72"	2' - 0"	8' - 0"
201C	36" x 72"	2' - 0"	8' - 0"
201D	36" x 72"	2' - 0"	8' - 0"
201E	36" x 72"	2' - 0"	8' - 0"
201F	36" x 72"	2' - 0"	8' - 0"
203A	36" x 72"	2' - 0"	8' - 0"
203B	36" x 72" CASEMENT	2' - 0"	8' - 0"
205A	36" x 96"	0"	8' - 0"
205B	36" x 96"	0"	8' - 0"
205C	36" x 96"	0"	8' - 0"
205D	48" x 96"	0"	8' - 0"
208A	36" x 72"	2' - 0"	8' - 0"
208B	36" x 72" CASEMENT	2' - 0"	8' - 0"
209A	36" x 96"	0"	8' - 0"
209B	36" x 96"	0"	8' - 0"
209C	36" x 96"	0"	8' - 0"
209D	36" x 96"	0"	8' - 0"
209E	36" x 72"	2' - 0"	8' - 0"
209F	36" x 72"	2' - 0"	8' - 0"
209G	36" x 72"	2' - 0"	8' - 0"
209H	36" x 72"	2' - 0"	8' - 0"
213A	24" x 96"	0"	8' - 0"
213B	24" x 96"	0"	8' - 0"
215A	36" x 96"	0"	8' - 0"
215B	36" x 96"	0"	8' - 0"
215C	36" x 72"	2' - 0"	8' - 0"
215D	36" x 72"	2' - 0"	8' - 0"

SQUARE FOOTAGE:	
308 HARBORVIEW DRIVE	
FIRST FLOOR SF:	1,617 SF
SECOND FLOOR SF:	1,893 SF
TOTAL LIVABLE SF:	3,510 SF
FRONT PORCH SF:	87 SF
COVERED PATIO SF:	385 SF
LEVEL 2 BALCONY SF:	123 SF
GARAGE SF:	485 SF
FOUNDATION SF:	2,575 SF
BLDG TOTAL SF:	3,995 SF



LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"

308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

THESE PLANS ARE THE PROPERTY OF RYAN JACOBSON DESIGN LLC AND ARE NOT TO BE REPRODUCED, TRACED, OR REUSED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RYAN JACOBSON DESIGN LLC. THESE PLANS ARE INTENDED TO PROVIDE ALL PROSPECTIVE CONTRACTORS, AND/OR BUILDING MANUFACTURERS THE NECESSARY INFORMATION NEEDED TO DESIGN, BID, AND CONSTRUCT THIS BUILDING. OWNER SHALL VERIFY AND CHECK ALL ASPECTS PRIOR TO ANY CONSTRUCTION. ANY JOBSITE CHANGES WILL VOID DESIGNER'S LIABILITY. DESIGNER'S LIABILITY NOT TO EXCEED FEE PAID FOR PLANS.

No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

LEVEL 2 FLOOR PLAN

Project number: ROCKWALL
Date: 03/26/2025

A02.02

Scale: 1/4" = 1'-0"



308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC
SINGLE FAMILY

RENDERINGS

Project number ROCKWALL
Date 03/26/2025

A09.01

Scale



308 HARBORVIEW DRIVE
ROCKWALL, TX 75032

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No.	Description	Date
1	PERMIT SET	03-26-2025

RYAN JACOBSON
DESIGN LLC

SINGLE FAMILY

RENDERINGS

Project number ROCKWALL
Date 03/26/2025

A09.02

Scale

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.368-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 15, BLOCK C, HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Nahomi Anaya on behalf of Dustin Fox for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.368-acre parcel of land identified as Lot 15, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family land uses, addressed as 308 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article

05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A':
Location Map

Address: 308 Harborview Drive

Legal Description: Lot 15, Block C, Harbor Landing, Phase 2 Addition

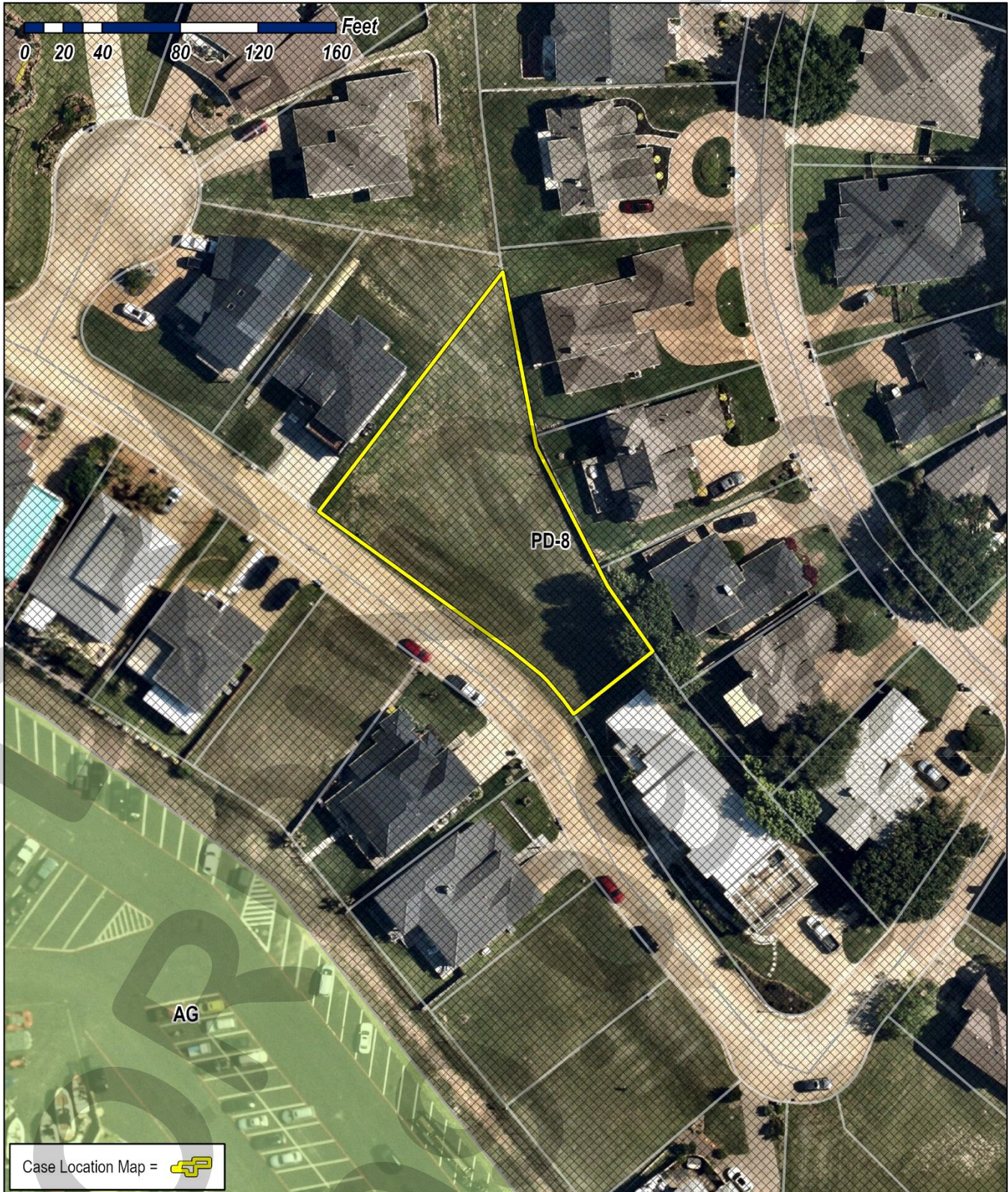
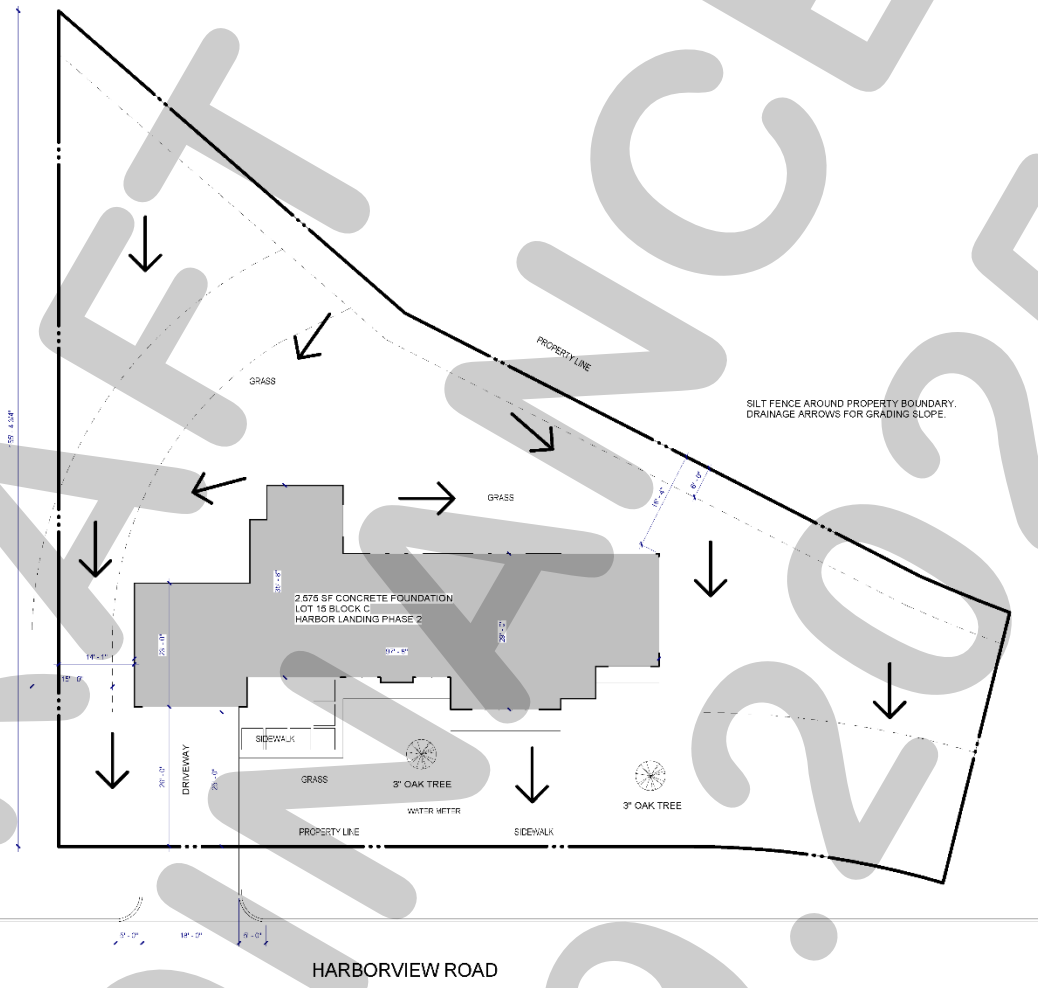
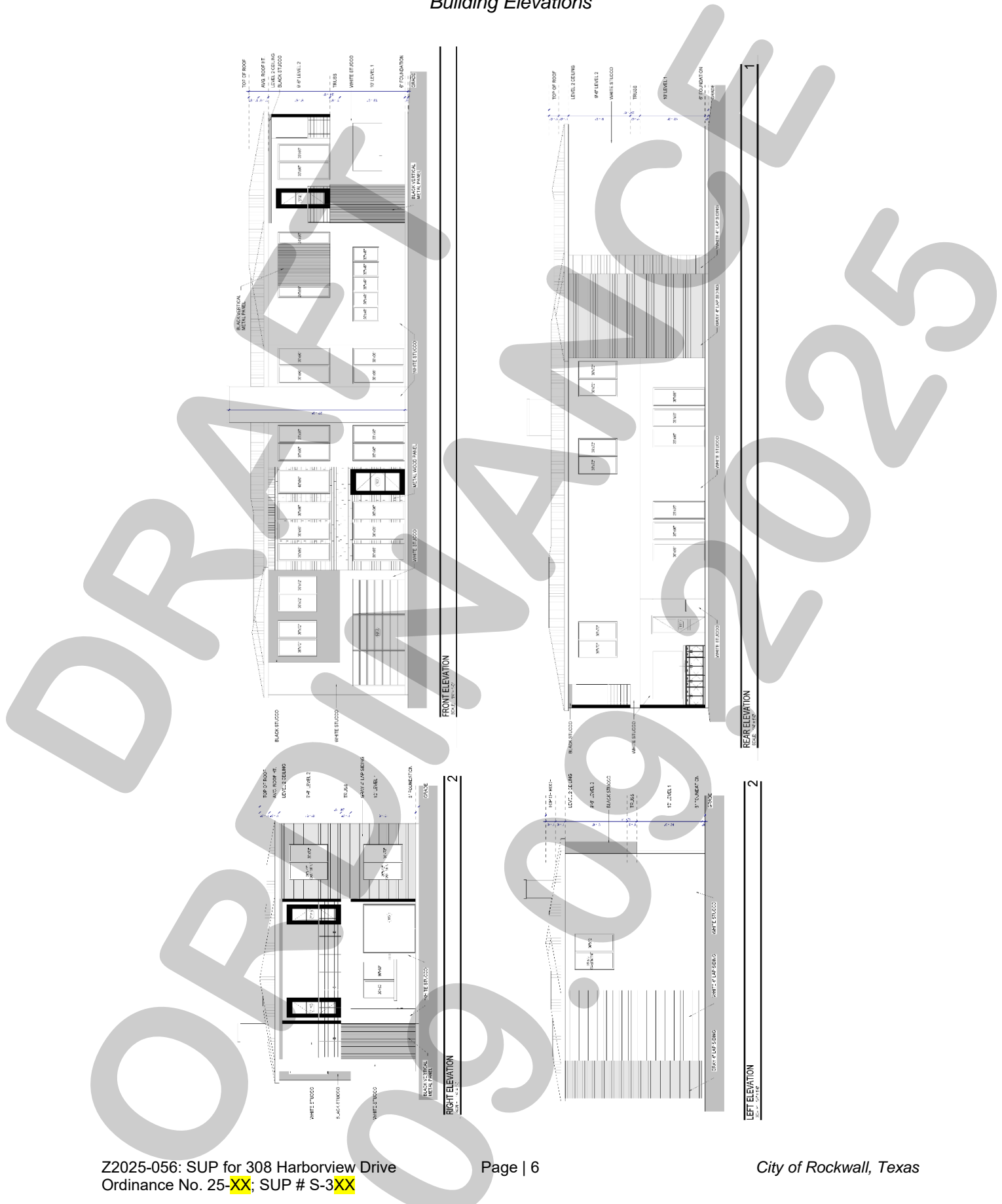


Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Building Elevations**



**Exhibit 'C':
Building Elevations**



**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Kiew Kam; *Triangle Engineering, LLC.*
CASE NUMBER: Z2025-057; *Specific Use Permit (SUP) for a Residence Hotel*

SUMMARY

Hold a public hearing to discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Residence Hotel* on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at some time between annexation and April 5, 2005. On May 17, 2021, the City Council approved a preliminary plat (*i.e. Case No. P2021-020*) showing the subject property as being a portion of a future 4.767-acre parcel of land identified as Lot 2, Block A, Fit Sport Life Addition. Following this approval, on August 2, 2021, the City Council approved a final plat (*i.e. Case No. P2021-043*) establishing the subject property as a portion of Lot 2, Block B, Fit Sport Life Addition. The subject property was replatted (*i.e. Case No. P2021-061*) as a portion of Lot 6, Block B, Fit Sport Life Addition by the City Council on December 6, 2021. The subject property has remained vacant since its annexation into the City of Rockwall. On June 17, 2024, the City Council denied a Specific Use Permit (SUP) for a *Residence Hotel [Case No. Z2024-023]* without prejudice to allow the applicant to change the plan and resubmit the request. On December 2, 2024, the City Council approved a *Specific Use Permit (SUP) for a Residence Hotel*, which will expire on December 2, 2025. The applicant has not submitted a Site Plan for the *Residence Hotel* that was approved; However, recently, a new applicant approached staff about a different configuration for the *Residence Hotel* on the subject property. Since the proposed configuration would differ from the concept plan approved in the Specific Use Permit (SUP) ordinance, staff instructed the applicant to amend the approved Specific Use Permit (SUP).

PURPOSE

On August 15, 2025, the applicant -- *Kiew Kam of Triangle Engineering, LLC.* -- submitted an application requesting a Specific Use Permit (SUP) for a *Residence Hotel* for the purpose of constructing a 14,204 SF LaQuinta Hampton Extended Stay Hotel on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located east of the intersection of FM-549 and Fit Sport Life Boulevard. The land uses adjacent to the subject property are as follows:

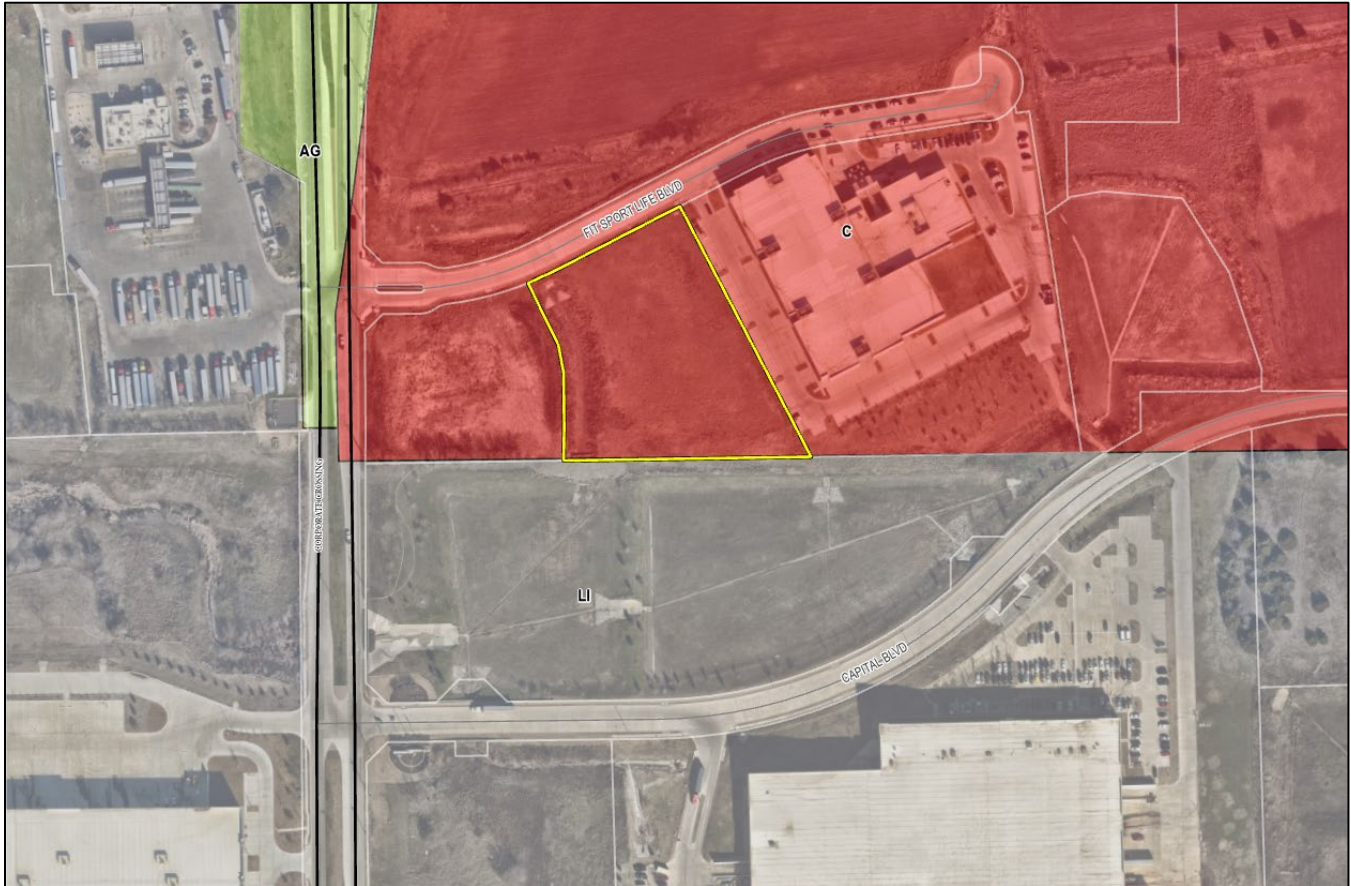
North: Directly north of the property is a 12.868-acre tract of land (*i.e. Tract 22-2, of the R Irvine Survey, Abstract No. 120*), zoned Commercial (C) District. Beyond this are the eastbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the westbound lanes of the IH-30 Frontage Road. Continuing north are two (2) vacant tracts of land (*i.e. Tract 10-3 [8.23-acres] and Tract 10 [14.8-acres] of the R. Irvine Survey, Abstract No. 120*) that are zoned Commercial (C) District. Beyond this are the corporate limits for the City of Rockwall.

South: Directly south of the subject property is a vacant tract of land identified as Lot 1, Block B, Rockwall Technology Park, Phase IV Addition. This land is zoned Light Industrial (LI) District, is owned by the Rockwall Economic Development Corporation (REDC), and currently serves as the regional detention system for Phase 2 of the Rockwall Technology Park. Continuing south, and adjacent to this tract of land, is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) large industrial facilities (*i.e. Pratt Industries and Lollicup*), which are zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 6.3770-acre parcel of land identified as Lot 5, Block B, Fit Sport Life Addition and zoned Commercial (C) District. This property is developed with a sports facility (*i.e. AmeriSports*). Beyond this is a 20.51-acre tract of land (*i.e. Tract 22, of the R. Irvine Survey*) zoned Commercial (C) District. North of this tract of land is a 4.317-acre tract of land (*i.e. Tract 22-01 of the R. Irvine Survey*), which is occupied by Big-Tex Trailers and that is zoned Light Industrial (LI) District.

West: Directly west of the subject property is the remainder of a 1.948-acre portion of the larger 4.767-acre parcel of land (*i.e. Lot 6, Block B, Fit Sport Life Addition*), which is being developed with a *Retail Store with Gasoline Sales* (*i.e. 7/11*). This remainder lot is zoned Commercial (C) District. Beyond this is Corporate Crossing, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.1917-acre parcel of land (*i.e. Love's Country Store*) followed by two (2) vacant tracts of land (*i.e. Tract 9-9 [1.898-acres] and Tract 9-11 [1.30-acres of the J Lockhart Survey, Abstract No. 134]*), and a 3.0654-acre parcel of land identified as Lot 1, Block 1, Ya-Hoo Subdivision (*i.e. Photo Technologies*). All of these properties are zoned Light Industrial (LI) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan for a *Residence Hotel and Restaurant* (see Figure 1). According to the concept plan, the proposed hotel will consist of a four (4) story building with a 14,204 SF building footprint and a total of 96 guest rooms. The total proposed square footage of all the floors is 56,816 SF. In addition to the *Residence Hotel*, the concept plan (see Figure 1) also shows the location of the parking areas and a restaurant. The proposed facility will have access off of Fit Sport Life Boulevard and a cross access easement from the western and eastern properties (i.e. the future 7/11 Gas Station and the AmeriSports Facility). Although a *Restaurant* is an allowed by-right land use within a Commercial (C) District, the applicant did include it within the *Concept Plan* provided by the applicant to verify that the parking met the City's requirements.

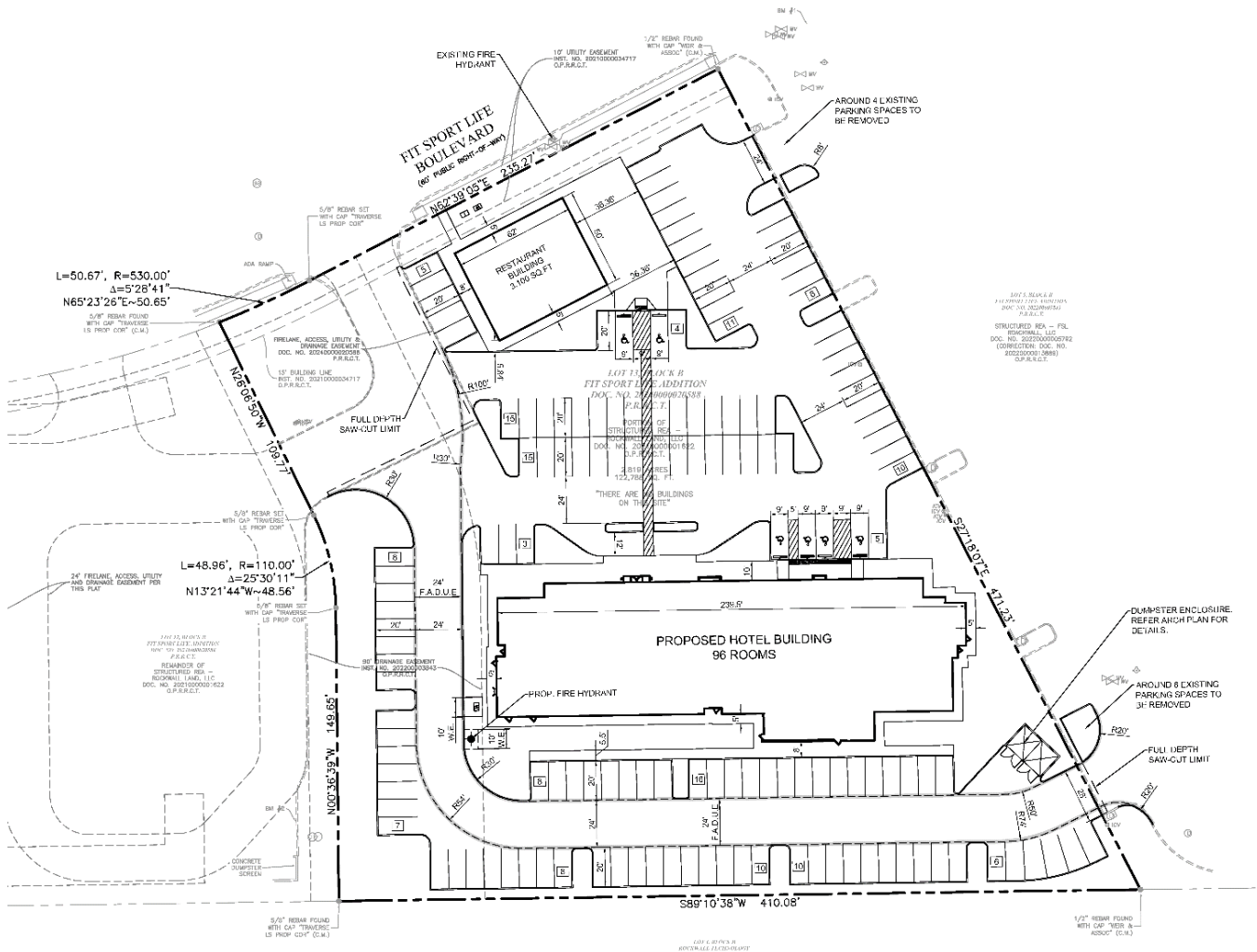


FIGURE 1. CONCEPT PLAN

CONFORMANCE WITH THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Residence Hotel* is defined as “(a) hybrid lodging establishment that combines the elements of traditional hotels with long-term residential accommodations. Residence hotels typically offer full furnished, apartment style units equipped with kitchens or kitchenettes, living areas, and separate bedrooms, providing guests with a home-like environment during their stay. These establishments cater to both short-term and extended-stay guests, offering flexible accommodations for travelers, corporate clients, and individuals in need of temporary housing solutions. Residence hotels often provide additional amenities such as housekeeping services, on-site laundry facilities, fitness centers, business centers, and communal spaces to enhance the guest experience.” In this case, the proposed *Residence Hotel* will incorporate kitchen facilities, be fully furnished, and have internal corridors leading to the doorways for each unit. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Residence Hotel* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that a *Residence Hotel* may not be appropriate within all areas of the City that are zoned Commercial (C) Districts. In addition, according to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*,

of the Unified Development Code (UDC), the maximum height for a building in a Commercial (C) District is 60-feet; however, the building height may be increased up to 240 feet if approved through a Specific Use Permit (SUP). In this case, the applicant is requesting a building height of 60-feet.

Staff should note that the provided concept plan currently conforms to the parking requirements for a *Residence Hotel* and *Restaurant*. Specifically, Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that a *Hotel* provide one (1) parking space per each unit and 50.00% of the accessory uses provided in the *Hotel*. Based on the provided concept plan, the required parking for the proposed *Residence Hotel* is 125 parking spaces. Staff calculated this as follows:

Residence Hotel:

- 96 Guest Rooms (1/1) = 96 parking spaces
- Storage Uses (1/1,000 SF @ 348 SF) = 1 parking space
- Office (1/300 SF @ 713 SF) = 2 parking spaces
- Restaurant (1/250 SF @ 1,688 SF) = 7/2 (as Accessory Use) = 9 parking spaces
- Fitness Center and Pool [*i.e. Health Club*] (1/200 SF @ 2,898 SF) = 15/2 (as Accessory Use) = 8 parking spaces

Restaurant: (1/200 SF @ 3,100 SF) = 31 parking spaces

TOTAL: 147 Parking Spaces

Currently, the concept plan shows the provision of 147 parking spaces which meets the required parking spaces for the proposed uses.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the IH-30 Corridor District and is designated for Special Commercial Corridor land uses. This land use designation is defined as being "...intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region..." According to the *District Strategies* for the IH-30 Corridor District properties designated for Special Commercial Corridor land uses "...will continue to be the City's primary retail corridor in the future..." and "...large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields." In this case, the applicant is proposing a *Residence Hotel* that will complement the surrounding uses. Currently, there is an *Indoor Sports Facility* adjacent to the subject property that attracts many families from outside of the City through tournaments and league play. Based on this, the proposed facility appears to conform to the OURHometown Vision 2040 Comprehensive Plan.

STAFF ANALYSIS

The concept plan provided by the applicant generally meets the requirements of the Unified Development Code (UDC) with the exception of the submitted building elevations which do not meet the *General Overlay District Standards*. In addition, the applicant's request appears to conform to the OURHometown Vision 2040 Comprehensive Plan. Staff should point out that the applicant will be subject to the building and landscape requirements outlined in the *General Overlay District Standards* and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) at the time of site plan approval. The applicant will also be required to provide building elevations at the time of site plan to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission to make recommendations and approvals related to the design of the building. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. As mentioned previously, the *Restaurant* portion of this request is not a discretionary decision for the City Council since a restaurant is an allowed *by-right* land use within a Commercial (C) District. That being said, because the applicant chose to include it with the rest of the request, it does add intensity to the property and therefore becomes part of what must be considered under this case.

NOTIFICATIONS

On August 20, 2025, staff mailed nine (9) notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised

the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any responses in favor or opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Residence Hotel* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance for the development of a *Residence Hotel*.
 - (b) The development of the subject property shall be subject to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) and review and recommendation by the Architecture Review Board (ARB) prior to approval by the Planning and Zoning Commission at the time of site plan. In addition, the approval of this Specific Use Permit (SUP) shall not constitute the approval of a variance or exception to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Residence Hotel*.
 - (c) The maximum overall height of the building shall not exceed four (4)-stories or 60-feet.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3005 Fit Sport Life Blvd, Rockwall, TX

SUBDIVISION FIT SPORT LIFE ADDITION

LOT

13

BLOCK

B

GENERAL LOCATION The 2.819 acres lot is located western of 3101 Fit Sport Life Blvd, Rockwall TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial w/ FM 549 Overlay

CURRENT USE Vacant

PROPOSED ZONING Commercial w/ FM 549 Overlay

PROPOSED USE Hotel & Retail/Restaurant

ACREAGE 2.819

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Structured REA-Rockwall Land LLC

APPLICANT Kiew Kam (Triangle Engineering LLC)

CONTACT PERSON Conor Keilty, AIA

CONTACT PERSON Kiew Kam

ADDRESS [REDACTED] 87

ADDRESS [REDACTED]

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 242.29 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF August, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF Aug, 2021

OWNER'S SIGNATURE

[Signature of Charlotte M. Calcagno]

Charlotte M. Calcagno, Notary Public
Bucks County
My commission expires March 6, 2026
Commission number 1399883

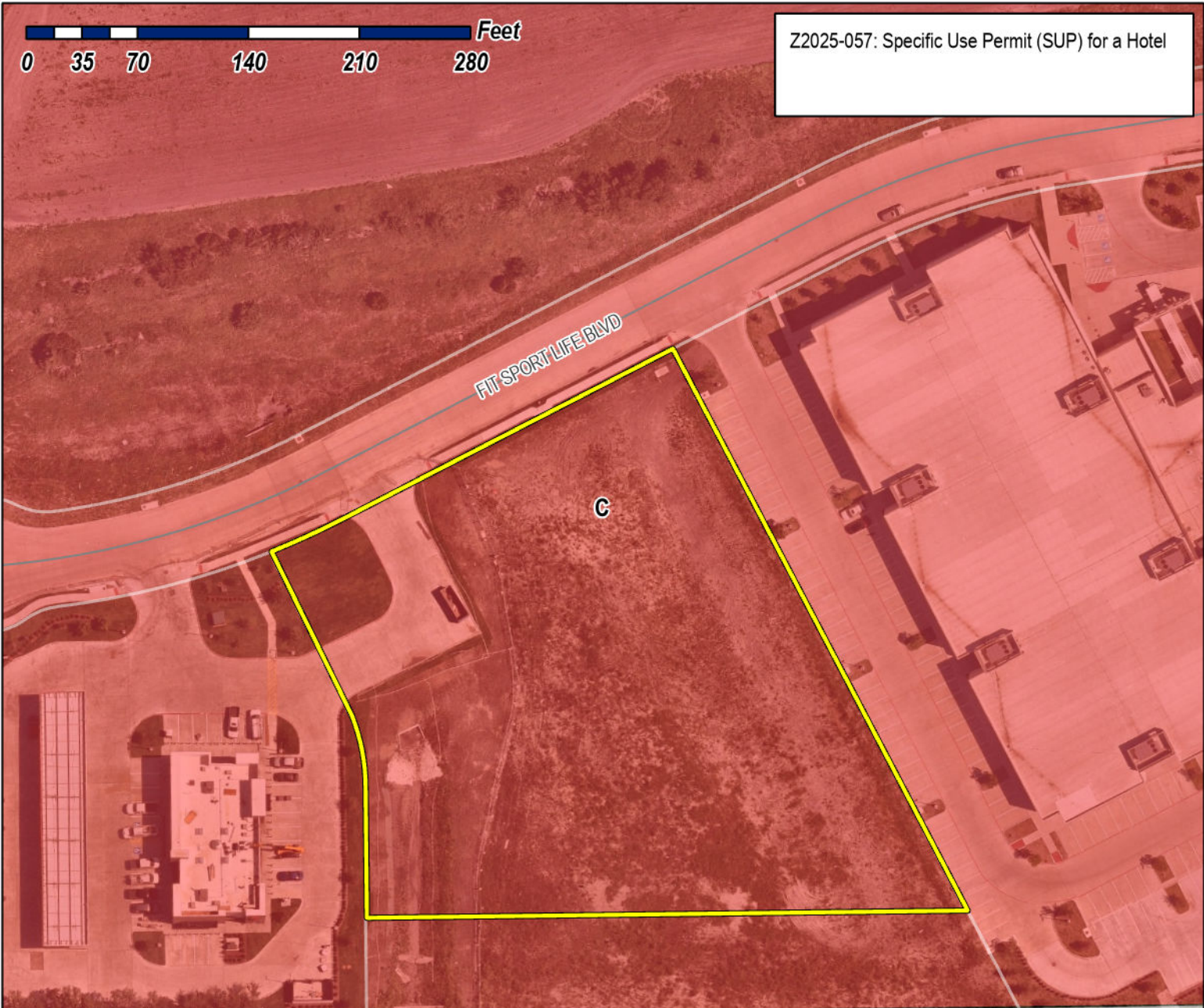
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


MY COMMISSION EXPIRES

03/06/28

0 35 70 140 210 280 Feet

Z2025-057: Specific Use Permit (SUP) for a Hotel



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

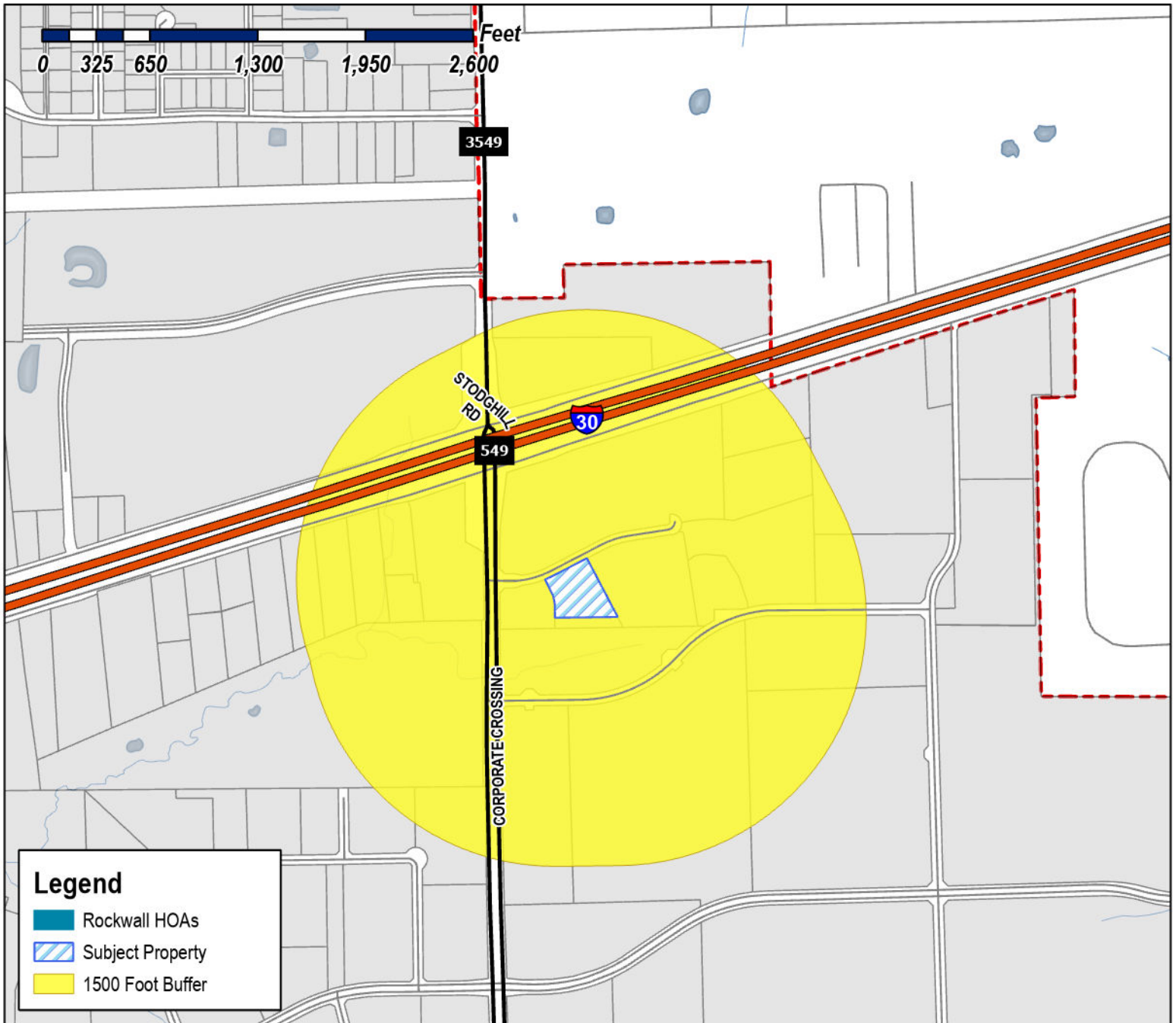




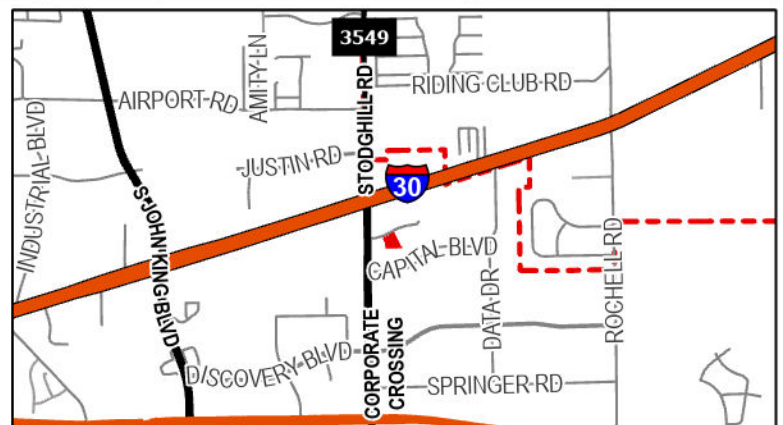
City of Rockwall

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Case Number: Z2025-057
Case Name: SUP for a Hotel
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 3005 Fit Sport Life Blvd



Date Saved: 8/19/2025

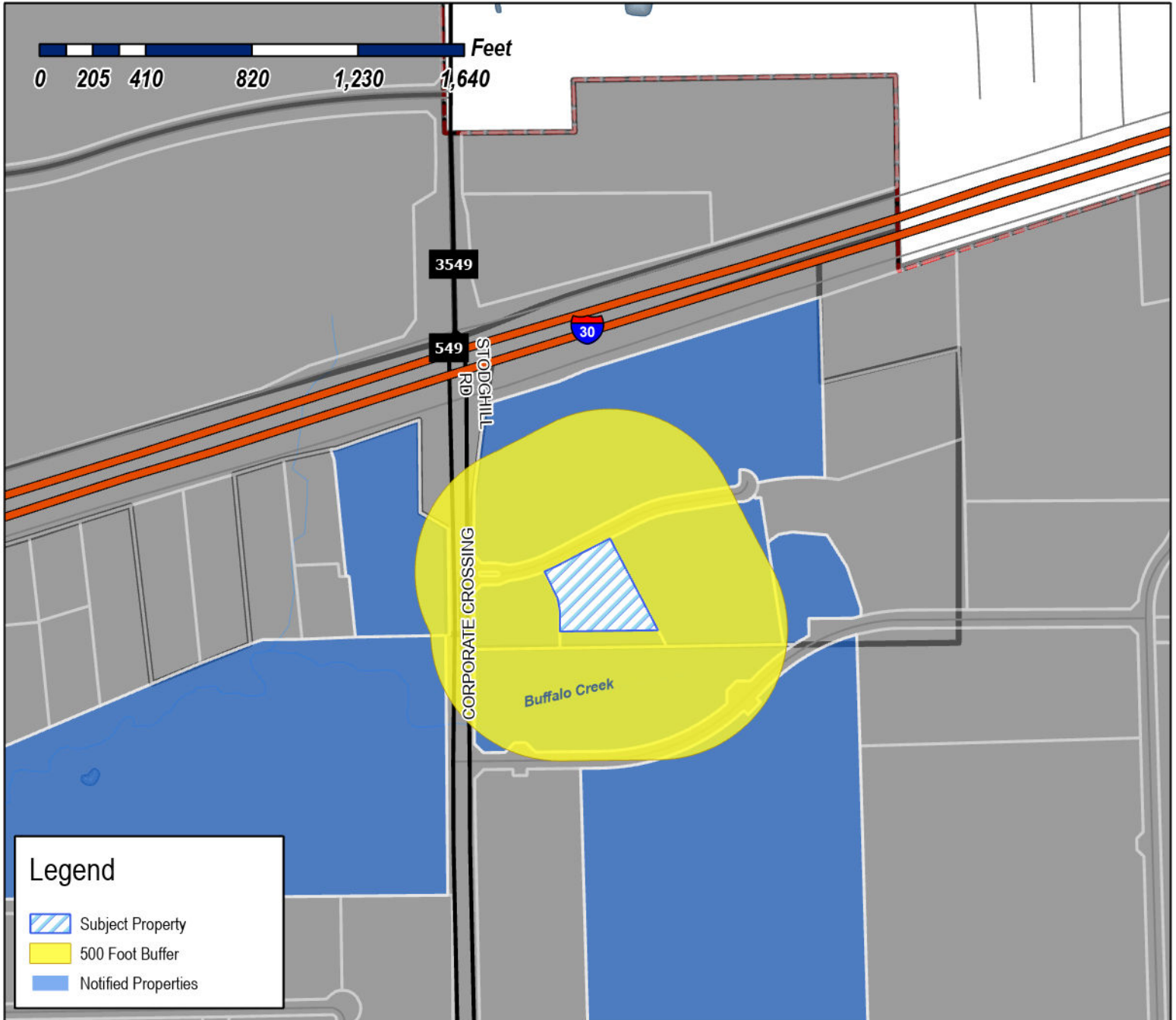
For Questions on this Case Call (972) 771-7745



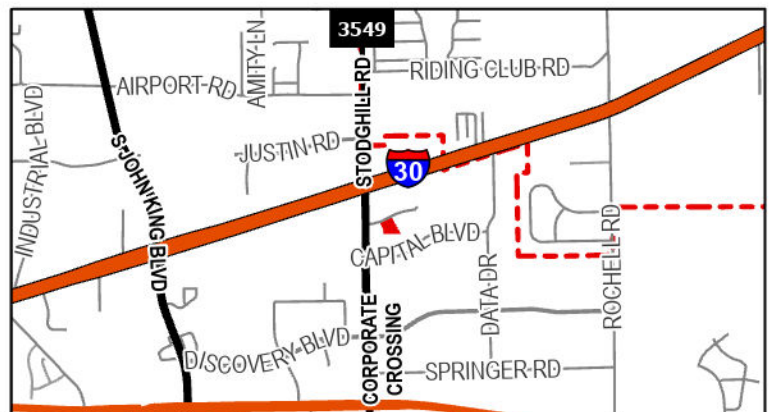
City of Rockwall

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Case Address: 3005 Fit Sport Life Blvd



Date Saved: 8/19/2025
 For Questions on this Case Call: (972) 771-7745

STRUCTURED REA- ROCKWALL LAND LLC
1200 CORPORATE CROSSING
ROCKWALL, TX 75087

WESTCORE BRAVO ROCKWALL LLC
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
1990 E I30
ROCKWALL, TX 75087

STRUCTURED REA FSL ROCKWALL LLC
3101 FIT SPORT LIFE BLVD
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
3104 E Camelback Rd
PHOENIX, AZ 85016

CAPITAL BOULEVARD VENTURE LLC AND
3201 CAPITAL BLVD GLOBAL WELLS
INVESTMENT GROUP LLC
ROCKWALL, TX 75087

WESTCORE BRAVO ROCKWALL LLC
4350 La Jolla Village Dr Ste 900
San Diego, CA 92122

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-057: SUP for a Residence Hotel

Hold a public hearing to discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-057: SUP for a Residence Hotel

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

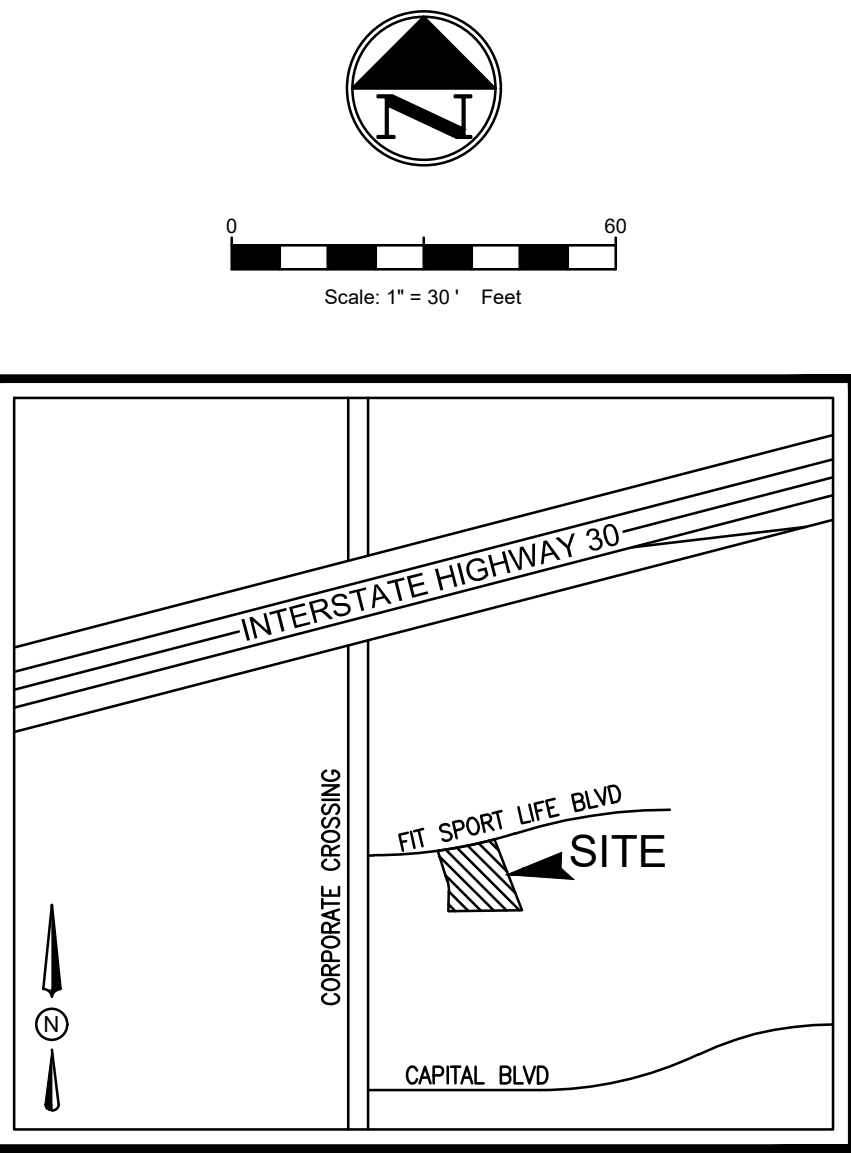
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

EASEMENT/SETBACK LEGEND
 FIRE LANE, ACCESS, DRAINAGE & UTILITY EASEMENT F.A.D.U.E.
 WATER EASEMENT W.E.

EXISTING LEGEND

- 1/2" IR FOUND
- 1/2" IR SET
- 5/8" IR FOUND
- 3/8" IR FOUND
- 60-D NAIL FOUND
- PK NAIL SET
- 1/2" IP FOUND
- X-FOUND
- X-SET
- 1" IR FOUND
- 1" IP FOUND
- POINT FOR CORNER
- ⊙ 3/4" IP FOUND
- ⊙ LIGHT POLE
- ⊙ TELE. BOX
- ⊙ SAN. SEW. CO.
- ⊙ SAN. SEW. MH.
- ⊙ STORM DRAIN MH.
- ♿ HANDICAP SPACE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ IRRIGATION VALVE
- UTILITY POLE
- WATER METER
- GAS METER
- ⊙ A.C. PAD
- ⊙ TRANS. BOX
- ⊙ GAS MARKER
- ⊙ BOLLARD POST
- ⊙ BRICK / STONE COLUMN
- ⊙ CABLE BOX
- ⊙ CONCRETE MONUMENT
- ⊙ COVERED AREA
- ⊙ ELECTRIC BOX
- ⊙ CHU - OVERHEAD UTILITY LINE
- ⊙ GUY WIRE ANCHOR
- ⊙ CHANLINK FENCE
- ⊙ PIPE RAIL FENCE
- ▨ NO PARKING
- ▨ CONCRETE
- ▨ GRAVEL
- ▨ BRICK
- ▨ STONE
- ▨ WOOD DECK
- ▨ BUILDING WALL
- ▨ TILE
- BUILDING LINE
- EASEMENT
- BOUNDARY
- HIGHBANK LINE
- PARKING STRIPE
- ASPHALT
- FIRE LANE STRIPE
- RETAINING WALL
- BARBED WIRE FENCE
- IRON FENCE
- WOOD FENCE



SITE DATA SUMMARY TABLE

SITE ACREAGE:	2.819 ACRES (122,788 S.F.)
ZONING:	COMMERCIAL W FM549 OVERLAY
PROPOSED USE:	HOTEL & RESTAURANT
BUILDING FOOTPRINT AREA:	14,204 S.F. (HOTEL) & 3,100 S.F. (RESTAURANT)
NUMBER OF STORIES:	1
BUILDING HEIGHT:	SEE FACADE PLAN
BUILDING COVERAGE:	0.14:1
FLOOR AREA RATIO:	---
NUMBER OF GUEST ROOMS:	96
IMPERVIOUS AREA:	94,298 S.F. (76.8%)
PERVIOUS/LANDSCAPE AREA:	28,490 S.F. (23.2%)
REGULAR PARKING REQUIRED: (SEE PARKING CALCULATION TABLE)	147 SPACES
REGULAR PARKING PROVIDED:	141 SPACES
HANDICAP PARKING REQUIRED:	5 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	6 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	147 SPACES

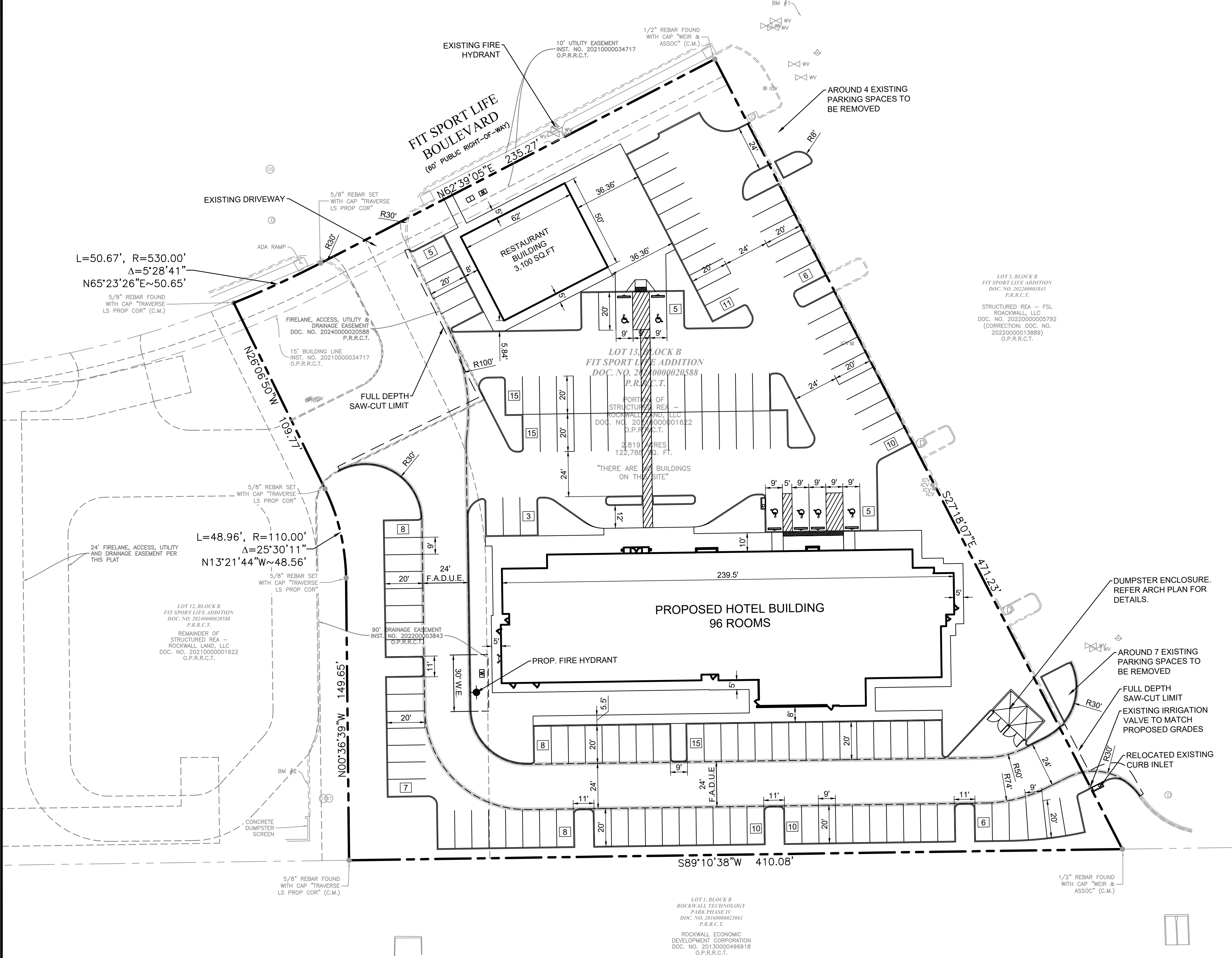
SITE LEGEND

- CONCRETE CURB
- SAW-CUT LINE
- FIRE LANE
- STRIPING
- PARKING SPACES
- WHEEL STOPS
- HANDICAP LOGO
- HANDICAP SIGN
- RAMP
- FIRE HYDRANT
- DUMPSTER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER DOUBLE CLEANOUT
- SANITARY SEWER SAMPLE PORT
- GREASE TRAP
- DOMESTIC WATER METER
- IRRIGATION METER

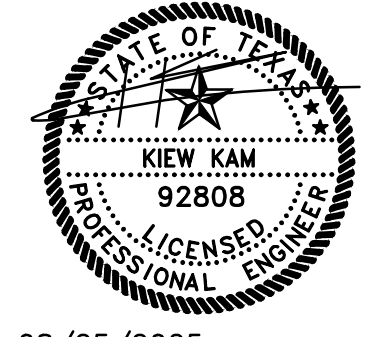
PARKING CALCULATIONS

		NUMBER/AREA (SQ.FT)	REQUIRED PARKING RATIO	REQUIRED PARKING#
HOTEL	GUEST ROOMS	96	1 PER GUEST ROOM	96
	FITNESS CENTER+POOL	2,898 SQ.FT	1 PER 200 SQ.FT X 0.5	8
	RESTAURANT AREA	1,688 SQ.FT	1 PER 100 SQ.FT X 0.5	9
	OFFICE SPACE	713 SQ.FT	1 PER 300 SQ.FT X 0.5	2
	STORAGE	346 SQ.FT	1 PER 1,000 SQ.FT X 0.5	1
RESTAURANT	Restaurant	3,100 SQ.FT	1 PER 100 SQ.FT	31
TOTAL				147

- SITE GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
 - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.



NO.	DATE	DESCRIPTION	BY
1	08-14-25	1st SUP SUBMITTAL	X
2	08-25-25	2nd SUP SUBMITTAL	X
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.
.	.	.	.



SITE PLAN
HOTEL & RESTAURANT
 3005 FIT SPORT LIFE BLVD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS 75032
 FIT SPORT LIFE ADDITION LOT 13, BLOCK B

TRIANGLE ENGINEERING LLC
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

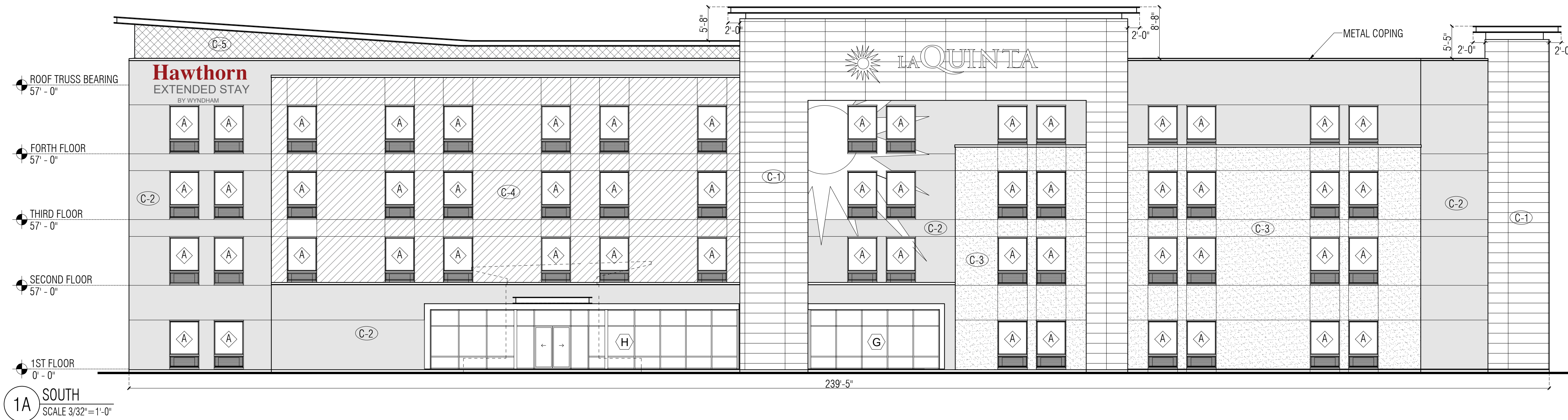
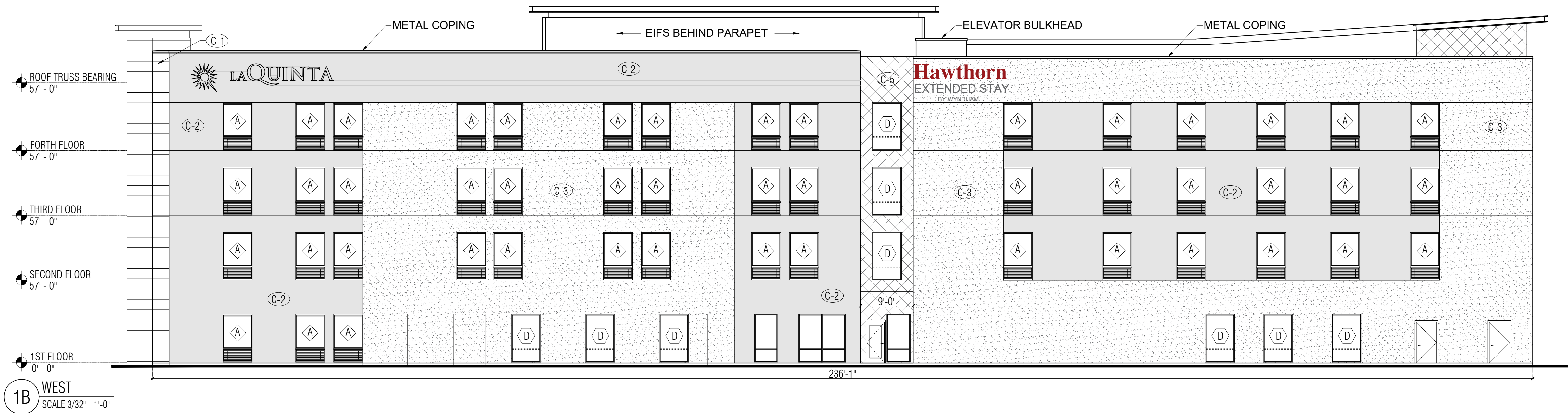
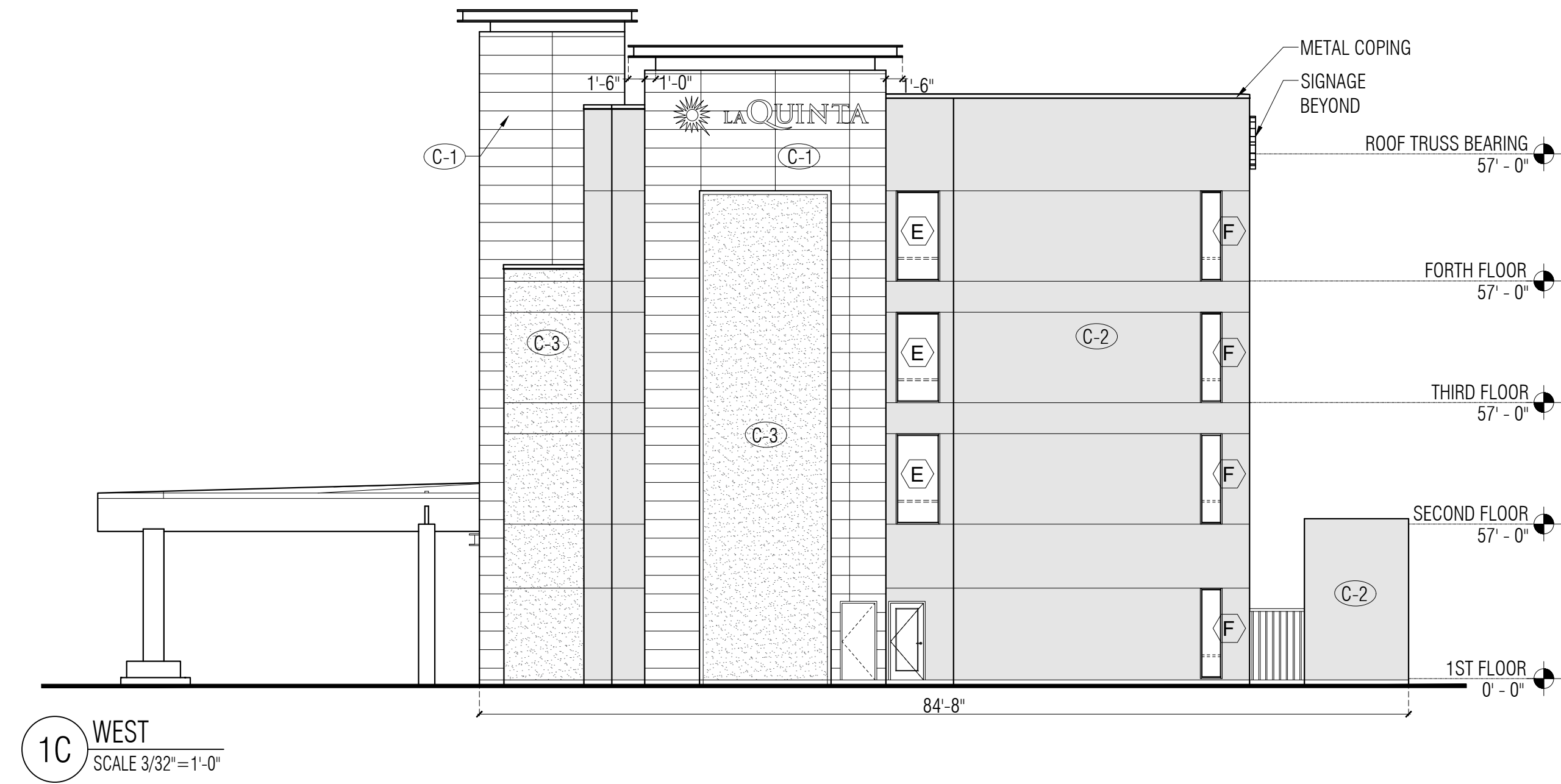
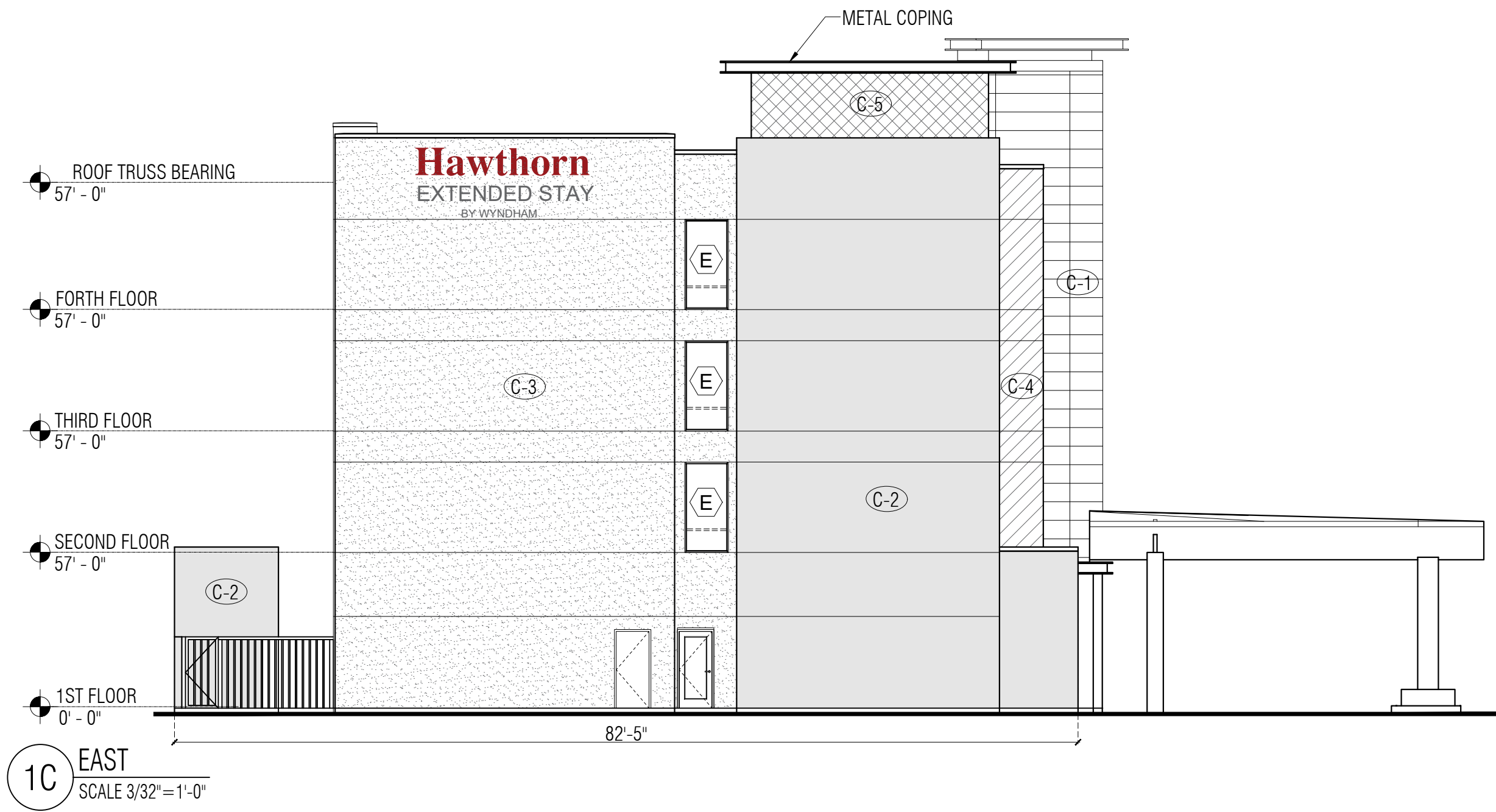
Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	X	08-25-25	SCALE BAR	110-25	C-3.0

TX. P.E. FIRM #11525

08/25/2025

PRELIMINARY DRAWINGS



EXTERIOR FINISHES SCHEDULE	
	C-1 LARGE FORMAT PANELS
	E-1 EIFS - THUNDER GRAY SW7645
	E-2 EIFS - MEGA GREIGE SW7031
	E-3 LARGE FORMAT PANELS
	E-4 EIFS - SHOW STOPPER SW7588

5A LEGENDS
N.T.S.

DESIGN GROUP LLC

2494 BUNNELS FORK ROAD
Frisco, TX 75036
Telephone: 901.603.8765

E-Mail: rkumar@designgroupmemphis.com

OWNER NAME AND ADDRESS

RESTAURANT
AT
3005 FIT SPORT LIFE
BLVD
CITY OF ROCKWALL,
COUNTY, TEXAS
75032

SEAL

CONSULTANTS NAME:

PRELIMINARY
DRAWINGS

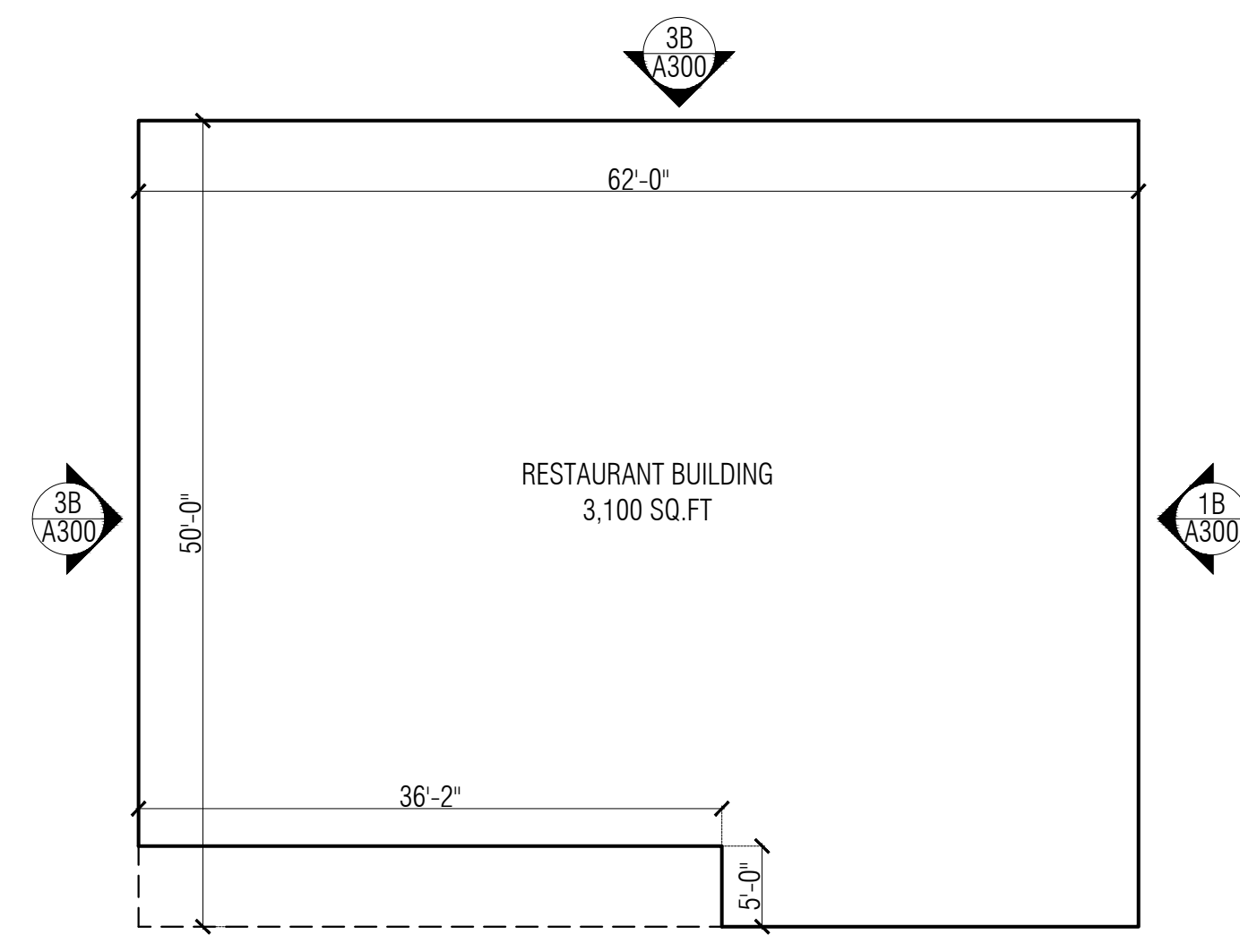
NO.	DATE	ISSUE / REVISION
01	08/14/2025	PRELIMINARY DRAWINGS

DRAWING NAME
EXTERIOR
ELEVATIONS

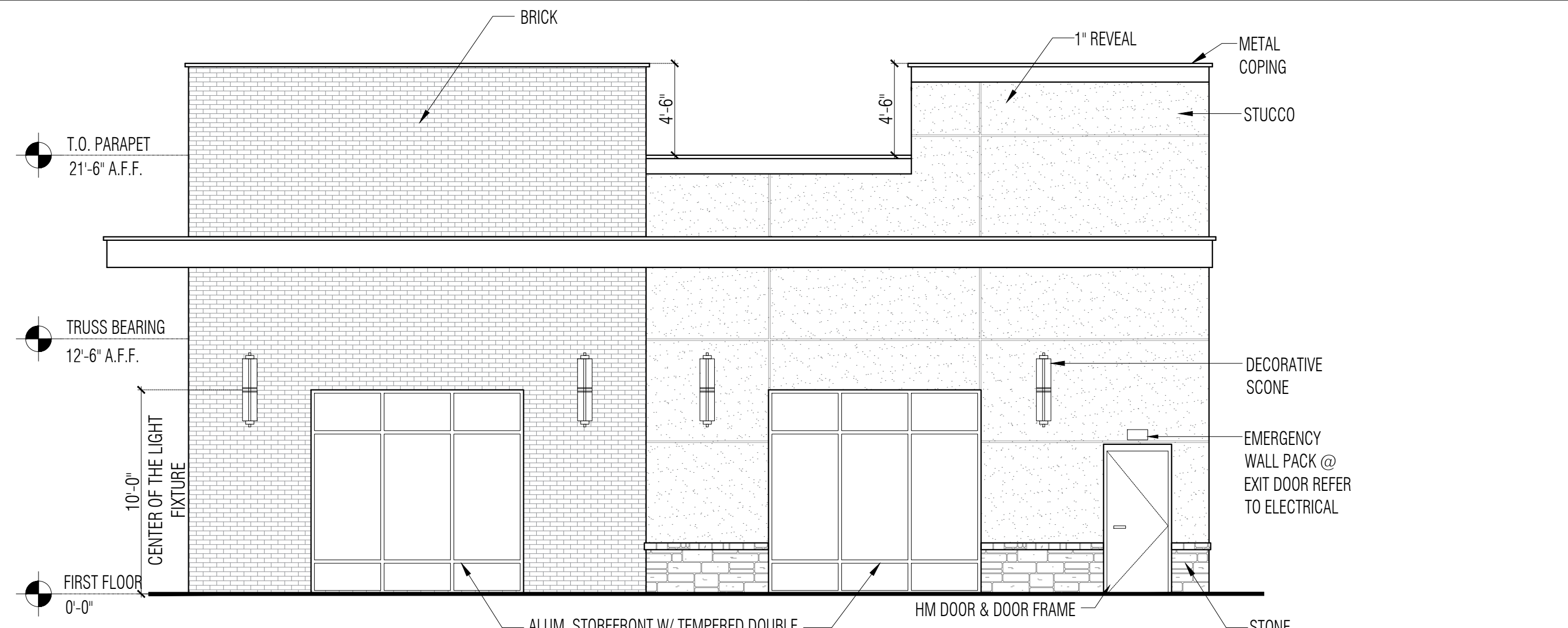
DRAWN BY: MAYURI
CHECKED BY:
APPROVED BY:

DRAWING NUMBER:

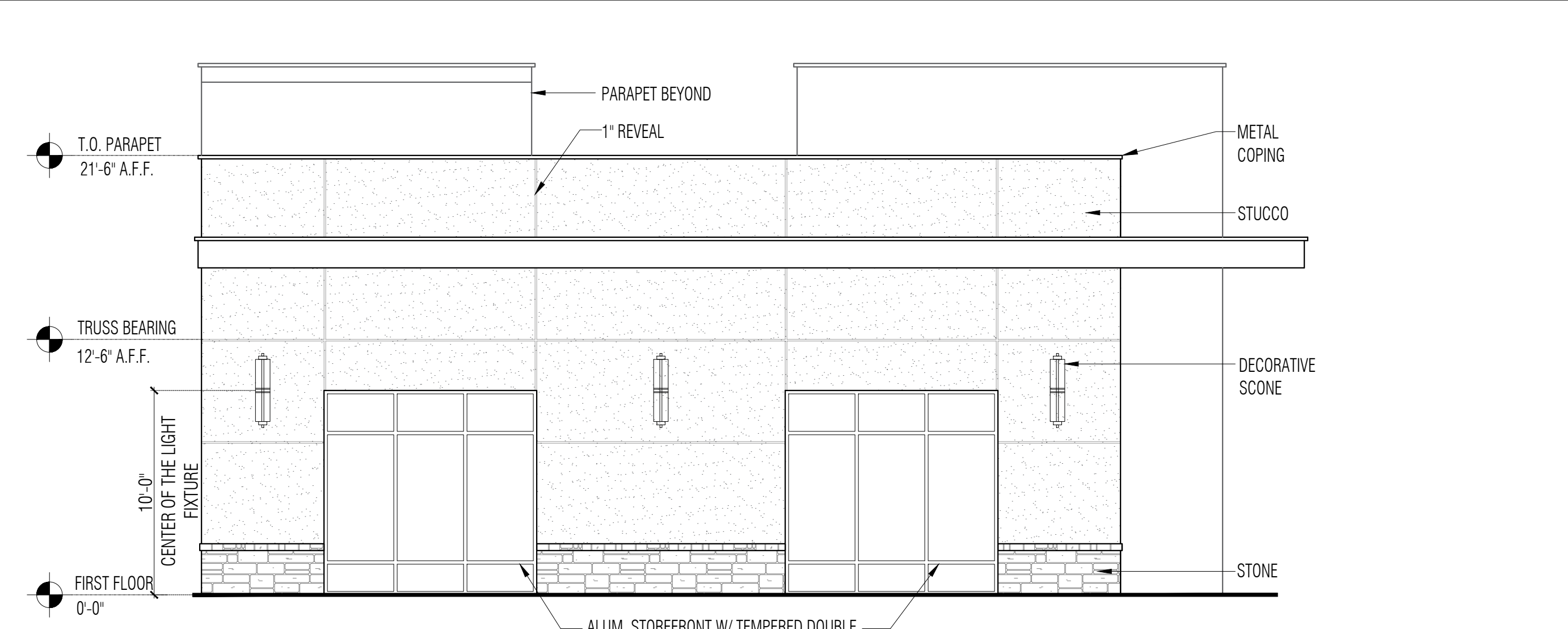
A300



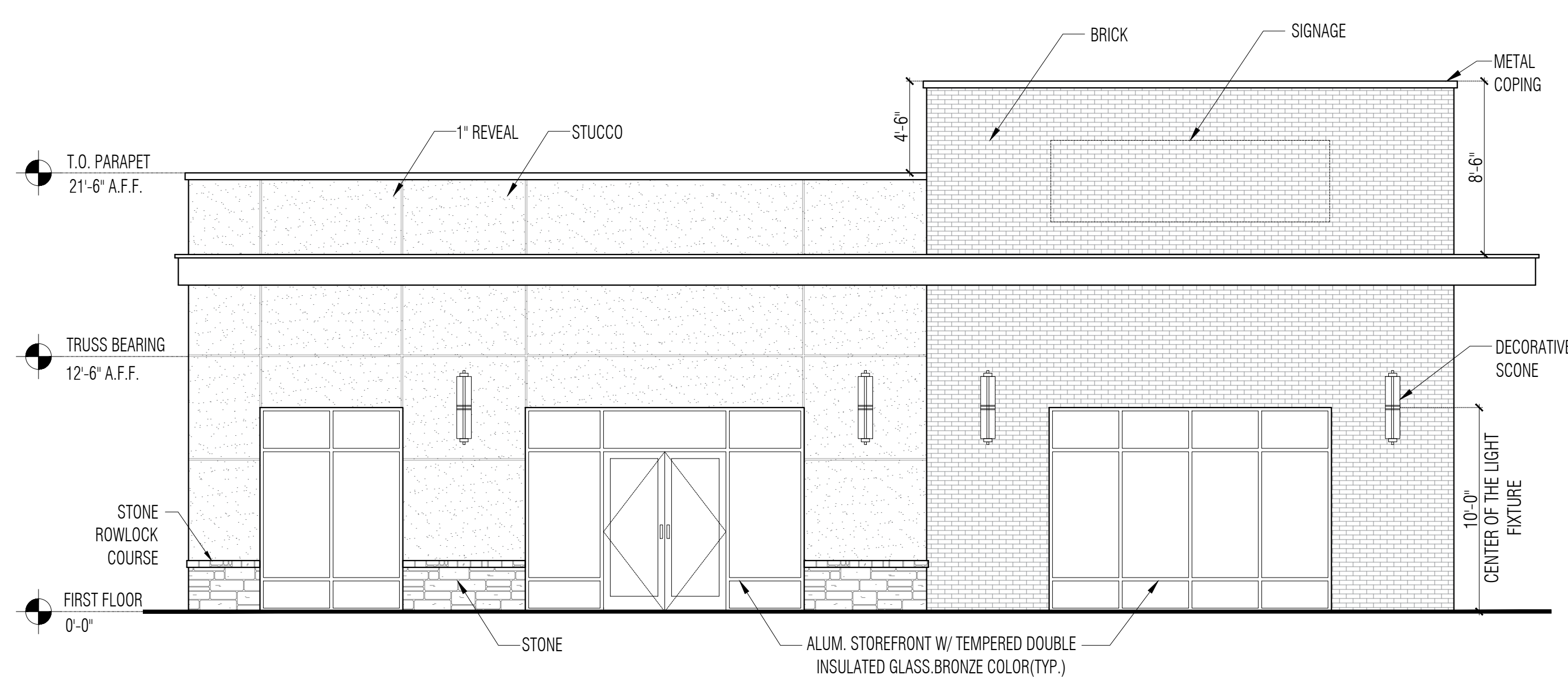
1C KEY PLAN
SCALE 3/32"=1'-0"



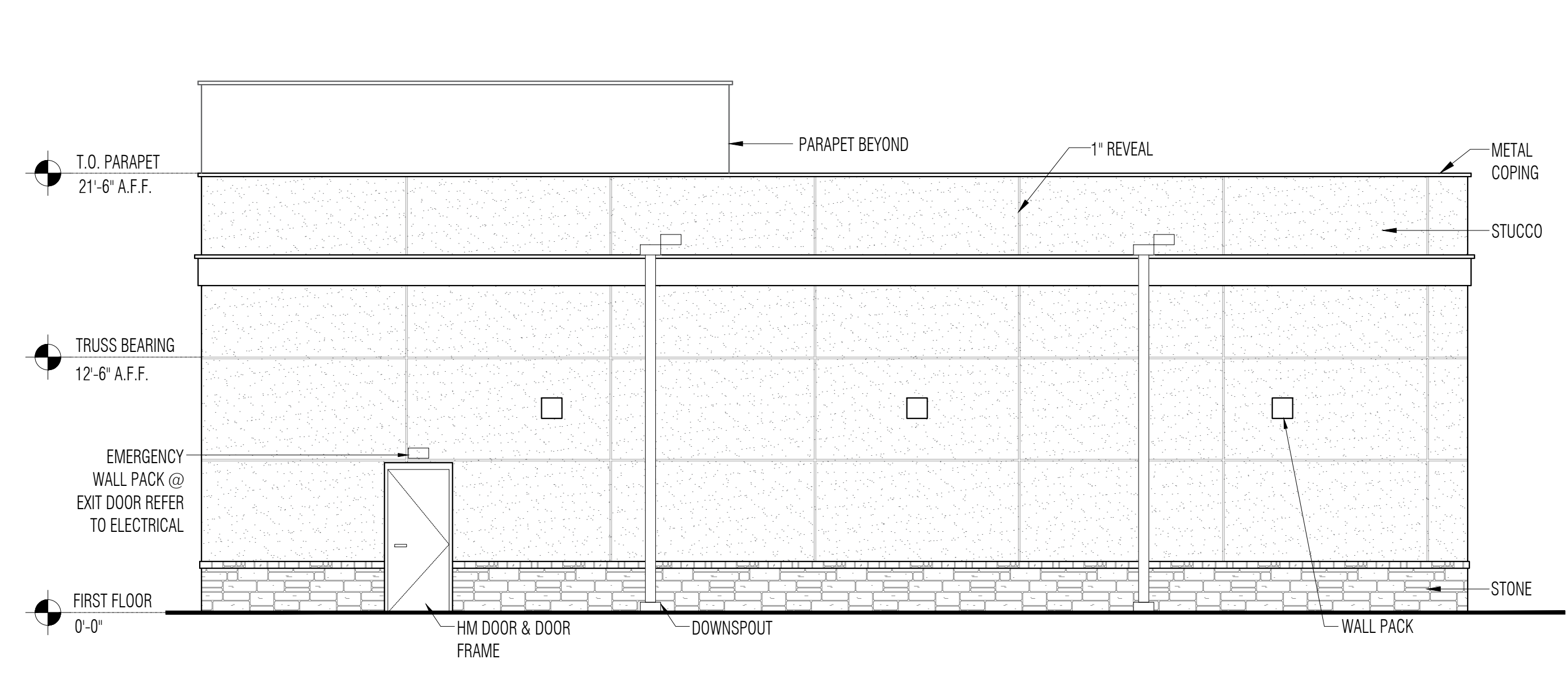
1B WEST
SCALE 3/16"=1'-0"



3B EAST
SCALE 3/16"=1'-0"



1A NORTH
SCALE 3/16"=1'-0"



3A SOUTH
SCALE 3/16"=1'-0"



Hawthorn
EXTENDED STAY

LA QUINTA

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESIDENCE HOTEL* ON A 2.819-ACRE PORTION OF A LARGER 4.767-ACRE PARCEL OF LAND IDENTIFIED AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBITS 'A' AND 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kiew Kam of Triangle Engineering, LLC. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Residence Hotel* on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and being more specifically described and depicted in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Residence Hotel* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; and, Subsection 06.13, *FM-549 Overlay District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Residence Hotel* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance for the development of a *Residence Hotel*.
- (2) The development of the subject property shall be subject to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) and review and recommendation by the Architecture Review Board (ARB) prior to approval by the Planning and Zoning Commission at the time of site plan. In addition, the approval of this Specific Use Permit (SUP) shall not constitute the approval of a variance or exception to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Residence Hotel*.
- (3) The maximum overall height of the building shall not exceed four (4)-stories or 60-feet.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and

applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'
Legal Description

BEING a tract of land located in the Robert Boyd Irvine Survey, Abstract No. 120, Rockwall County, Texas, being a portion of Lot 6, Block B, Fit Sport Life Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat recorded in Instrument No. 2022000003843, official public records, Rockwall County, Texas (O.P.R.C.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod with cap stamped "Wier & Assoc Inc", in the south right-of-way line of Fit Sport Life Boulevard (a 60' right-of-way), said iron rod being the northeast corner of said Lot 6 and the northwest corner of Lot 5, Block B of said Fit Sport Life Addition;

THENCE S 27°18'10" E, departing the south right-of-way line of said Fit Sport Life Boulevard, along the east line of said Lot 6 and the west line of said Lot 5, a distance of 471.23 feet to a ½" iron rod found with a cap stamped "Wier & Assoc Inc", in the north line of Lot 1, Block B, Rockwall Technology Park Phase IV, an addition to the City of Rockwall, Rockwall County, Texas according to the plat recorded in Instrument No. 20160000023061, O.P.R.R.C.T., said iron being the southeast corner of said Lot 6 and the southwest corner of said Lot 5.

THENCE S 89°10'38" W, along the south line of said Lot 6 and the north line of said Lot 1, a distance of 410.08 feet to a point;

THENCE N 00°36'39" W, departing the south line of said Lot 6 and the north line of said Lot 1, a distance of 149.65 feet to a point, being the beginning of a curve to the left;

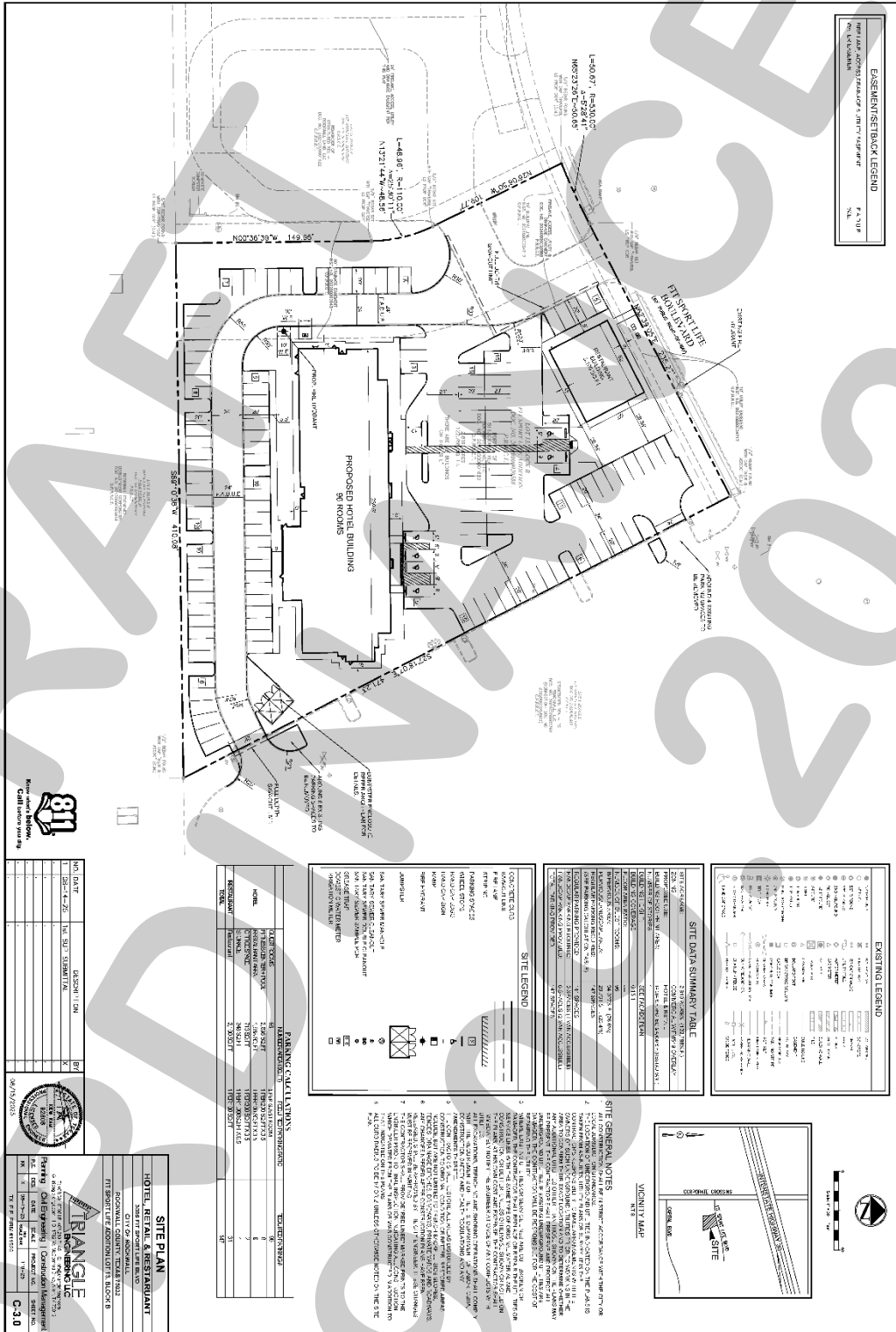
THENCE Northwesterly, an arc length of 48.96 feet along said curve to the left, having a radius of 110.00 feet, a delta angle of 25°30'11", and a chord bearing N 13°21'44" W, a distance of 48.56 feet to a point;

THENCE N 26°06'50" W, a distance of 109.76 feet to a point in the north line of said Lot 6 and in the south right-of-way line of said Fit Sport Life Boulevard, being the beginning of a non-tangent curve to the left;

THENCE Northeasterly, an arc length of 50.67 feet along the north line of said Lot 6, the south right-of-way line of said Fit Sport Life Boulevard, and said curve to the left, having a radius of 530.00 feet, a delta angle of 05°28'40", and a chord bearing of N 65°23'25" E, a distance of 50.65 feet to a ½" iron rod found with a cap stamped "Wier & Assoc Inc";

THENCE N 62°39'05" E, continuing along the north line of said Lot 6 and the south right-of-way line of said Fit Sport Life Boulevard, a distance of 235.27 feet to the place of beginning and containing 2.819 acres (122,785 square feet) of land, more or less.

Exhibit 'B'
Concept Plan



EXISTING/SETBACK LEGEND

PROJECT NO. 2025-057
DATE: 11/11/2025
SCALE: 1/8" = 1'-0"

EXISTING LEGEND

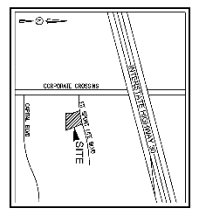
EXISTING BUILDING
EXISTING DRIVEWAY
EXISTING DRIVE
EXISTING SIDEWALK
EXISTING CURB
EXISTING PAVEMENT
EXISTING ASPHALT DRIVEWAY
EXISTING ASPHALT DRIVE
EXISTING ASPHALT SIDEWALK
EXISTING ASPHALT CURB
EXISTING ASPHALT PAVEMENT
EXISTING ASPHALT DRIVEWAY
EXISTING ASPHALT DRIVE
EXISTING ASPHALT SIDEWALK
EXISTING ASPHALT CURB
EXISTING ASPHALT PAVEMENT

SITE DATA SUMMARY TABLE

TOTAL SITE AREA	10.00 ACRES
TOTAL BUILDING AREA	100,000 SQ. FT.
TOTAL PARKING AREA	10,000 SQ. FT.
TOTAL DRIVEWAY AREA	10,000 SQ. FT.
TOTAL DRIVE AREA	10,000 SQ. FT.
TOTAL SIDEWALK AREA	10,000 SQ. FT.
TOTAL CURB AREA	10,000 SQ. FT.
TOTAL PAVEMENT AREA	10,000 SQ. FT.
TOTAL ASPHALT DRIVEWAY AREA	10,000 SQ. FT.
TOTAL ASPHALT DRIVE AREA	10,000 SQ. FT.
TOTAL ASPHALT SIDEWALK AREA	10,000 SQ. FT.
TOTAL ASPHALT CURB AREA	10,000 SQ. FT.
TOTAL ASPHALT PAVEMENT AREA	10,000 SQ. FT.

SITE LEGEND

PROPOSED HOTEL BUILDING
PROPOSED LIFE POOL
PROPOSED RESTAURANT
PROPOSED HOTEL
PROPOSED DRIVEWAY
PROPOSED DRIVE
PROPOSED SIDEWALK
PROPOSED CURB
PROPOSED PAVEMENT
PROPOSED ASPHALT DRIVEWAY
PROPOSED ASPHALT DRIVE
PROPOSED ASPHALT SIDEWALK
PROPOSED ASPHALT CURB
PROPOSED ASPHALT PAVEMENT



- SITE GENERAL NOTES**
1. ALL DIMENSIONS SHALL BE PER THE LATEST REVISIONS OF THE SITE PLAN.
 2. THE PROPOSED HOTEL BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 3. THE PROPOSED LIFE POOL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 4. THE PROPOSED RESTAURANT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 5. THE PROPOSED HOTEL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 6. THE PROPOSED DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 7. THE PROPOSED DRIVE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 8. THE PROPOSED SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 9. THE PROPOSED CURB SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 10. THE PROPOSED PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 11. THE PROPOSED ASPHALT DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 12. THE PROPOSED ASPHALT DRIVE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 13. THE PROPOSED ASPHALT SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 14. THE PROPOSED ASPHALT CURB SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.
 15. THE PROPOSED ASPHALT PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS ZONING ORDINANCE AND THE CITY OF ROCKWALL, TEXAS SUBDIVISION ORDINANCE.

PARKING CALCULATIONS

USE	PERMITTED PER 1,000 SQ. FT.	TOTAL PERMITTED	PROPOSED
HOTEL	10	100	100
RESTAURANT	10	100	100
TOTAL		200	200

PERMITS

NO. DATE	DESCRIPTION	BY
1	11/11/2025	TRANJALE ENGINEERING, LLC

SITE PLAN

HOTEL, RETAIL & RESTAURANT

PROJECT NO. 2025-057
DATE: 11/11/2025
SCALE: 1/8" = 1'-0"

TRANJALE ENGINEERING, LLC
10000 W. PARKWAY
SUITE 100
DALLAS, TEXAS 75244
PHONE: (214) 343-1234
FAX: (214) 343-1235
WWW.TRANJALEENGINEERING.COM

C-310



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Leonard and Debra Lynskey
CASE NUMBER: Z2025-058; *Specific Use Permit (SUP) for an Accessory Structure at 2310 Sarah Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Leonard and Debra Lynskey for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* that exceeds the maximum size on a 0.445-acre parcel of land identified as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310 Sarah Drive, and take any action necessary.

BACKGROUND

The subject property, which was part of a 44.292-acre tract of land, was originally annexed into the City of Rockwall on March 16, 1998 by *Ordinance No. 98-10 [i.e. Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On January 4, 2016, the City Council adopted *Ordinance No. 16-07* establishing Planned Development District 79 (PD-79), which is also known as the Saddle Star South Subdivision [*i.e. Case No. Z2016-015*]. The subject property has remained zoned Planned Development District 79 (PD-79) since this change. A preliminary plat [*i.e. Case No. P2016-024*] and master plat [*i.e. Case No. P2016-023*] for the Saddle Star Subdivision were approved on August 15, 2016. On November 15, 2021, the City Council approved a Final Plat [*i.e. Case No. P2021-055*] for Phase 2 of the Saddle Star Subdivision. This subdivision plat established the subject property as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition. On January 2, 2024, the City Council approved a Replat [*i.e. Case No. P2023-039*] for the purpose of establishing a ten (10) foot building setback line in lieu of the 20-foot setback along Laurel Drive established with the original final plat for the subject property. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a 5,337 SF single-family home that was constructed in 2024.

PURPOSE

The applicants -- *Leonard and Debra Lynskey* -- are requesting approval of a Specific Use Permit (SUP) for the purpose of allowing the construction of a 690 SF *Accessory Structure* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2310 Sarah Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the corporate limits of the City of Rockwall. Beyond this are several single-family residences situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

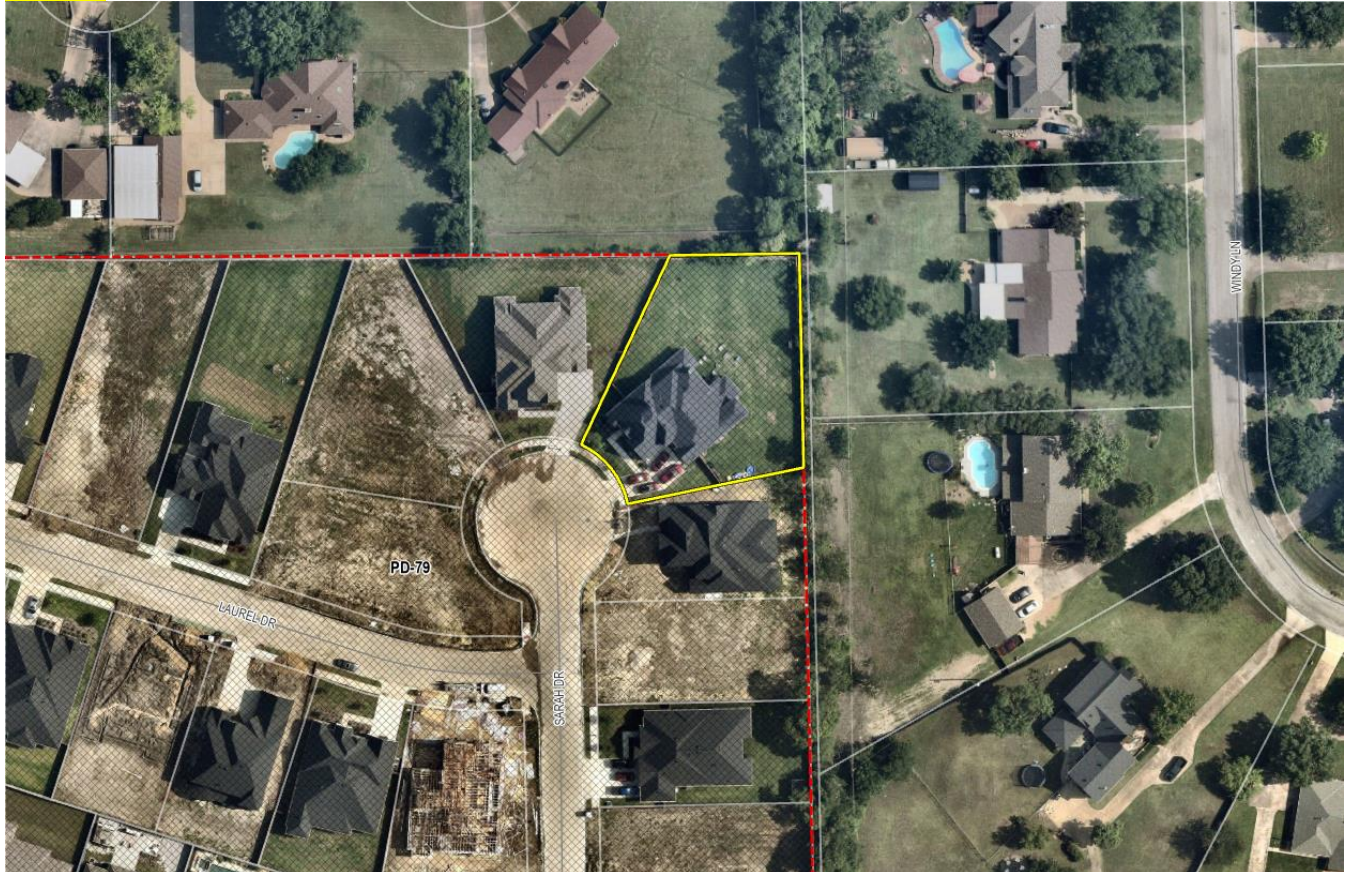
South: Directly south of the subject property six (6) residential lots. Four (4) of these parcels of land (*i.e. 2208, 2212, 2220, & 2306 Sarah Drive*) are developed with single-family homes and two (2) parcels of land (*i.e. 2302 & 2216 Sarah Drive*) are currently vacant. All of these homes are within Saddle Star Phase 2 Addition and are zoned Planned Development District 79 (PD-79). Beyond this is Phase 1 of the Saddle Star Estates Subdivision, which consists of 69 residential lots, and was established on November 23, 2020. South of this is John King Boulevard, which is identified as a P6D [*i.e. principal arterial, six (6) lane, divided roadway*] on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are the corporate limits of the City of Rockwall. Beyond this are several single-family residences situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property are seven (7) residential lots. Four (4) of these parcels of land (*i.e.* 2311 Sarah Drive & 2214, 2222, & 2226 Laurel Drive) are developed with single-family homes and three (3) parcels of land (*i.e.* 2307 Sarah Drive, 2218 Laurel Drive, & 2310 Judith Lane) are currently vacant. All of these homes are within Phase 2 of the Saddle Star Estates Subdivision and are zoned Planned Development District 79 (PD-79). West of this is Judith Lane, which is identified as a R2 [*i.e.* residential, two (2) lane, undivided roadway] on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE PROJECT

The applicants are requesting the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on the subject property. The proposed covered porch will be a total of 690 SF (*i.e.* 23-feet x 30-feet = 690 SF) in size. The covered porch will have an approximate total height of 14-feet, or roughly 11-feet at the midpoint of the roof. The proposed building elevations provided by the applicant indicate the structure will be constructed out of cedar, have concrete piers wrapped in stone, and have an asphalt shingle roof that will be compatible with the primary structure. In addition, the proposed structure appears to meet all applicable building setbacks.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Residential Accessory Building or Structure* is defined as "(a) supplementary structure or building on a residential property that is secondary to the primary dwelling and serves a supportive or complementary function. These structures are typically used for purposes such as storage, recreation, or housing equipment and are ancillary to the primary residential use of the property." In addition, according to Subsection 07.04, *Accessory*

Structure Development Standards, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) a covered porch in a Single-Family 8.4 (SF-8.4) District is permitted by-right up to 500 SF and 15-feet in height. In this case, the proposed structure is only exceeding the maximum size requirements. The proposed *Covered Porch* is approximately 690 SF in size and 14-feet in total height. That being said, the height of an *Accessory Building* with a pitched roof is taken at the midpoint of the roof pitch. Given this, the height of the proposed *Covered Porch* is 11-feet. Based on this, the applicant is requesting approval of an *Accessory Structure* that exceeds the maximum permissible size by 190 SF.

Staff should note that only one (1) attached or detached covered porch is permitted on the subject property with a maximum size of 500 SF. In this case, the proposed structure would be the only accessory building on the subject property and would be greater than the maximum permissible size. If approved, no other accessory structures would be permitted on the subject property. If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size and height of the proposed structure. With this being said, the proposed structure does not appear to adversely affect the neighboring properties or diminish the overall value of the surrounding neighborhood. However, approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 21, 2025, staff mailed 31 property owner notifications to property owners and occupants within 500-feet of the subject property. Staff also notified the Stoney Hollow Homeowner's Association (HOA), which is the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct an *Accessory Building* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Accessory Structure* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The *Accessory Structure* shall generally conform to the Building Elevations as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
 - (c) The *Accessory Structure* shall not exceed a maximum size of 690 SF.
 - (d) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
 - (e) No additional *Accessory Structures* may be constructed on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2310 Sarah Dr

SUBDIVISION Saddle Star Estates South Phase 2 LOT 17 BLOCK F

GENERAL LOCATION Windy Dr & 552

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential.

CURRENT USE Residential

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE .445

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER
CONTACT PERSON Leonard Lynskey
Debra Lynskey

APPLICANT
CONTACT PERSON Debra Lynskey
Debra Lynskey

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

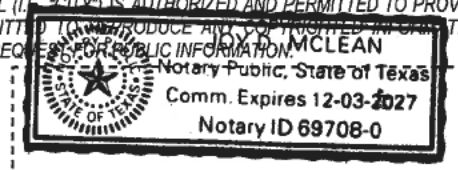
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF August, 2025.

OWNER'S SIGNATURE Debra Lynskey
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Joy D McLean




MY COMMISSION EXPIRES _____



Z2025-058: SUP for an Accessory Structure at 2310 Sarah Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

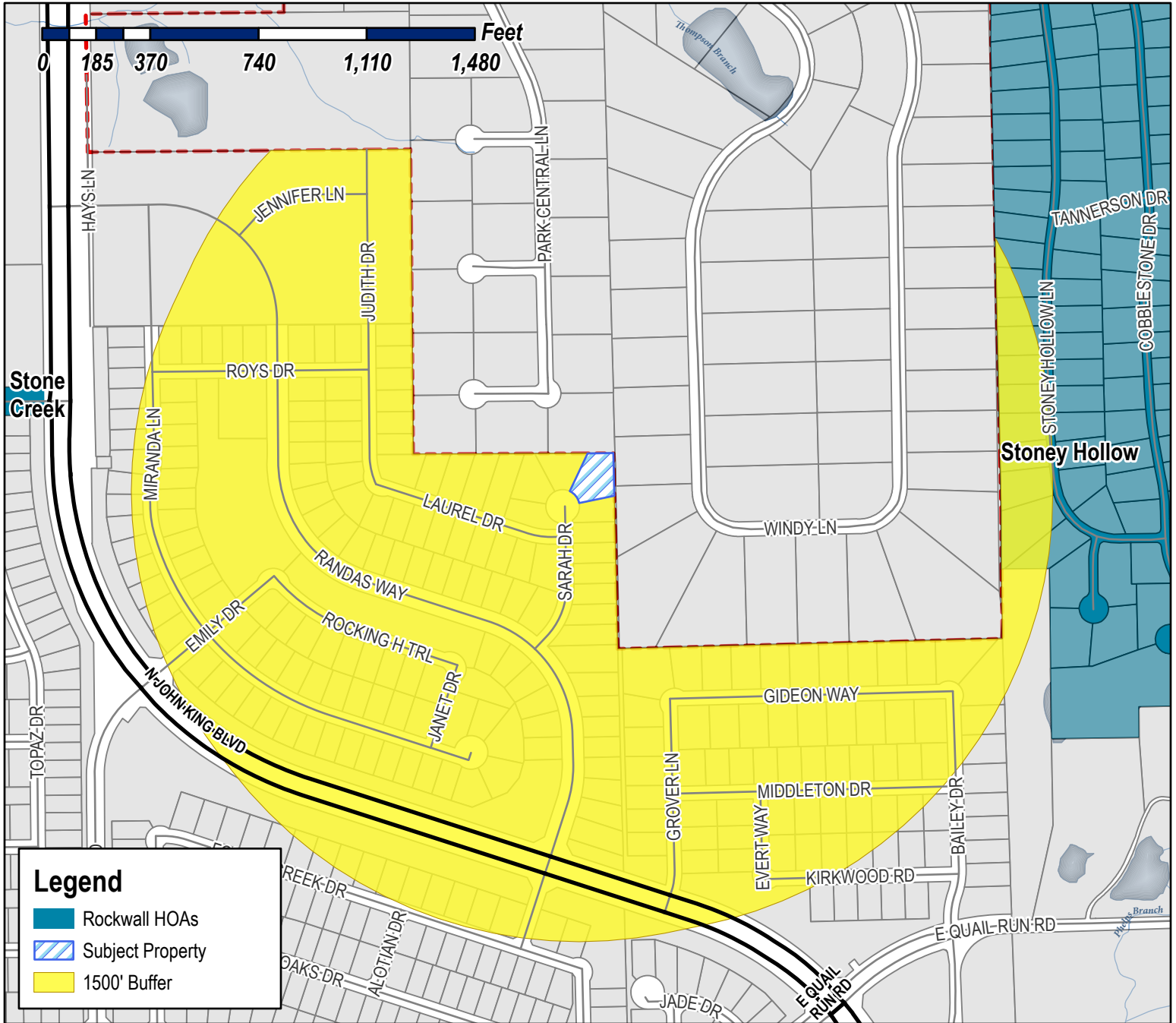







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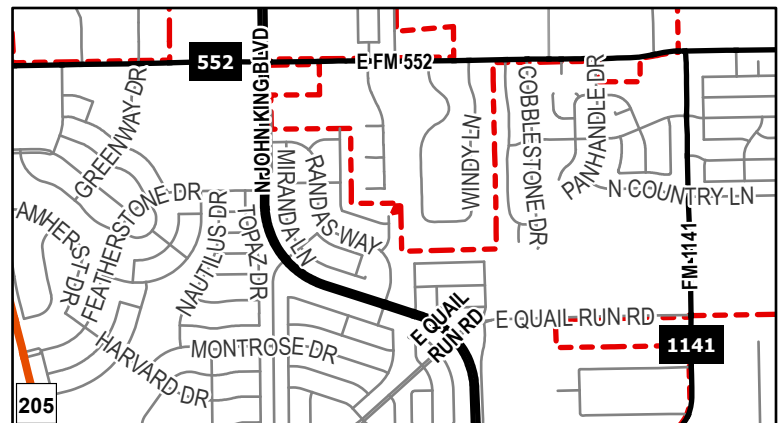


Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2025-058
Case Name: SUP For 2310 Sarah Drive
Case Type: Zoning
Zoning: Planned Development 79 (PD-79)
 District
Case Address: 2310 Sarah Drive

Date Saved: 8/15/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-058]
Date: Thursday, August 21, 2025 8:12:42 AM
Attachments: [Public Notice \(08.20.2025\).pdf](#)
[HOA Map \(08.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-058: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Leonard and Debra Lynskey for the approval of a [Specific Use Permit \(SUP\)](#) for an Accessory Structure that exceeds the maximum size on a 0.445-acre parcel of land identified as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310 Sarah Drive, and take any action necessary.

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

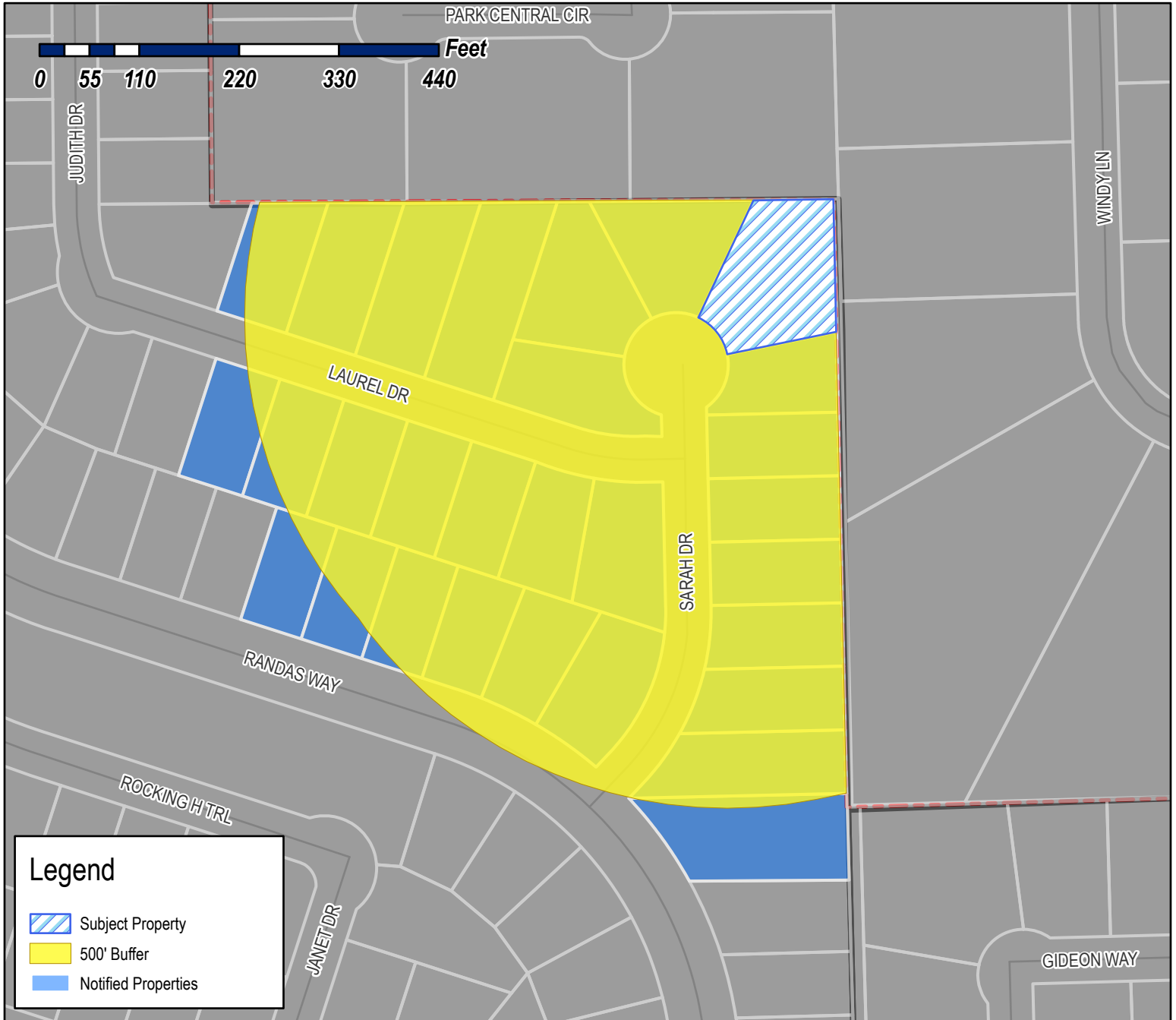
972-771-7745 Ext. 6568






City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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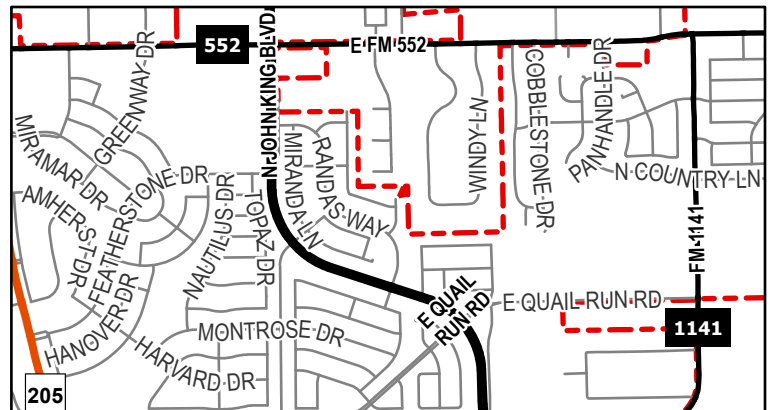
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2025-058
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Planned Development 79 (PD-79)
 District
Case Address: 2310 Sarah Drive

Date Saved: 8/15/2025

For Questions on this Case Call: (972) 771-7745



DFH COVENTRY LLC
16980 NORTH DALLAS PARKWAY SUITE 100
DALLAS, TX 75248

THOMAS GENE AND NINA
2136 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2201 LAUREL DR
ROCKWALL, TX 75087

CARES CRAIG MAYO
2202 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2205 LAUREL DR
ROCKWALL, TX 75087

HERMONSTINE LESLYN ANN AND
EDDYE LORIS LOVELY
2206 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2208 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2209 LAUREL DR
ROCKWALL, TX 75087

BAYLOR SEQUOIA & TWONDELL YAYA
2210 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2212 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2213 LAUREL DR
ROCKWALL, TX 75087

RESIDENT
2214 LAUREL DR
ROCKWALL, TX 75087

HAYES JAMES R AND STEPHANIE MARIE
2214 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2216 SARAH DR
ROCKWALL, TX 75087

GRAY GREGORY TODD &
IFFAT TARIQ
2217 LAUREL DR
ROCKWALL, TX 75087

RESIDENT
2218 LAUREL DR
ROCKWALL, TX 75087

BUSCH BRIAN NICHOLAS AND KELLY ANN
2218 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2220 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2221 LAUREL DR
ROCKWALL, TX 75087

RESIDENT
2222 LAUREL DR
ROCKWALL, TX 75087

KUSCH LIVING TRUST
RODERICK A KUSCH AND CATHY M KUSCH - CO-
TRUSTEES
2222 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2225 LAUREL DR
ROCKWALL, TX 75087

TANNER BRIAN WESLEY & LESLIE AFTON
2226 LAUREL DR
ROCKWALL, TX 75087

RESIDENT
2302 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2303 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2306 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2307 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2310 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2311 SARAH DR
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC
2700 Commerce St Ste 1600
Dallas, TX 75226

HIGHLAND HOMES - DALLAS LLC
5601 DEMOCRACY DR STE 300
PLANO, TX 75024

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-058: SUP for an Accessory Structure that Exceeds the Maximum Size

Hold a public hearing to discuss and consider a request by Leonard and Debra Lynskey for the approval of a *Specific Use Permit (SUP)* for an Accessory Structure that exceeds the maximum size on a 0.445-acre parcel of land identified as Lot 17, Block F, Saddle Star Estates South, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310 Sarah Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-058: SUP for an Accessory Structure that Exceeds the Maximum Size

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Ellen Hefner](#)
To: [Planning](#)
Subject: Support for Lynskey Family - Zone Change Reuest
Date: Sunday, August 31, 2025 10:34:30 PM

Dear Rockwall Planning Department,

I am writing to express my strong support for my neighbor, Leonard and Debra Lynskey at 2310 Sarah Drive, in their request for a zone change to allow the construction of a pergola in their backyard.

This small addition will in no way negatively affect the neighborhood. It will not obstruct views, create noise, or cause any disruption. On the contrary, it will enhance their property and is consistent with the kind of improvements many homeowners naturally wish to make to enjoy their outdoor space.

I want to emphasize that I do not know the Lynskey's personally and have never met them; my support is not due to personal connection but simply because I believe homeowners should not need city approval for something as harmless as a backyard pergola

Respectfully, I believe this type of regulation is overly restrictive and unnecessary in cases like this. Homeowners should be free to add simple, unobtrusive features such as pergolas, especially when they do not affect surrounding properties.

I hope the department will take this into consideration and approve the Lynskey's request.

Thank you for your time and service to our community.

Sincerely,

Ellen Smith



CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Case No. Z2025-058: SUP for an Accessory Structure that Exceeds the Maximum Size

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: *Leslyn Hermonstine and Eddyee Lovely*

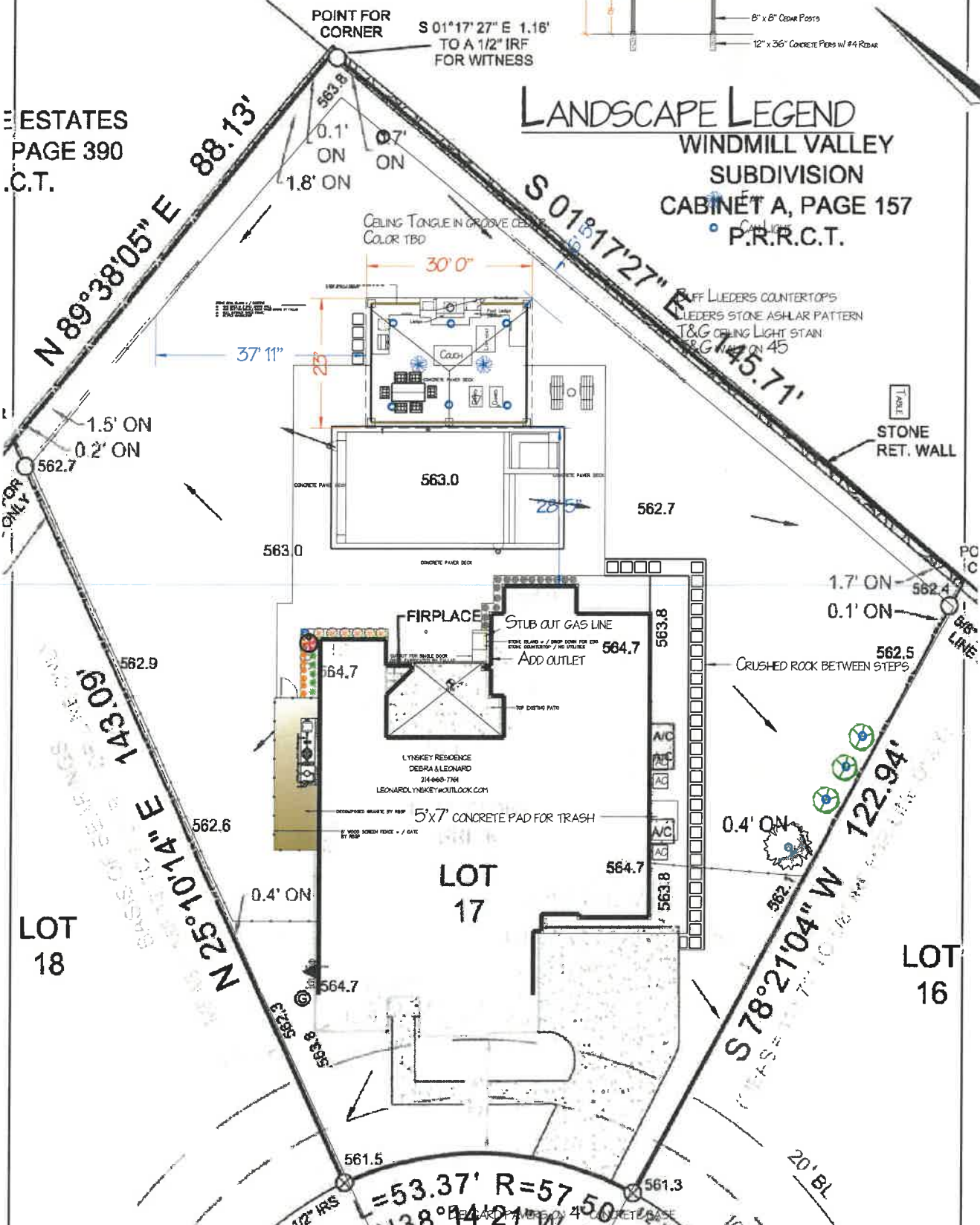
Address: [Redacted]

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

17, in Block F
 SADDLE STAR ESTATES SOUTH, PHASE TWO

ROCKWALL, ROCKWALL COUNTY, Texas, according to the MAP OR PLAT THEREOF
 BY CLERK'S FILE NO. 2023000003031 of the OFFICIAL PUBLIC Records of ROCKWALL Cou



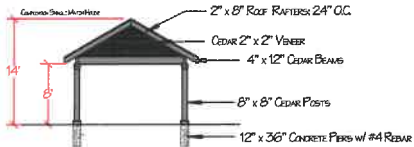
ESTATES
 PAGE 390
 C.T.

LOT 18

LOT 16

LOT 17

Map	Scale: 1/8"	Customer: LYNKEY, LEONARD & DEBRAH	<p>FALLAS LANDSCAPE LLC WWW.FALLASLANDSCAPE.COM PHONE: 972.517.LAWN FAX: 972.941.6600 EMAIL: mke@fallaslandscape.com</p>
Drawn By: M.F.	Address: 2310 SARAH DR	Project: ROCKWALL, TX 75087	
Dwg #: 2310 SARAH DR	Survey Lot Desc: ROCKWALL, TX 75087		
Printed: 8/12/23			



LANDSCAPE LEGEND

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 79 (PD-79) [ORDINANCE NO. 20-35] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY STRUCTURE ON A 0.445-ACRE PARCEL OF LAND IDENTIFIED AS LOT 17, BLOCK F, OF THE SADDLE STAR ESTATES SOUTH, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Leonard and Debra Lynskey for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.445-acre parcel of land identified as Lot 17, Block F, of the Saddle Star Estates South, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 2310 Sarah Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 79 (PD-79) [*Ordinance No. 20-35*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 79 (PD-79) [*Ordinance No. 20-35*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 79 (PD-79) [Ordinance No. 20-35] and Subsection 03.01, *General Residential Standards*; Section 03.08, *Single-Family 8.4 (SF-8.4) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Structure* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Accessory Structure* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The *Accessory Structure* shall generally conform to the Building Elevations as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The *Accessory Structure* shall not exceed a maximum size of 690 SF; and,
- (4) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (5) No other *Accessory Structures* shall be permitted on the subject property.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and

applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'
Legal Description

Address: 2310 Sarah Drive

Legal Description: Lot 17, Block F, of the Saddle Star Estates South, Phase 2 Addition



Exhibit 'B'
Site Plan

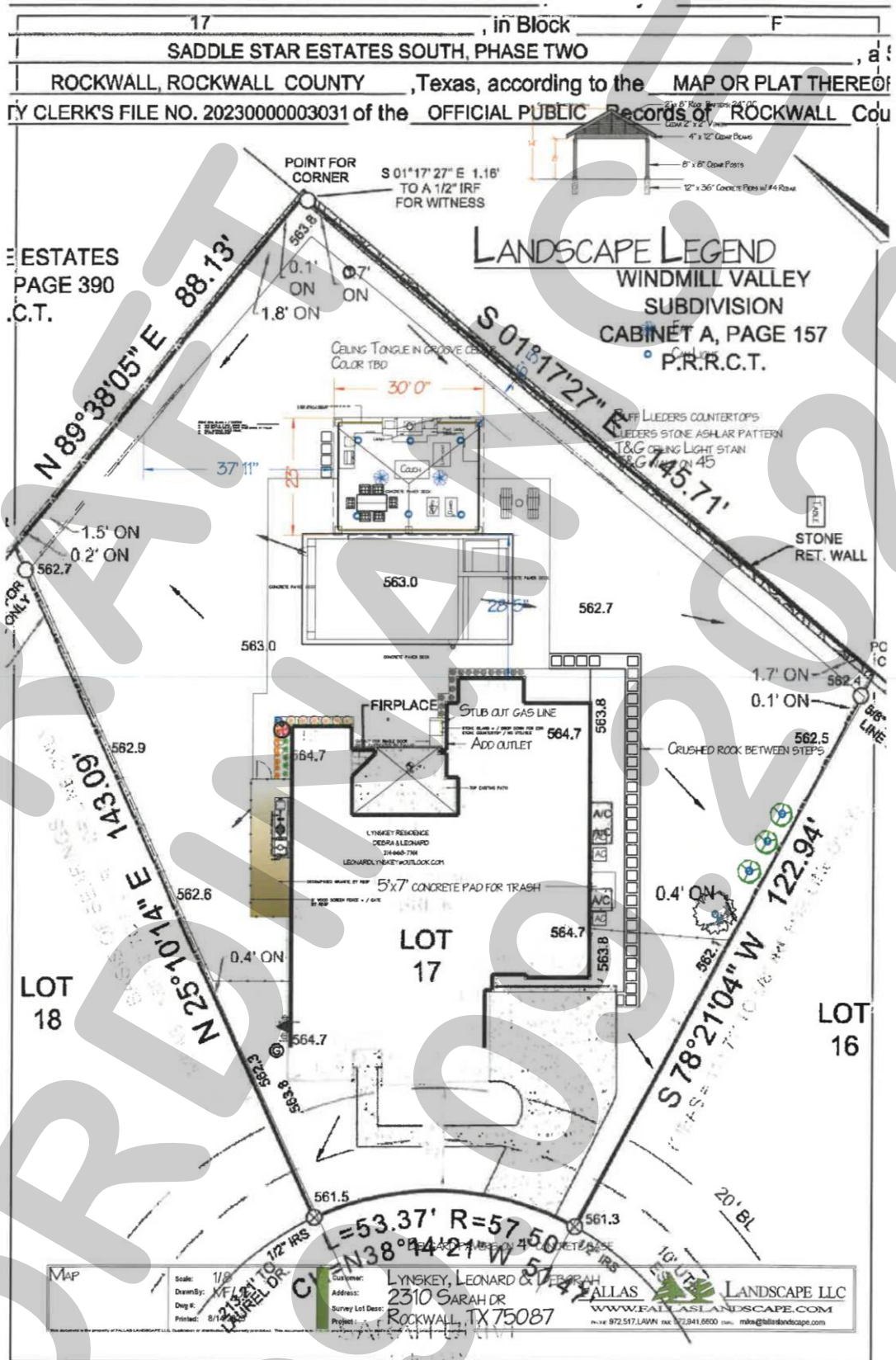
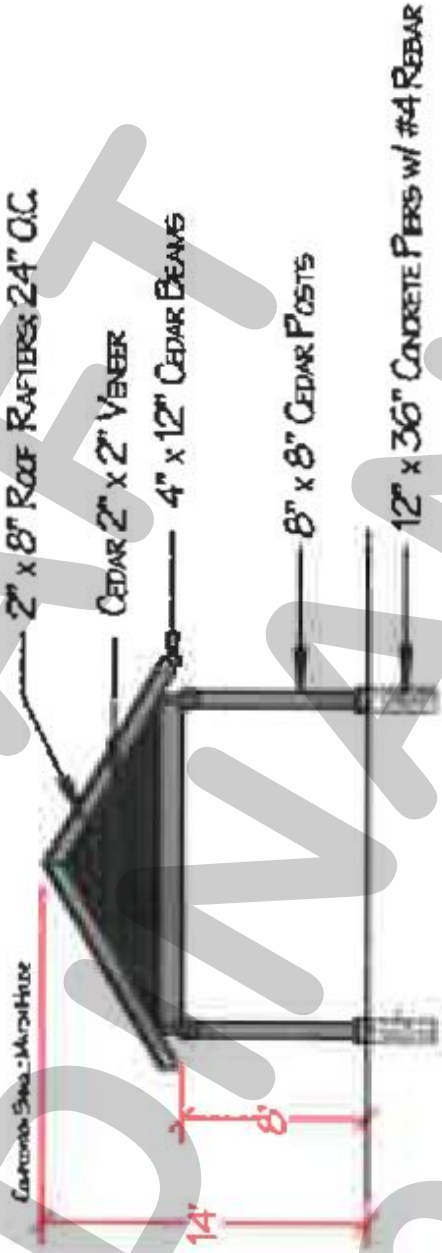


Exhibit 'C':
Building Elevations



LANDSCAPE LEGEND



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: William Andrew Solomon; KRE 15, LLC
CASE NUMBER: Z2025-059; *Zoning Change (AG to PD)*

SUMMARY

Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.285-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.

BACKGROUND

The subject property was annexed on December 22, 2008 by *Ordinance No. 08-65 [Case No. A2008-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. There have been no changes to the zoning designation, and the subject property has remained vacant since annexation.

PURPOSE

On August 15, 2025, the applicant -- *William Andrew Solomon of KRE 15, LLC* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 54-lot single-family, residential subdivision that will consist of two (2) lot sizes (*i.e. [A] 44, 100' x 200' lots; and [B] 10, 150' x 250' lots*).

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the south side of SH-276, west of the intersection of SH-276 and E. FM-550. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the corporate limits for the City of Rockwall. Beyond this is SH-276, which is identified as a P6D (*i.e. primary arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are properties located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

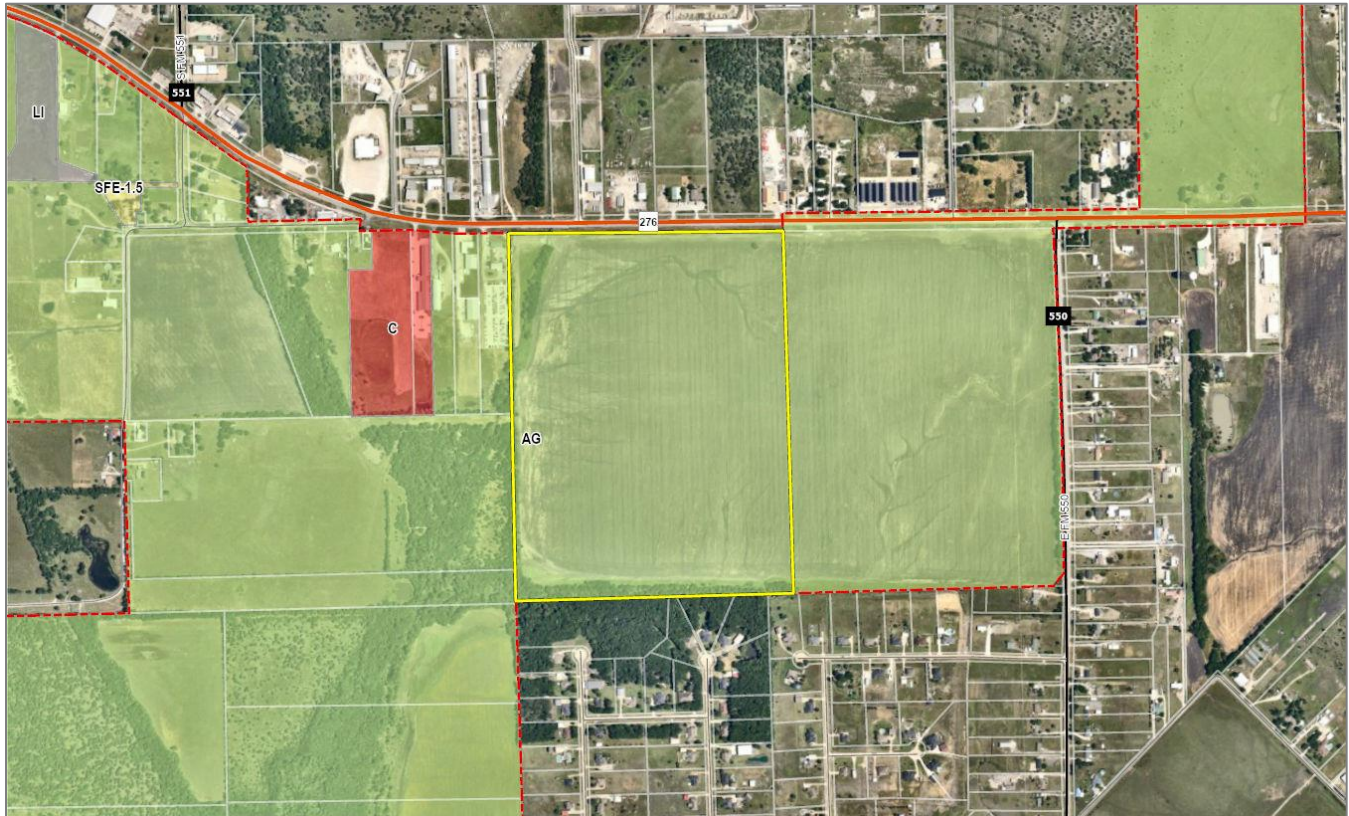
South: Directly south of the subject property are the corporate limits for the City of Rockwall. Beyond this are properties located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

East: Directly east of the subject property is a vacant 105.925-acre tract of land (*i.e. Tract 10-1 of the J. R. Marrs Survey, Abstract No. 152*) zoned Agricultural (AG) District. Beyond this are the corporate limits for the City of Rockwall.

West: Directly west of the subject property are four (4) tracts of land (*i.e. Tract 1-5, 1-6, 1-7, & 1-9 of the J. H. Bailey Survey, Abstract No. 22*) that face onto SH-276, which are developed with non-residential land uses zoned Agricultural (AG) District. Beyond this is a 3.8725-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Friendship Baptist Church*) developed with a *Church/House of Worship*, zoned Commercial (C) District. Following this is a vacant 11.8161-acre tract of land (*i.e. Tract 1-1 of the J. H. Bailey Survey, Abstract No. 22*) zoned Commercial (C)

District. To the west and south of these properties are several tracts of land that are either vacant or have a single-family home constructed on them. Beyond this is Zollner Road, which is identified as a M4U (*i.e. major arterial, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 105.285-acre subject property will be divided into 84.228-acres of land consisting of 54 residential lots, and 21.057-acres of open space. The proposed 54 single-family residential lots will consist of two (2) lot types: [1] 44 *Type 'A'* lots that are a minimum of 100' x 200' with a minimum square footage of 43,560 SF, and [2] ten (10) *Type 'B'* lots that are a minimum of 150' x 250' with a minimum square footage of 63,340 SF. This translates to a gross residential density of 0.513 dwelling units per gross acre for the total development (*i.e. 0.60 dwelling units on the net acre -- 105.85-acres – 15.89-acres of floodplain = 89.385-acres; 54 lots/89.385-acres = 0.60406 dwelling units per net acre*). The minimum dwelling unit size (*i.e. air-condition space only*) will range from 2,500 SF to 3,000 SF. With regard to the proposed housing product, staff has incorporated the anti-monotony standards from the Unified Development Code (UDC) and masonry requirements similar to other Planned Development Districts into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 100.00% masonry; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80.00% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a more *Traditional Neighborhood Design* product (*also referred to as Gingerbread or Modern Farmhouse -- similar to what is allowed in the Somerset Park Subdivision*). The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 1 (SF-1) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	100' x 200'	43,560 SF	44	81.48%
B	150' x 250'	63,340 SF	10	18.52%
			54	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

LOT TYPE (SEE CONCEPT PLAN) ►	A	B
MINIMUM LOT WIDTH ⁽¹⁾	100'	150'
MINIMUM LOT DEPTH	200'	250'
MINIMUM LOT AREA (SF)	43,560	63,340
MINIMUM FRONT YARD SETBACK ^{(2), (5)}	30'	30'
MINIMUM SIDE YARD SETBACK	10'	15'
MINIMUM SIDE YARD SETBACK (ADJACENT TO A STREET) ^{(2), (5) & (6)}	15'	20'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT	20'	20'
MAXIMUM HEIGHT ⁽³⁾	36'	36'
MINIMUM REAR YARD SETBACK ⁽⁴⁾	10'	10'
MINIMUM AREA/DWELLING UNIT (SF) ⁽⁷⁾	2,500	3,000
MAXIMUM LOT COVERAGE	40%	40%
MINIMUM GARAGE PARKING SPACES	2	3

GENERAL NOTES:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *front yard* and *rear yard building setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *front yard building setback* as measured from the front property line.
- 3: The *maximum height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *rear yard building setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *front yard building setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *side yard setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: All *corner lots* that back to a lot that fronts onto the same street that the *corner lot* sides to (*i.e. a keystone lot*), shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.
- 7: *Air-conditioned space*.

The proposed concept plan shows that the development will consist of 21.057-acres of private open space -- where 15.89-acres are floodplain -- representing 20.00% (*i.e. [15.89-acres of floodplain/2] + 13.36 = 21.057-acres/105.285-acres gross = 20.00%*) of the site being dedicated to open space/amenity. This meets the total open space of 20.00% required by Article 10, *Planned Development District Standards*, of the Unified Development Code (UDC). In addition, the proposed development will incorporate a minimum of a 70-foot landscape buffer with an eight (8) foot meandering trail along SH-276. The concept plan also depicts the provision of an eight (8) foot trail system that will be provided throughout the development to connect the future residential lots with the private open spaces. All of these items have been included into the proposed Planned Development District ordinance and will be requirements of the proposed subdivision.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) **Roadways.** All residential streets are required to be constructed to an R2 (*i.e. residential, two [2] lane, undivided roadway*) standard, which is a 29-foot *back-to-back* concrete street center within a 50-foot right-of-way with a minimum five (5) foot concrete sidewalk on either side of the street, unless otherwise required by the Planned Development District Ordinance. All residential streets are required to be curb and gutter. With regard to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant will be required to construct the following:

- (a) Unnamed Roadway Extending along the Southern Property Line. This unnamed roadway is identified as a *Minor Collector*, which is a 41-foot *back-to-back* concrete street center within a 60-foot right-of-way with a minimum of a five (5) foot concrete sidewalk constructed on either side of the roadway, unless otherwise required by the Planned Development District Ordinance.

All of these streets are required to be curb and gutter, and any medians are required to be curbed with the streets draining away from the medians. In addition to these roadways, the applicant will be required to perform a Traffic Impact Analysis (TIA) that is prepared in accordance with the requirements of the Engineering Department's *Design and Construction Manual*.

- (2) Wastewater. The applicant is requesting to utilize *On-Site Sewer Facilities* (OSSF) for this development. If the applicant is not approved for this request, the applicant need to provide sewer facilities in accordance with the City's Master Wastewater Collection Plan.
- (3) Water. At a minimum, the applicant will be required to loop an eight (8) inch water line on-site to the property lines, install a minimum 12-inch water line, and dedicate any necessary easements in accordance with the City's Master Water Distribution Plan. The City will also need a letter from *Blackland Water Supply Corporation* (WSC) stating that Blackland WSC can provide the City's required fire flows and pressures.
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the Engineering Standards of Design and Construction, and be situated *outside* the floodplain. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for any existing ponds and waterways on the subject property. Any changes to the existing floodplain will require approval from the City and FEMA. All residential lots shall be exclusive of the erosion hazard setback and the floodplain.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]

Applicant's Response: In lieu of providing the required alleyways, the applicant is proposing to provide 100.00% *J-Swing* or *Traditional Swing* garages. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations in the form of decorative wood doors or wood overlays on insulated metal doors with carriage style hardware.

With regard to the applicant's request for *On-Site Sewage Facilities* (OSSF), the City Rockwall has an Interlocal Agreement with Rockwall County for OSSF inspections. Per this agreement, Rockwall County will issue permits and perform OSSF inspections on new and existing septic systems per the County's *Rules for Regulation of On-Site Sewage Facilities*, which stipulates a minimum lot size of 1½-acres. According to Subsection 44-243(d) of Article IV, *Sewers and Sewage Disposal*, of the Municipal Code of Ordinances, "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property of less than 1½-acre, unless an exception is granted by the City Council on the grounds that undue hardship will be created if said lot is not connected to an OSSF." Staff should note that Rockwall County has stated that they will *not* inspect OSSF's that are on lots less than 1½-acres. It should also be noted that the City Council has granted OSSF systems for developments (e.g. *Planned Development District 76 [PD-76]*, *Planned Development District 78 [PD-78]*, and *Planned Development District 104 [PD-104]*) proposing lots less than 1½-acre in size, but greater than one (1) acre when the developer proposes [1] the OSSF systems are designed by a licensed OSSF professional (i.e. *licensed engineer, sanitarian, etc.*), [2] a stamped and signed copy of the OSSF plan indicating the full limits of the septic field be submitted to the City at the time of

building permit on a *lot-by-lot* basis, and [3] all OSSF are inspected by a City approved inspector. In this case, the applicant is requesting to install OSSF's on lots 1.00-acre and greater (*with the majority of the lots being less than 1½-acre in size*), and has included language generally in compliance with the aforementioned stipulations. In addition, the applicant has included language that will [1] ensure all *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (e.g. *licensed engineer, sanitarian, etcetera*), [2] ensure that a stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis, and [3] all *Septic Systems* shall be inspected and approved by the City's chosen inspector. The applicant has stated the reason for the OSSF request is due to the availability of sewer.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South Central Estates District and is designated for Commercial/Retail and Medium Density Residential land uses. The plan defines Medium Density Residential land uses as residential subdivisions that are "... greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses." In addition, the Comprehensive Plan defines increased amenity as, "... developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreation facilities, (3) amenity/recreation facilities, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council." In addition, according to Subsection 01.04, *Calculation of Density*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he calculation of allowable density for residential developments shall be based on the gross site area including right-of-way, floodplain, open space and public/private parks that will be dedicated to the City or preserved and maintained by some other mechanism." In this case the applicant is proposing a total gross density of 0.513 dwelling units per acre [*i.e.* 54/105.285 = 0.51289 or 0.513]. Based on this, the applicant's request is in conformance with the required density for the Medium Density Residential land use; however, the applicant's request is *not* in conformance with the Commercial/Retail land use designation. Given that the density is less than two (2) units per gross acre, the proposed residential subdivision would be better classified as Low Density Residential. Based on this the applicant is requesting to change the land use designation of the subject property from Medium Density Residential and Commercial/Retail to Low Density Residential. This proposed change would constitute a change in the Future Land Use Plan, which is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

TABLE 3: DENSITY CALCULATIONS FOR NET AND GROSS

<u>ACREAGE CALCULATIONS</u>	
<u>DEVELOPABLE RESIDENTIAL ACREAGE</u>	89.395
<u>RESIDENTIAL FLOODPLAIN ACREAGE</u>	15.89
<u>GROSS ACREAGE</u>	105.285
<u>TOTAL RESIDENTIAL LOTS</u>	54
<u>DENSITY CALCULATIONS</u>	
<u>GROSS DENSITY</u>	0.513
<u>NET DENSITY (1)</u>	0.604

NOTES:

1: RESIDENTIAL DENSITY LESS FLOODPLAIN IN THE RESIDENTIALLY ZONED AREA

Looking at the pertinent *District Strategies* for the South Central Estate District and how the proposed concept plan conforms to these strategies, staff identified the following:

- (1) Suburban Residential. This *District* has several large tracts of land that can support highly amenitized master planned communities. Any new Suburban Residential developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.

Staff Response: The submitted *Concept Plan* does not provide any amenities for the subdivision, with the exception of the eight (8) trail network and the open space; however, these items are required by Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC). In addition, the proposed lot mix does not provide a variety of larger to mid-sized lots. That being said -- *given that the proposed subdivision will have OSSF* -- this limits the ability to provide mid-sized lots. In addition, at their work session on August 26, 2025, the Planning and Zoning Commission requested that the applicant remove the enclosed amenity center and pool proposed by the applicant with the original

request. Based on this direction from the Planning and Zoning Commission, staff has determined that the proposed *Concept Plan* can be considered to be conforming with this *District Strategy*.

- (2) *Commercial Land Uses*. Due to the anticipated alignment of the Outer Loop (*i.e. current alignment of FM-548*), the *Commercial/Retail* centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses.

Staff Response: The proposed *Concept Plan* does *not* incorporate any *Commercial/Retail* zoning, and based on this is *not* considered to be conforming with this *District Strategy*.

With regard to the policies and goals for residential and commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of the residential policies and goals (*e.g. minimum of six [6] foot side yard setbacks on all lot types, traditional swing or J-swing garages, etc.*); however, by virtue of not incorporating *Commercial/Retail* in the *Concept Plan*, the applicant's request does not meet any of the policies and goals set forth by the Comprehensive Plan for non-residential development. That being said, staff has identified the following residential non-conformities of the original concept plan and provided the following recommendations to the applicant:

- (1) *CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2)*. Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

Staff's Response: The residential subdivisions adjacent to the subject property are not located within the City of Rockwall; however, the proposed subdivision appears to be similar in design to the adjacent subdivisions.

- (2) *CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2)*. Existing development patterns and surrounding conditions (*e.g. lot size, architectural style, public improvements, etc.*) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff's Response: The residential subdivisions adjacent to the subject property are not located within the City of Rockwall; however, the proposed subdivision appears to be similar in design to the adjacent subdivisions. In addition, the proposed concept plan appears to be generally compatible to other new large lot (*i.e. one [1] acre and greater*) subdivisions within the City of Rockwall.

- (3) *CH. 8; Section 2.02; Goal #1 | Policy #1 (Page 8-2)*. All new developments should include a range of high quality, well-constructed, and appropriately planned residential unit types.

Staff's Response: Based on the proposed *Concept Plan*, there is one (1) acre to 1½-acre lot product being proposed. The Planning and Zoning Commission and City Council will determine whether this represents an acceptable range of unit types.

- (4) *CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3)*. To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff's Response: Homes adjacent to open spaces should face onto the open space -- *instead of being oriented so that the side or rear yard faces the open space* --, and be accessible by a single-loaded street. Currently, the proposed *Concept Plan* has two (2) lots facing onto open space and six (6) lots with the side yard facing the open space. Based on this, the proposed *Concept Plan* could do a better job of facing homes onto open spaces as opposed to siding the homes towards these open spaces.

Taking into account the applicant's concept plan and other submitted exhibits, the proposed density, and the development standards, the request *does* appear to be in conformance with the majority of the goals and policies of the OURHometown Vision 2040 Comprehensive Plan and the development standards of the Unified Development Code (UDC); however, the

changes to the Future Land Use Map and the nature of this Planned Development District makes this request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 22, 2025, staff mailed nine (9) notices to property owners and occupants within 500-feet of the subject property. Staff did not notify any Homeowner's Associations (HOAs), as there are not any HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices in regard to the applicants request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) By approving this Zoning Change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from Medium Density Residential and Commercial/Retail to a Low Density Residential designation.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Highway 276 Royse City Texas 75189

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture

CURRENT USE Agriculture

PROPOSED ZONING SF-1

PROPOSED USE Single family home

ACREAGE 105.285

LOTS [CURRENT]

1

LOTS [PROPOSED]

58

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

KRE 15 LLC

CONTACT PERSON _____

CONTACT PERSON

William Solomon

ADDRESS _____

ADDRESS

CITY, STATE & ZIP _____

CITY, STATE & ZIP

PHONE _____

PHONE

E-MAIL _____

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Solomon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF August, 2025

OWNER'S SIGNATURE

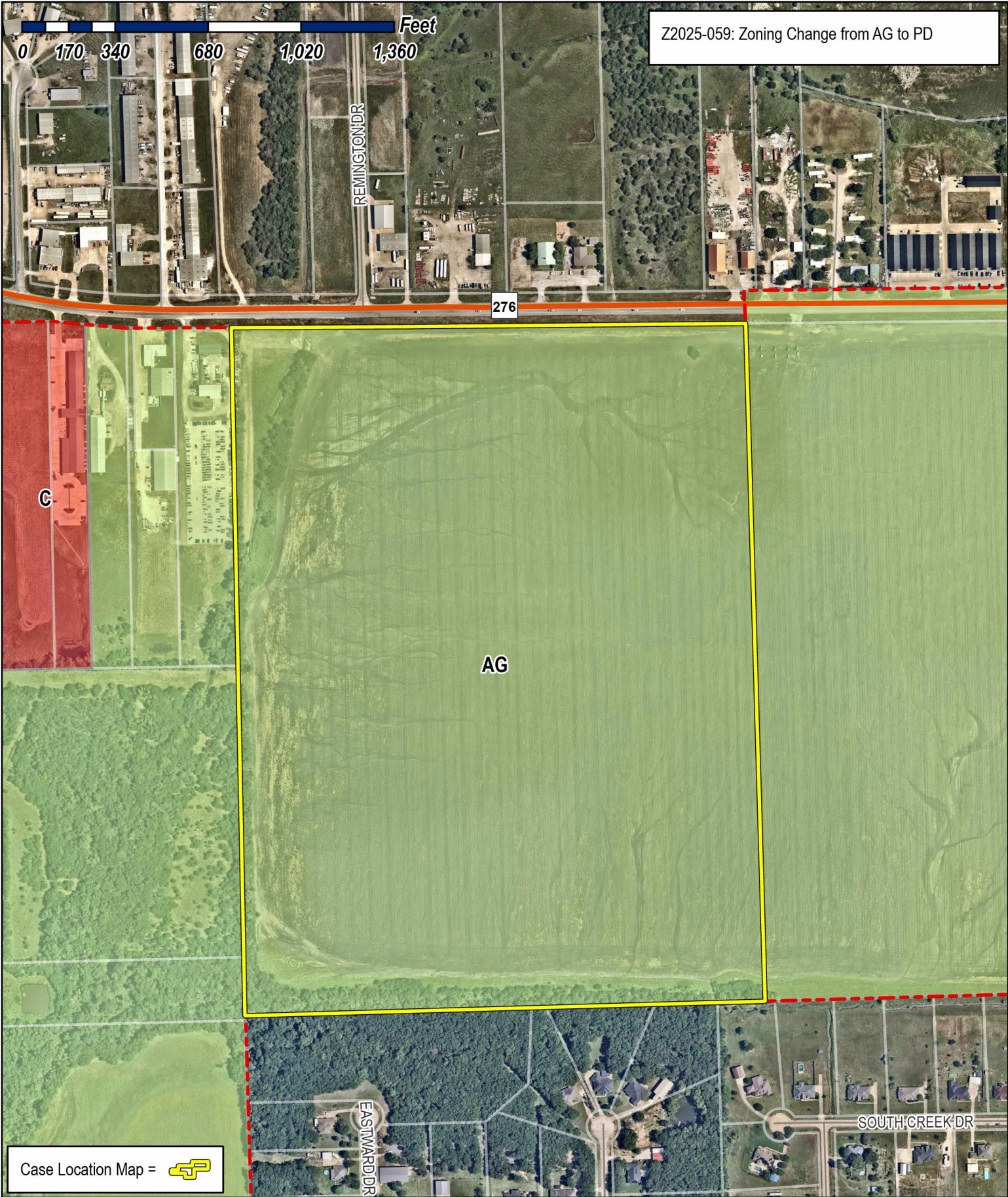
William Solomon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kathie Ann Holmes



MY COMMISSION EXPIRES 08/13/28



Z2025-059: Zoning Change from AG to PD

276

AG

C

REMINGTON DR

EASTWARD DR

SOUTH CREEK DR

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

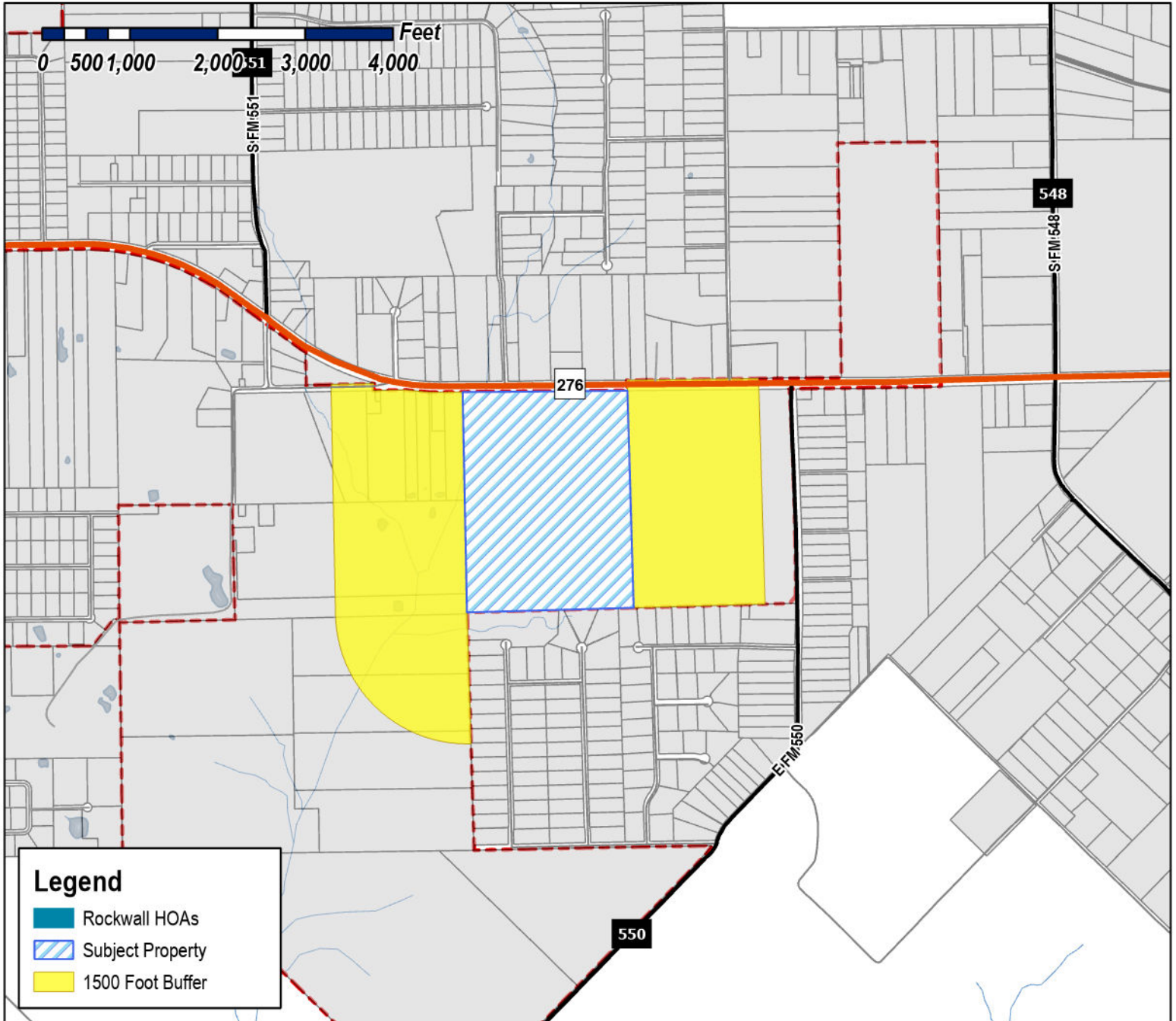




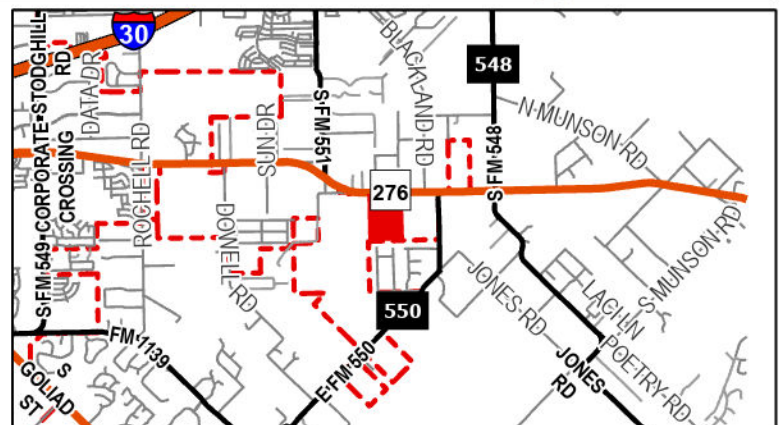
City of Rockwall

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Case Number: Z2025-059
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: State Highway 276



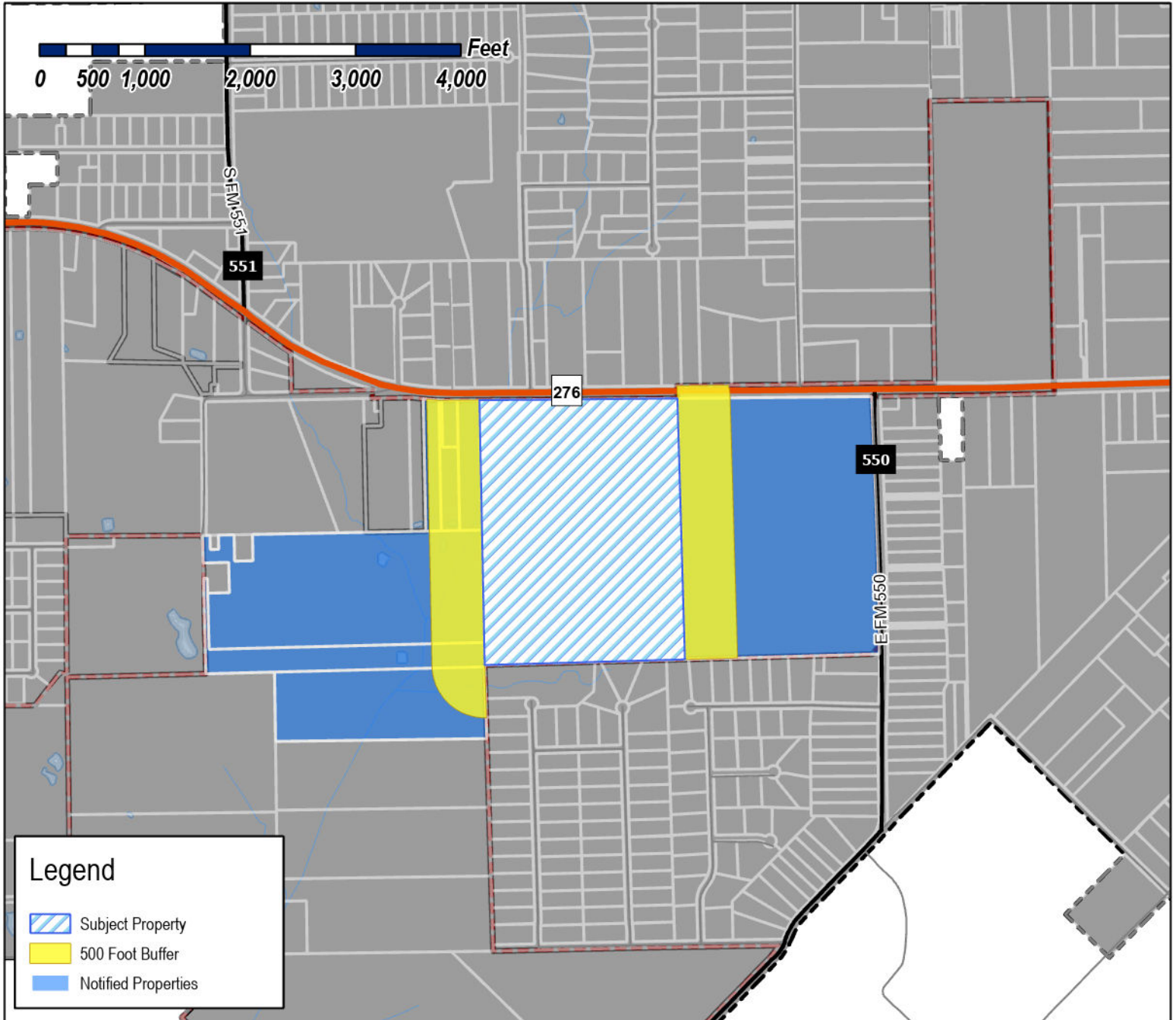
Date Saved: 8/15/2025
 For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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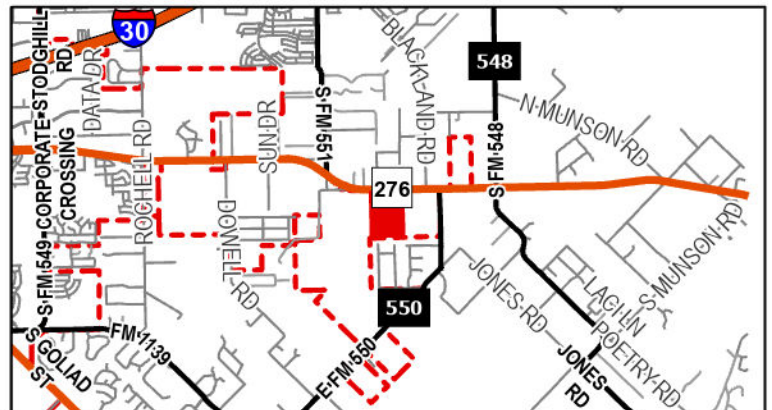


Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-059
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: State Highway 276

Date Saved: 8/15/2025
 For Questions on this Case Call: (972) 771-7745



LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

LA-DF INVESTMENT FUND 9 LLC
212 S Palm Ave Ste 200
Alhambra, CA 91801

GLOVER KERRY C AND JOANN
3901 OAK POINT DR
CROSSROADS, TX 76227

KRE 15 LLC
4512 LEGACY DR STE 100
PLANO, TX 75024

VICENTE AUSENCIO AND MARISOL AND
509 RIGGS CIRCLE
MESQUITE, TX 75149

MULLEN ADVENTURES LLC
5677 STATE HIGHWAY 276
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

SIGN OF QUALITY LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

KENNEDY RICKEY EDMOND
9912 COUNTY ROAD 2426
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-059: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-059: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

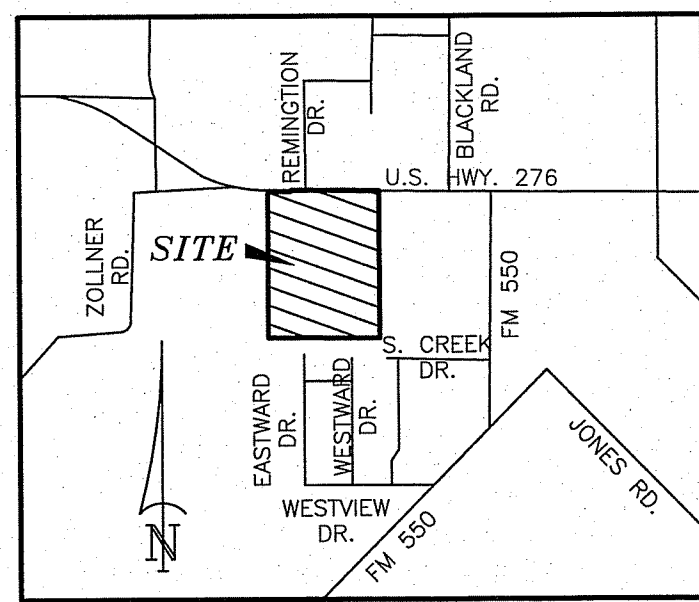
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

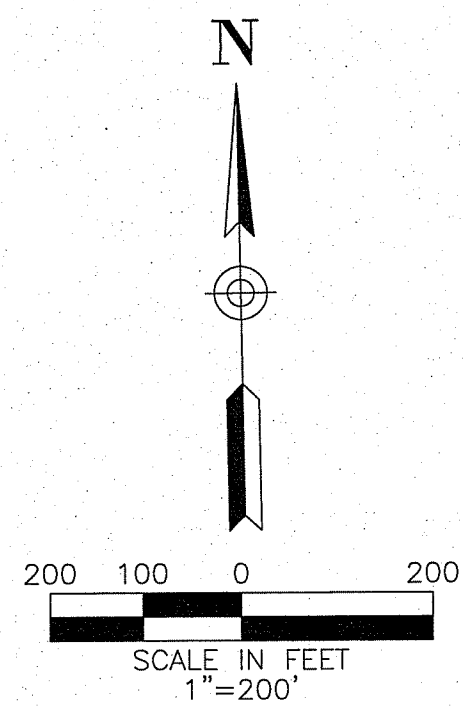
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

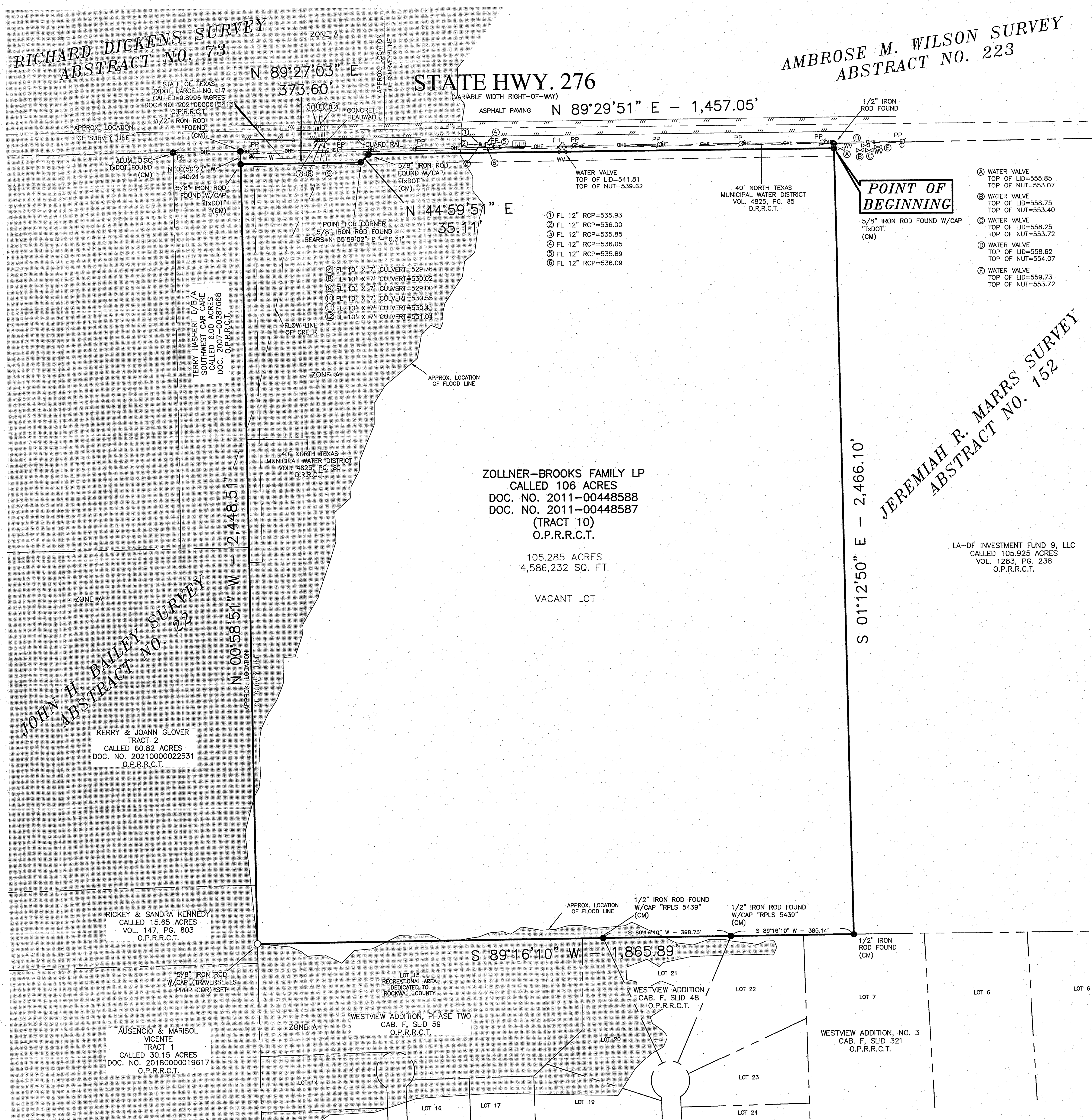
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP
NOT TO SCALE



The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone as derived from GPS observations using the Allterra RTK Network and adjusted to surface using a surface scale factor of 1.000146135



TITLE NOTES

This survey relies solely on the Commitment for Title Insurance prepared by Chicago Title Insurance Company, Commitment No. 8058642200083 and GF No. CTRR64-8058642200083-RR, with an effective date of June 15, 2022 and issued on July 6, 2022. The surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land.

10. The following matters and all terms of the documents creating or offering evidence of the matters:

f. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Seaway Pipeline Inc.
Purpose: As provided in said document
Recording Date: January 21, 1985
Recording No: Volume 217, Page 269 Deed Records, Rockwall County, Texas
(does not affect the subject tract)

g. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Phillips Texas Border Pipeline Company f/k/a/ Phillips Natural Gas Company
Purpose: As provided in said document
Recording Date: February 1, 1994
Recording No: Volume 869, Page 1, Deed Records, Rockwall County, Texas
(does not affect the subject tract)

h. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: North Texas Municipal Water District
Purpose: As provided in said document
Recording Date: November 14, 2006
Recording No: Volume 4825, Page 85, Deed Records, Rockwall County, Texas
(affects subject tract as shown on survey)

LAND DESCRIPTION

Being a 105.285 acre tract of land situated in the Jeremiah R. Marrs Survey, Abstract No. 152, City of Roysse City, Rockwall County, Texas, being all of a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment tract, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Roysse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C.T.

THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20-22, of Westview Addition, an addition to the City of Roysse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Roysse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "Traverse LS Prop Cor" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 2021000022531, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert d/b/a Southwest Car Care, by Warranty Deed With Vendor's Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM) found for corner;

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

- 1) North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8 inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31';
- 2) North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM);
- 3) North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

SURVEYOR'S CERTIFICATION

To: Dreamland Realty, Zollner-Brooks Family, LP, a Texas limited partnership and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1-4, 8, 11(a), 13, 14 in conjunction with the laws of the State of Texas.
The fieldwork was completed on September 7, 2022.

Date of Plat or Map: September 14, 2022

Chase Crawford
Chase Crawford
Registered Professional Land Surveyor
Texas Registration No. 6913
Date: September 14, 2022



LEGEND	
—	BOUNDARY LINE
- - - - -	ADJOINER BOUNDARY LINE
- · - · -	EASEMENT LINE (AS NOTED)
— W —	WATER LINE
— OHE —	OVERHEAD ELECTRIC LINE
— I —	WROUGHT IRON FENCE
— W —	WOOD FENCE
○	SET IRON ROD (AS NOTED)
●	FOUND IRON ROD (AS NOTED)
⊗	"X" CUT FOUND
⊗	"X" CUT SET
⊗ W	WATER VALVE
⊗ FH	FIRE HYDRANT
⊗ TB	TELEPHONE JUNCTION BOX
⊗ LP	LIGHT POLE
⊗ P	POWER POLE
⊗	GUY WIRE
(CM)	CONTROL MONUMENT
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

FLOOD NOTES

A portion of the subject property shown hereon lies within Zone "A", No Base Flood Elevations determined, the rest lies within Zone "X", (areas determined to be outside of the 0.2% annual chance floodplain), according to the Flood Insurance Rate Map, Community Panel No. 48397C006SL, dated September 26, 2008.

GENERAL NOTES

1. This survey was prepared in conjunction with the Title Commitment listed above and the Surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land that were not disclosed in said Title Commitment.
2. A request for water, sewer and drainage plans were requested from the City of Roysse City but no plans were received.

ALTA/NSPS LAND TITLE SURVEY
105.285 ACRE TRACT OF LAND
SITUATED IN THE
JEREMIAH R. MARRS SURVEY, ABSTRACT NO. 152
CITY OF ROYSSE CITY, ROCKWALL COUNTY, TEXAS



14200 Midway Road, Suite 130, Dallas, TX 75244 T: 469.784.9321
W: TraverseLandSurveying.com Texas Firm No. 10194631

Surveying | Construction Staking | Platting

NO.	DATE	DESCRIPTION	BY

DRAWN	CHECK	DATE	SCALE	PROJECT NO.
DV	CRC	9-14-2022	1" = 200'	TR-99-22



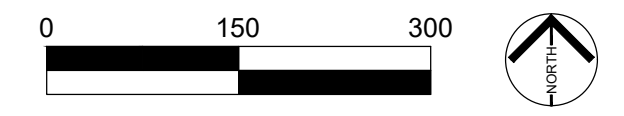
NOTE:
 THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE KEPT BY THE CONTRACTORS DURING THE RESPECTIVE WORK.
 COPYRIGHT 2024
 THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

GREEN AREA AND SIDEWALK	AREA (SQFT)
1- 10' SIDEWALK AND LANDSCAPE AND HOA TRAIL	95010
2- HALF OF THE FLOOD PLAIN AND GREEN AREA	346085
3- GREEN AREA AND LANDSCAPE BUFFER	441825
4- DETENTION POND	45130
TOTAL	928,050

20% OF THE TOTAL LAND AREA (928,050 SQFT/ 21.3 ACRES) IS DEDICATED AS OPEN SPACE.

LEGEND:

	SIDE WALK AND TRAIL
	30' STREET
	60' MINOR COLLECTOR ROADWAY
	OPEN SPACE AREA (PARK) - 20 AC.
	DETENTION POND
	TYPE "A" - MIN 1.0 AC. - 44 LOTS
	TYPE "B" - MIN 1.5 AC. - 10 LOTS



OPTIMA
 DESIGN & ENGINEERING PLLC
 2808 WILDCREEK CT, KELLER TEXAS
 TEL. (817) 466-6503
 TEXAS FIRM REGISTRATION NO. F-23565
 EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

REVISION NO.	REVISION	REV. DATE
1	EDITED PLAN BASED ON THE CITY COMMENTS	08.05.2025
2	INCREASE THE GREEN AREA TO 20%	08.12.2025
3	CHANGED THE DESIGN BASED ON COMMENTS	09.02.2025

PLAN DEVELOPMENT

PROJECT:
ROCKWALL PROPERTY
 105 ACRES
 NO. 152, CITY OF ROYSE CITY, ROCKWALL COUNTY, TEXAS

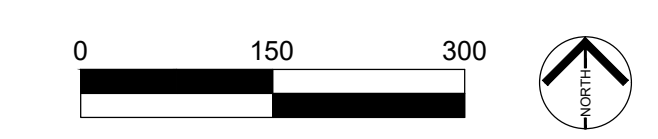
SHEET TITLE
CONCEPT PLAN

DRAWN BY HASTI	ISSUE	ISSUE DATE 07.31.2025
PROJECT DATE JULY 2025	PROJECT NO. 001	REV. NO. 3
SCALE: 1" = 150'	SHEET NO. 1	

NOTE:
 THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE REPORTED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.
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- LEGEND:**
- 10' HOA LOT (8' TRAIL)
 - IRON FENCE
 - ACCESS ROADS
 - 60' MINOR COLLECTOR ROADWAY
 - ENTRY SIGN
 - DETENTION POND



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REVISION NO.	REVISION	REV. DATE
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3	CHANGED THE DESIGN BASED ON COMMENTS	09.02.2025

PLAN DEVELOPMENT

PROJECT:
ROCKWALL PROPERTY
105 ACRES
 NO. 152, CITY OF ROYSE CITY, ROCKWALL COUNTY, TEXAS

SHEET TITLE		
HOA TRAIL PLAN		
DRAWN BY HASTI	ISSUE	ISSUE DATE 07.31.2025
PROJECT DATE JULY 2025	PROJECT NO. 001	REV. NO. 2
SCALE: 1" = 150'	SHEET NO.	1

FIGURE 7. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS



FIGURE 8: SIGNAGE EXAMPLES



Requested Development Standards

Density and Development Standards.

- (1) ***Permitted Uses.*** Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) ***Density and Dimensional Requirements.*** Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 0.628 dwelling units per gross acre of land; however, in no case should the proposed development exceed 58 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

<i>Lot Type (see Concept Plan) ►</i>	A
<i>Minimum Lot Width</i> ⁽¹⁾	70'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	43,560 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	25'
<i>Minimum Side Yard Setback</i>	10'
<i>Minimum Side Yard Setback Adjacent to a Street</i> ^{(2), (5), & (6)}	20'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'
<i>Minimum Area/Dwelling Unit (SF)</i> ⁽⁷⁾	2500 SF
<i>Maximum Lot Coverage</i>	40%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.
- ⁷: Air-Conditioned Space.

- (3) ***Building Standards.*** All development shall adhere to the following building standards:

- (a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50.00% of the masonry requirement; however,

Requested Development Standards

administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

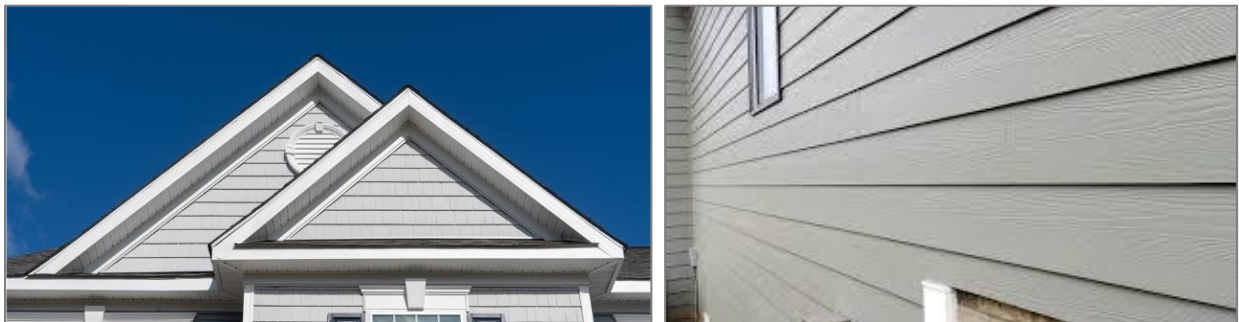
FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:

Requested Development Standards

- (1) All lots as depicted in *Exhibit 'B'* may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
- (2) All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, [3] include two (2) of the upgraded or enhanced finishes from *Figure 3 & 4* below, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. [see *Figures 1 – 3* for examples of the aforementioned garage and driveway features].

FIGURE 2. EXAMPLE OF COACH LIGHTING



FIGURE 3: EXAMPLES OF UPGRADED OR ENHANCED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

Requested Development Standards

FIGURE 4: EXAMPLES OF UPGRADED GARAGES



- (4) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 5 & 6 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	70' x 100'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or roadways shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

Requested Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 5: PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 6: PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



- (5) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, adhere to the *Concept Plan* depicted in *Exhibit 'B'*, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wrought Iron/Tubular Steel.** All lots shall be required to install a wrought iron or tubular steel fence as depicted in the *Concept Plan* in *Exhibit 'B'* of this ordinance. Wrought iron/tubular steel fences shall be six (6) feet in height. In addition, lots located along the perimeter of roadways (*i.e. SH-276 or a roadway larger than a Residential Street*) shall

Requested Development Standards

provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line.

- (c) Corner Lots. Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line. A six (6) foot wrought iron fence shall be required between the masonry columns along the side and/or rear lot adjacent to a street. The property owner shall be required to maintain both sides of the fence.
- (d) Fence in Easements. No fencing shall be constructed in or across a franchise utility or the City of Rockwall's easements.

(6) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size, all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height, and all shrubs shall be a minimum of five (5) gallons.
 - (1) Landscape Buffer Adjacent to SH-276. A minimum of an 80-foot landscape buffer shall be provided along SH-276 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to SH-276 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.
 - (2) Landscape Buffer Adjacent to Minor Collectors. A minimum of a 30-foot landscape buffer shall be provided along SH-276 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. An eight (8) foot trail shall be constructed within the 30-foot landscape buffer. All residential lots backing to a *Minor Collector* shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.
 - (3) Landscape Buffer Adjacent to Amenity Center. A minimum of a ten (10) foot landscape buffer shall be provided along the roadway adjacent to the amenity center. This landscape buffer shall incorporate ground cover and shrubbery along the entire length of the adjacent street frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet.
- (b) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches in size, and ten (10) feet from public water, sanitary sewer, and storm lines that are ten (10) inches and greater. In addition, no street

Requested Development Standards

trees shall be allowed to be located within public right-of-way. All street trees shall be reviewed with the *PD Site Plan*.

- (c) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'B'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (7) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (8) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (9) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width; however, trails adjacent to residential lots -- *as depicted in Exhibit 'B' of this ordinance* -- shall be eight (8) feet in width and shall be permitted to extend up to two (2) feet outside the right-of-way, inside the residential lot, in a pedestrian access easement.
- (10) Buried Utilities. New distribution power-lines required to serve the *Subject Property* and the existing power-lines adjacent to SH-276 shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (11) On-Site Sewage Facilities. *Septic Systems* are permitted pending conformance to the following standards:
 - (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (*e.g. licensed engineer, sanitarian, etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.

Requested Development Standards

- (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
- (12) *Open Space*. The development shall consist of a minimum of 20.00% open space (or a minimum of 21.02 acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'B'* of this ordinance. All open space areas (including *landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (13) *Trails*. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'B'* of this ordinance.
- (14) *Amenities*. Amenities shall be constructed in generally the same areas as depicted in *Exhibit 'B'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*.
- (15) *Neighborhood Signage and Enhancements*. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) *Homeowner's Association (HOA)*. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping, screening fences, parallel parking and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A SINGLE-FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY 1 (SF-1) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Private Horse Corral or Stable	(10)	(6)	S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Short-Term Rental (<i>Owner-Occupied, Single-Family Home, Townhome, or Duplex</i>)	(17)	(12)	P
Short-Term Rental (<i>Non-Owner-Occupied, Single-Family Home, Townhome, or Duplex</i>)	(17)	(13)	P
Short-Term Rental (<i>Apartment or Condominium</i>)	(17)	(14)	P
Single-Family Detached Structure	(19)	(16)	P
Private Swimming Pool	(21)		A
Private Sports Court with Standalone or Dedicated Lighting	(22)	(18)	S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(27)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A SINGLE-FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 1 (SF-1) DISTRICT
Antenna for a Residential Property	(2)	(1)	A
Antenna for an Amateur Radio	(3)	(2)	A
Antenna Dish	(4)	(3)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses (<i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i>)	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S

05 FUTURE LAND USE PLAN

01 LAND USE PLAN DESIGNATIONS

01.01 RESIDENTIAL ● ● ●

● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

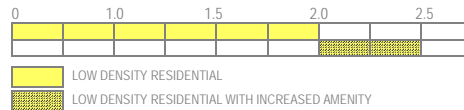
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

RESIDENTIAL DENSITY CHART



● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

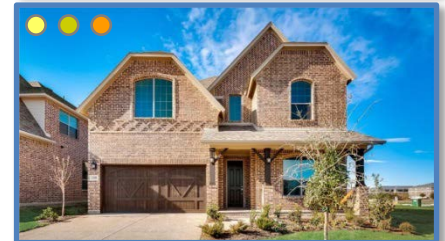
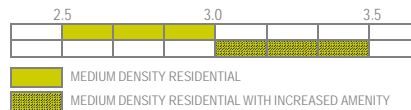
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

RESIDENTIAL DENSITY CHART



● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

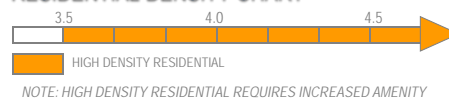
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. *Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

RESIDENTIAL DENSITY CHART



17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (i.e. *Equestrian Meadows*) and a medium density (i.e. *West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

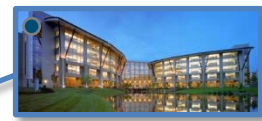
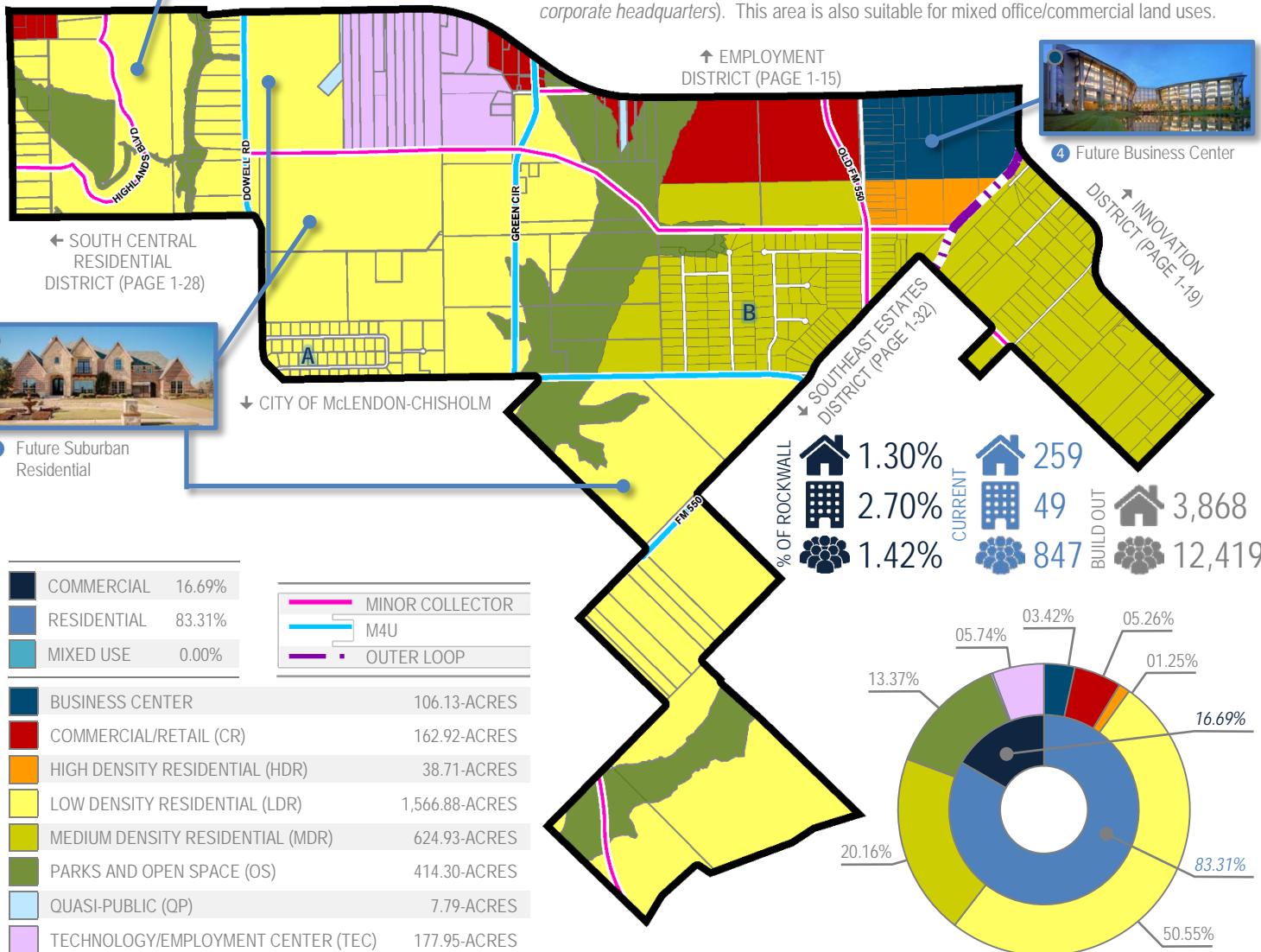
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

↑ TECHNOLOGY DISTRICT (PAGE 1-31)



4 Future Business Center



2 Future Suburban Residential

■	COMMERCIAL	16.69%
■	RESIDENTIAL	83.31%
■	MIXED USE	0.00%

—	MINOR COLLECTOR
—	M4U
—	OUTER LOOP

■	BUSINESS CENTER	106.13-ACRES
■	COMMERCIAL/RETAIL (CR)	162.92-ACRES
■	HIGH DENSITY RESIDENTIAL (HDR)	38.71-ACRES
■	LOW DENSITY RESIDENTIAL (LDR)	1,566.88-ACRES
■	MEDIUM DENSITY RESIDENTIAL (MDR)	624.93-ACRES
■	PARKS AND OPEN SPACE (OS)	414.30-ACRES
■	QUASI-PUBLIC (QP)	7.79-ACRES
■	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	177.95-ACRES

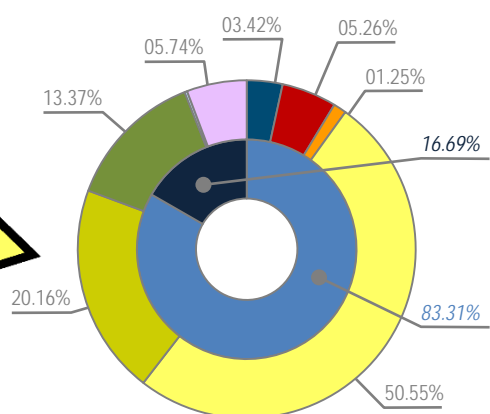
DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (i.e. *water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone** (*Intersection of SH-276 & FM-548*). When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (i.e. *an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential**. The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers**. Due to the anticipated alignment of the Outer Loop (i.e. *current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center**. The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. *corporate headquarters*). This area is also suitable for mixed office/commercial land uses.

🏠	1.30%	🏠	259	🏠	3,868
🏢	2.70%	🏢	49	🏢	12,419
🌳	1.42%	🌳	847	🌳	

% OF ROCKWALL CURRENT BUILD OUT
 CURRENT BUILD OUT



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 105.285-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4 OF THE J. R. MARRS SURVEY, ABSTRACT NO. 152, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from William Andrew Solomon of KRE 15, LLC for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.285-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'B'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan*
 - (2) *Master Plat*
 - (3) *Preliminary Plat*
 - (4) *PD Site Plan*
 - (5) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF OCTOBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A':
Legal Description

Being a 105.285-acre tract of land situated in the Jeremiah R. Marris Survey, Abstract No. 152, City of Royse City, Rockwall County, Texas, being all of a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment tract, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C.T.;

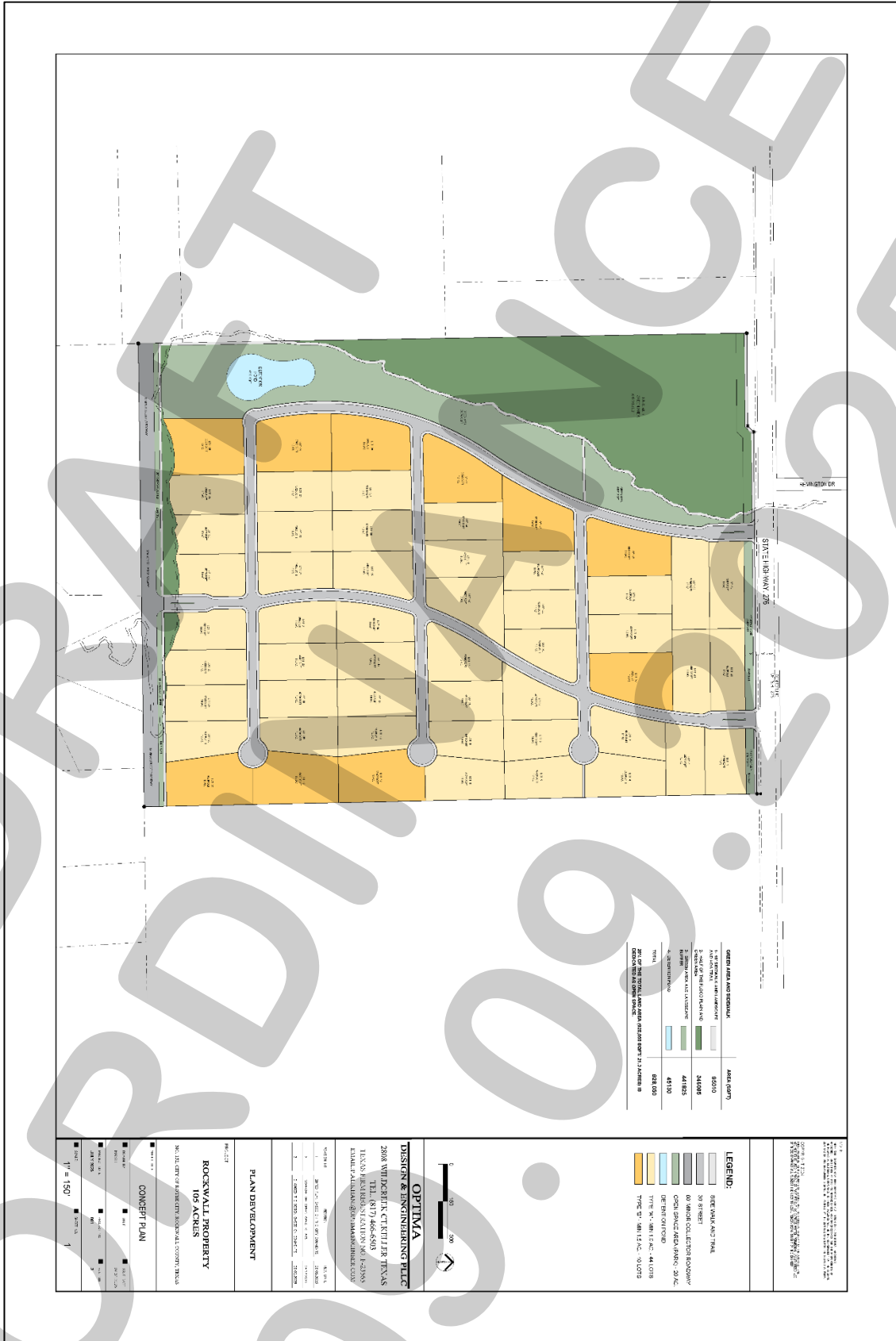
THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20-22, of Westview Addition, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "Traverse LS Prop Cor" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 20210000022531, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert d/b/a Southwest Car Care, by Warranty Deed With Vendor's Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8-inch iron rod with cap stamped "TxDOT" (CM) found for corner;

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

- (1) North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8-inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31';
- (2) North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8-inch iron rod with cap stamped "TxDOT" (CM);
- (3) North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

Exhibit 'B':
Concept Plan



**Exhibit 'C':
Trail Plan**



Exhibit 'D':
Density and Development Standards

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 200'	43,560 SF	44	81.48%
B	150' x 250'	63,340 SF	10	18.52%
<i>Maximum Permitted Units:</i>			54	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 0.513 dwelling units per gross acre of land; however, in no case should the proposed development exceed 54 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B
Minimum Lot Width ⁽¹⁾	100'	150'
Minimum Lot Depth	200'	250'
Minimum Lot Area	43,560 SF	63,340 SF
Minimum Front Yard Setback ^{(2) & (5)}	30'	30'
Minimum Side Yard Setback	10'	10'
Minimum Side Yard Setback Adjacent to a Street ^{(2), (5), & (6)}	15'	20'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'
Minimum Rear Yard Setback Adjacent to a Street ⁽⁴⁾	20'	20'
Minimum Length of Driveway Pavement	30'	30'
Maximum Height ⁽³⁾	36'	36'
Minimum Area/Dwelling Unit (SF) ⁽⁷⁾	2,500 SF	3,000 SF
Maximum Lot Coverage	40%	40%
Minimum Garage Parking Spaces	2	2

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.
- 7: Air-Conditioned Space.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardyBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80.00% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF BRICK



Exhibit 'D':
Density and Development Standards

FIGURE 4: EXAMPLES OF HORIZONTAL LAP



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) All lots as depicted in *Exhibit 'B'* may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
 - (2) All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, [3] include two (2) of the upgraded or enhanced finishes from *Figured 6 & 7* below, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. [see *Figures 5 – 7* for examples of the aforementioned garage and driveway features].

Exhibit 'D':
Density and Development Standards

FIGURE 5. EXAMPLE OF COACH LIGHTING



FIGURE 6: EXAMPLES OF UPGRADED OR ENHANCED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

FIGURE 7: EXAMPLES OF UPGRADED GARAGES



Exhibit 'D':
Density and Development Standards

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 8 & 9 below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	100' x 200'	(1), (2), (3), (4), (5)
B	150' x 250'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or roadways shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 8: PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



Exhibit 'D':
Density and Development Standards

FIGURE 9: PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, adhere to the *Concept Plan* depicted in *Exhibit 'B'*, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wrought Iron/Tubular Steel.** All lots shall be required to install a wrought iron or tubular steel fence as depicted in the *Concept Plan* in *Exhibit 'B'* of this ordinance. Wrought iron/tubular steel fences shall be six (6) feet in height. In addition, lots located along the perimeter of roadways (*i.e. SH-276 or a roadway larger than a Residential Street*) shall provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line.
 - (c) **Corner Lots.** Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line. A six (6) foot wrought iron fence shall be required between the masonry columns along the side and/or rear lot adjacent to a street. The property owner shall be required to maintain both sides of the fence.
 - (d) **Fence in Easements.** No fencing shall be constructed in or across a franchise utility or the City of Rockwall's easements.
- (7) **Landscape and Hardscape Standards.**
- (a) **Landscape.** Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size, all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height, and all shrubs shall be a minimum of five (5) gallons.
 - (1) **Landscape Buffer Adjacent to SH-276.** A minimum of a 70-foot landscape buffer shall be provided along SH-276 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 70-foot landscape buffer. All residential lots backing to SH-276 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer Adjacent to Minor Collectors. A minimum of a 30-foot landscape buffer shall be provided along SH-276 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. An eight (8) foot trail shall be constructed within the 30-foot landscape buffer. All residential lots backing to a *Minor Collector* shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.
- (3) Landscape Buffer Adjacent to Amenity Center. A minimum of a ten (10) foot landscape buffer shall be provided along the roadway adjacent to the amenity center. This landscape buffer shall incorporate ground cover and shrubbery along the entire length of the adjacent street frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet.
- (b) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches in size, and ten (10) feet from public water, sanitary sewer, and storm lines that are ten (10) inches and greater. In addition, no street trees shall be allowed to be located within public right-of-way. All street trees shall be reviewed with the *PD Site Plan*.
- (c) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'B'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width; however, trails adjacent to residential

Exhibit 'D':
Density and Development Standards

lots -- as depicted in Exhibit 'C' of this ordinance -- shall be eight (8) feet in width and shall be permitted to extend up to two (2) feet outside the right-of-way, inside the residential lot, in a pedestrian access easement.

- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* and the existing power-lines adjacent to SH-276 shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) On-Site Sewage Facilities. *Septic Systems* are permitted pending conformance to the following standards:
 - (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (e.g. *licensed engineer, sanitarian, etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
- (13) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 21.057 acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the Concept Plan contained in Exhibit 'B' of this ordinance. All open space areas (including *landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (14) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in Exhibit 'C' of this ordinance.
- (15) Amenities. Amenities shall be constructed in generally the same areas as depicted in Exhibit 'C' of this ordinance. All amenities shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*.
- (16) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (17) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping, screening fences, parallel parking and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (18) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

DRAFT
ORDINANCE
09.09.2025



TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Anthony Rendon
CASE NUMBER: Z2025-060; *Specific Use Permit (SUP) for an Accessory Structure at 710 Hartman*

SUMMARY

Hold a public hearing to discuss and consider a request by Anthony Rendon on behalf of Marcelino Rendon for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure (Detached Garage)* on a 0.570-acre parcel of land identified as Lot 1 of the Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 710 Hartman Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the January 3, 1972 zoning map the subject property was zoned Single-Family 3 (SF-3) District. At some point between January 3, 1972 and May 16, 1983 the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. The property has remained zoned Single Family (SF-7) District since this date. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a 1,548 SF single-family home that was constructed in 1949, a 270 SF detached carport constructed in 2021, and a 96 SF storage shed constructed in 2005. On August 21, 2025, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) for the proposed *Detached Garage* by a vote of 4-0, with Board Members Lewis, McNeely, and Gaskin absent. As a condition of this case, the Historic Preservation Advisory Board (HPAB) also approved a condition that the *Detached Garage* generally match the color of the primary structure. This condition has been added to the *Draft Ordinance* prepared for this case.

PURPOSE

The applicant -- *Anthony Rendon* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* that exceeds the overall maximum allowable square footage permitted within a Single-Family 7 (SF-7) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at 710 Hartman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Hartman Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This also happens to be the boundary for the Old Town Rockwall (OTR) Historic District. Beyond this is are two (2) parcels of land [*i.e. 709-711 Hartman Street and 207 Wade Drive*] developed with single-family homes and zoned Single-Family 7 (SF-7) District. North of this is E. Washington Street, which is identified as a A4D (*i.e. arterial collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the boundary for the Old Town Rockwall (OTR) Historic District. Beyond this is a 6.60-acre parcel of land [*i.e. Lot 8, Block A, Richard Harris #2 Addition*], which consists of a single-family home, metal barn and pole barn. Beyond this are three (3) parcels of land [*i.e. 506, 602, & 606 Renfro Street*] developed with single-family homes. South of this is the remainder of the Renfro Creekside Estates subdivision,

which consists of two (2) lots and has been in existence since May 21, 2010. All of these properties are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is one (1) parcel of land [i.e. 712 Hartman Street] developed with a single-family home. This parcel is classified as a *Non-Contributing Property*. Following this is the boundary for the Old Town Rockwall (OTR) Historic District. Beyond this is one (1) parcel land [i.e. 716 Hartman Street] developed with a single-family home and one (1) parcel of land [i.e. Lot 8, Block A, Richard Harris #2 Addition] developed with a single-family home, metal barn, and pole barn. East of this is the Richard Harris 2 Addition, which consists of seven (7) single-family lots and has been in existence since October 14, 1982. All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are two (2) parcels of land [i.e. 706 & 708 Hartman Street] developed with single-family homes. These parcels are designated as *Non-Contributing Properties*. Beyond this is one (1) parcel of land [i.e. 301 S. Clark Street], which is developed with a single-family home. This parcel is designated as a *Medium Contributing Property*. All of these properties are zoned Single-Family 7 (SF-7) District. East of this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the boundary for the Old Town Rockwall (OTR) Historic District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

According to the site plan and building elevations provided by the applicants, the proposed *Detached Garage* will measure 30-feet by 30-feet (or 900 SF), and be situated in the rear yard of the subject property. It will be located approximately 59.50-feet from the existing home. The proposed overall height of the structure will be 14-feet. The exterior of the structure will be clad in metal and will be required match the color of the existing home as conditioned by the Historic Preservation Advisory Board (HPAB) on August 21, 2025.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a maximum of two (2) accessory structures with a maximum square footage of 144 SF each. In addition, the Unified Development Code (UDC) allows one (1) of these accessory structures to be a detached garage with a maximum square footage of 625 SF. The proposed detached garage is 900 SF (*i.e. 275 SF over the maximum allowable square footage*) and there are currently three (3) existing accessory structures situated on the subject property. However, all three (3) existing structures will be removed with the addition of the detached garage. In addition, the proposed *Accessory Building* is required to meet the density and dimensional requirements for Single-Family 7 (SF-7) District contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Number of Accessory Structures Permitted</i>	2	X=1; <i>In Conformance</i>
<i>Detached Garage (Maximum Square Footage)</i>	625 SF	900 SF; <i>Not in Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	6-Feet	X>6-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	15-Feet	X=14-Feet; <i>In Conformance</i>
<i>Between Buildings</i>	10-feet	X=59.5-feet; <i>In Conformance</i>

STAFF ANALYSIS

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council are asked to consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed *accessory structure* compared to the size of other *accessory structures* in the area/neighborhood/subdivision, and [3] the size, architecture, and location of the proposed accessory structure compared to those of the primary structure. Although the request exceeds code requirements, it does not appear to negatively impact adjacent properties based on placement and/or scale of the structure. In this case, the applicant has mentioned to staff and the Historic Preservation Advisory Board (HPAB) that the intent for this *Detached Garage* is to store the lawn equipment currently contained within the existing three (3) accessory buildings which will be removed prior to issuance of a building permit for the *Detached Garage*. In addition, the *Detached Garage* will be located within the backyard with very limited visibility from any right-of-way or adjacent property. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 20, 2025, staff mailed 75 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stoney Hollow Homeowners Association (HOA), which is the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve of the applicant's request for a *Specific Use Permit (SUP)* for an *Accessory Building*, then staff would propose the following conditions of approval:

- (1) The applicants shall be responsible for maintaining compliance with the operational conditions contained within the *Specific Use Permit (SUP)* ordinance and which are detailed as follows:
 - a) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.

- b) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
 - c) The *Detached Garage* shall not exceed a maximum size of 900 SF.
 - d) All existing accessory structures shall be removed from the *Subject Property* prior to the issuance of a building permit for the proposed *Detached Garage*.
 - e) The proposed *Detached Garage* shall generally match the aesthetics of the primary structure.
 - f) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 710 HARTMAN ST.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON <u>MARCELINO RENDON</u>	CONTACT PERSON <u>ANTHONY RENDON</u>
ADDRESS _____	ADDRESS _____
CITY, STATE & ZIP _____	CITY, STATE & ZIP _____
PHONE _____	PHONE _____
E-MAIL _____	E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

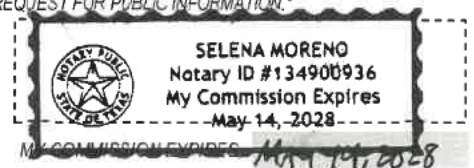
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARCELINO RENDON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 2-17-25 DAY OF JULY, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF JULY, 2025

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2025-060: SUP for an Accessory Structure

0 20 40 80 120 160 Feet

WADE DR

HARTMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

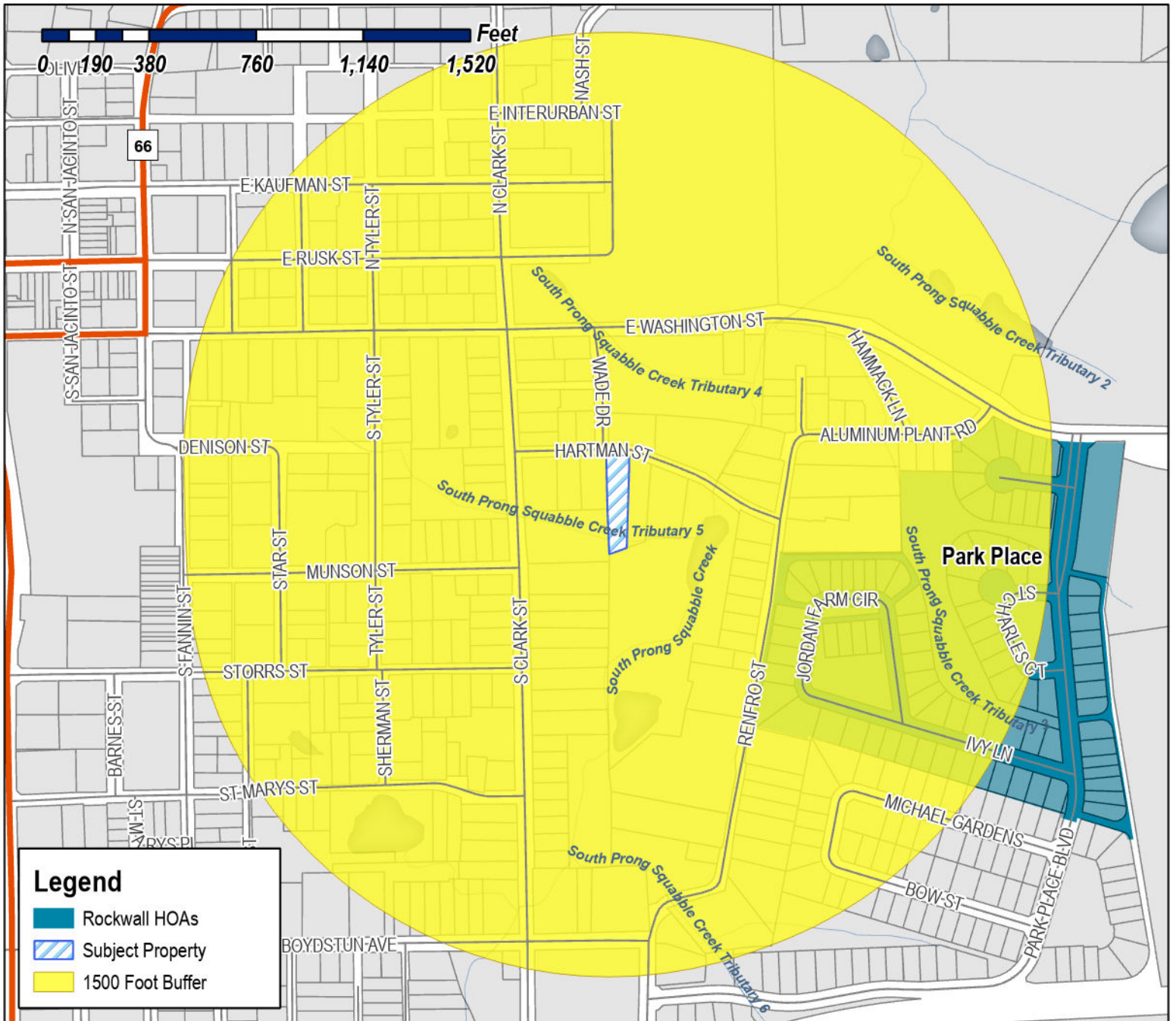




City of Rockwall

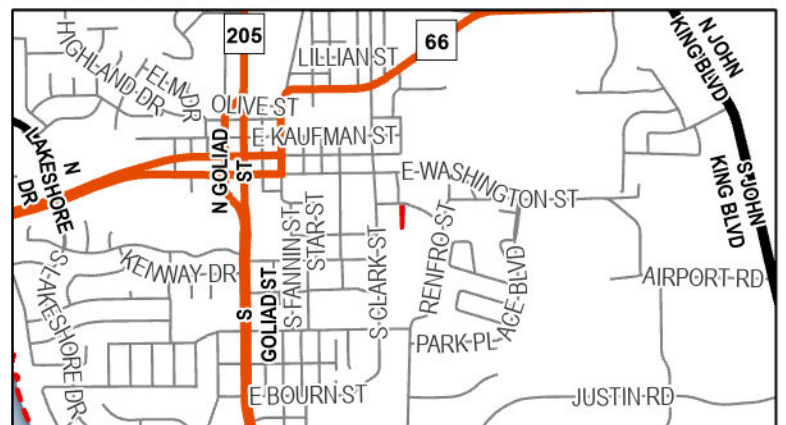
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-060
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 710 Hartman Street

Date Saved: 8/18/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-060]
Date: Thursday, August 21, 2025 8:11:18 AM
Attachments: [Public Notice \(08.19.2025\).pdf](#)
[HOA Map \(08.18.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-060: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Anthony Rendon on behalf of Marcelino Rendon for the approval of a [Specific Use Permit \(SUP\)](#) for an Accessory Structure on a 0.570-acre parcel of land identified as Lot 1 of the Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 710 Hartman Street, and take any action necessary.

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

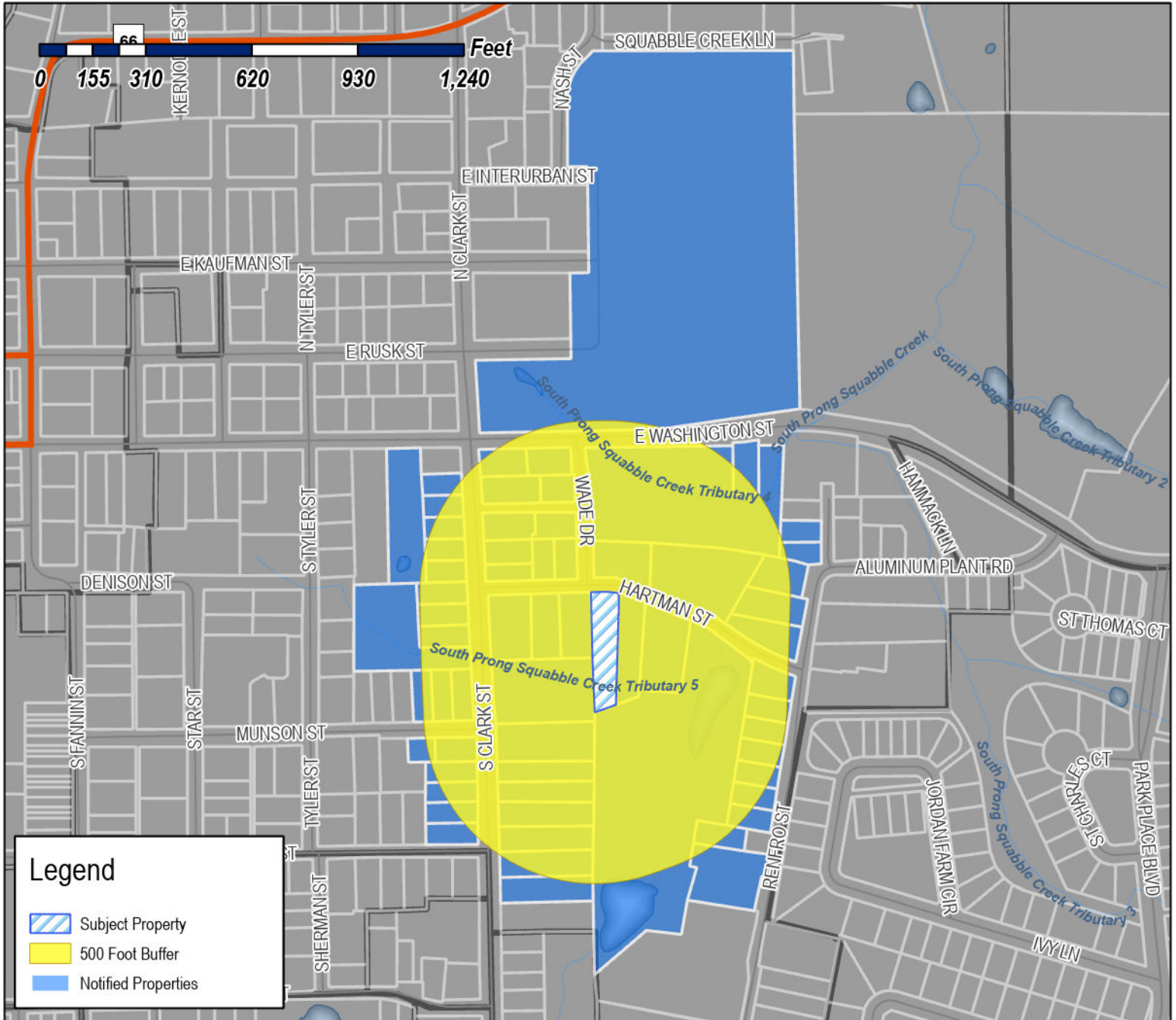
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-060
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 710 Hartman Street



Date Saved: 8/18/2025

For Questions on this Case Call: (972) 771-7745

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

TAH MS BORROWER LLC
C/O TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTIN, CA 92780

JORDAN JOHN & ALLISON
201 S Clark St
Rockwall, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA
204 RENFRO ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK ST
ROCKWALL, TX 75087

FOX JONATHAN
205 S CLARK ST
ROCKWALL, TX 75087

WALKER KELLI & JESSICA
205 S CLARK ST
ROCKWALL, TX 75087

ESPINOZA MARCELA P AND ROLAND
206 RENFRO ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK ST
ROCKWALL, TX 75087

BOREN TERRY L ETUX
207 GNARLY OAKS WAY
LTL RVR ACAD, TX 76554

WOOD WILLIAM AND SANDIE
207 WADE DRIVE
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
208 S CLARK ST
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

HARRIS DARRIN COLE
210 GLENN AVE
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
210 S CLARK ST
ROCKWALL, TX 75087

WELLS RHONDA
210 WADE DR
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK ST
ROCKWALL, TX 75087

TRES PUERTAS LLC
214 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

CONFIDENTIAL
2420 Conrad Cir
Heath, TX 75032

LIGHTFOOT MARSHALL & CYNTHIA
256 WINDY LN
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK ST
ROCKWALL, TX 75087

CONFIDENTIAL
307 S CLARK ST
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

STRADTMANN TROY H
366 RENFRO ST
ROCKWALL, TX 75087

TAH MS BORROWER LLC
C/O TRICON AMERICAN HOMES LLC
374 RENFRO ST C/O TRICON AMERICAN HOMES
LLC
ROCKWALL, TX 75087

HALL JESSIE MARIE AND
JAMIE KATE HALL
382 RENFRO ST
ROCKWALL, TX 75087

HARRIS HOLLI J
400 RENFRO ST
ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH
401 SOUTH CLARK STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
402 <Null> RENFRO ST RICHARD AND JUDY
HARRIS- TRUSTEES
ROCKWALL, TX 75087

SADLER LESLIE A
402 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
403 S CLARK STREET
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
403 S CLARK STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
404 RENFRO ST RICHARD AND JUDY HARRIS-
TRUSTEES
ROCKWALL, TX 75087

TUTTLE LEON ETUX
404 S CLARK ST
ROCKWALL, TX 75087

BRAMLETT DAVID KYLE & DEIDRE MONIQUE
405 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
406 RENFRO ST RICHARD AND JUDY HARRIS-
TRUSTEES
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S. CLARK ST.
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
408 RENFRO ST RICHARD AND JUDY HARRIS-
TRUSTEES
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
412 RENFRO ST RICHARD AND JUDY HARRIS-
TRUSTEES
ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN
501 S CLARK ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA
503 SOUTH CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
508 MUNSON ST
ROCKWALL, TX 75087

CIELO BLUE FAMILY HOLDINGS LLC - SERIES 1
508 HIGHVIEW LANE
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON ST
ROCKWALL, TX 75087

SIMMONS JOHN V & JOAN M
511 MUNSON ST
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON ST
ROCKWALL, TX 75087

WALKER KELLI & JESSICA
603 E Rusk St
Rockwall, TX 75087

WALLACE KATHERINE
608 E WASHINGTON ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
705 HARTMAN ST RICHARD AND JUDY HARRIS-
TRUSTEES
ROCKWALL, TX 75087

CIELO BLUE FAMILY HOLDINGS LLC - SERIES 1
706 HARTMAN ST
ROCKWALL, TX 75087

HARRIS DARRIN COLE
707 HARTMAN ST
ROCKWALL, TX 75087

MOORE LAKISHA Q AND JASON
708 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
709-711 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

SIMMONS JOHN V & JOAN M
802 AGAPE CIR
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

TUTTLE LEON ETUX
963 W Yellowjacket Ln Apt 122
Rockwall, TX 75087

HARRIS HOLLI J
PO BOX 2191
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-060: SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by Anthony Rendon on behalf of Marcelino Rendon for the approval of a *Specific Use Permit (SUP)* for an Accessory Structure on a 0.570-acre parcel of land identified as Lot 1 of the Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 710 Hartman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-060: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2025-060: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The Rendons have multiple vehicles and are in need of this. This has never caused a problem for us, but will surely help them. They are very good neighbors.

Name: Bob + Perrilyn Griliam

Address: 712 Hartman, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Ref #: 1752-6814-0404-5368-2, Jul 16, 2025

Texwin - (Carports Dealers)
800-636-4700

https://dealer-steelbuildings.texwin.com/?lng=en-US&dealer=170#6cb3c305478aeffe9c58dacfc98d1597

DEALER

Southwest Sheds (170)

Royse City, TX 75189
469-707-3501
sws.roysecity@gmail.com
Sales Rep: James Parsons

BILL TO

Marshall Rendon

TX 75087
972-310-9680
marshallrendon@sbcglobal.net

DELIVERY TO

TX 75087

ORDER OVERVIEW

Installation Surface: Asphalt
Payment Option: Credit / Debit
Building Permit Yes ✓
Concrete Permit Yes ✓
Power Available No ✗
Site Specific Drawings No ✗
Site Ready No ✗
Jobsite Level Yes ✓

STYLE

Garage

ROOF STYLE

**Vertical
(Professional)**

SIZE

30' x 30' x 14'
Width Length Leg Height

COLORS / MATERIALS

Siding White
Trim Black
Roof Black
Wainscot Black

NOTES

Description	QTY	PRICE	MSRP	
Base Price: 30'x30'	1	\$6,875.00	- You Saved	\$5,036.10
Installation Surface: Asphalt	1	-	Subtotal	\$15,015.90
Colonial Style (Wainscot): Black	1	\$100.00	+ Tax (8.25%)	\$1,238.81
Roof Style: Vertical (Professional)	1	-	Total Order Amt	\$16,254.71
Roof Pitch: 3/12 (Standard) ✓	1	-	Deposit Required to Order	\$2,195.84
Leg Style: Double	1	-	Schedule Deposit	\$7,029.44
Texwin Certified: Certified to 150 MPH / 20 PSF	1	-	Final Balance Due at Installation	\$7,029.43
Leg Height: 14'	1	\$2,772.00		
Left Side: Fully Enclosed - Siding: Horizontal	1	\$755.00		
Right Side: Fully Enclosed - Siding: Horizontal	1	\$755.00		

Updated Balance (if applicable)
Date

Continued on next page

CUSTOMER ORDER SIGNATURE

DATE

Customer was present for the unit's installation and accepts the unit as installed. View terms page for more details.

DEALER / MFR SIGNATURE

DATE

CUSTOMER INSTALL SIGNATURE

DATE

Description	QTY	PRICE
Continued from previous page		
Front End: Fully Enclosed - Siding: Horizontal	1	\$2,765.00
Back End: Fully Enclosed - Siding: Horizontal	1	\$2,765.00
Approximate Peak Height: 17'9"	1	-
Doors & Windows		
Walk-In Door 9-Lite (36x80) - Corner Style: Square (Traditional) - Color: White	1	\$385.00
10'x8' Rollup Door - Corner Style: Square (Traditional) - Color: Satin White	3	\$2,880.00
Additional Options & Fees		
Colored / Cupped Heads / Powder-Coated Screws (Included)		-
Steel Sheeting & Trim: 26 Gauge / AZ50 Substrate (Included)	1	-
Steel Framing: 14 Gauge / Grade 50 / G60 Galvanization (Included)	1	-
Additions & Adjustments		
discount 30.00%	1	-\$5,036.10

HARTMAN

40' R.O.W.

(CONTROLLING BEARING LINE)
S 07° 25' 00" E
22.98'

ASPHALT

H 88° 59' 30" E 60'-02"

1/2" RE

1/2" RE

CONC DRIVE

CONC DRIVE

STREET

RESIDENCE
2710 HARTMAN STREET

LOT 1
BLOCK A

0.67 ACRES
28,020 S.F.

MIN. FIN. FLOOR
ELEV = 521.07

SEED

LOT 2
0.49 ACRES
21,265 S.F.

MIN. FIN. FLOOR
ELEV = 521.07

BLOCK 1D

89.85' S 0° 42' 10" E 354.47'
R. ALLEN EDWARDS

S 05° 36' 45" W 524.73'

ZONE X

100 YR. FLOOD PLAIN
ZONE A

3.083 ACRES

COMMUNITY BANK
TO
CLARENCE K. SAMPLES
AND
ELVA NELL SAMPLES
VOL. 1116, P.O. 198

5 70° 47' 25" W
69.01'

3/4" RE

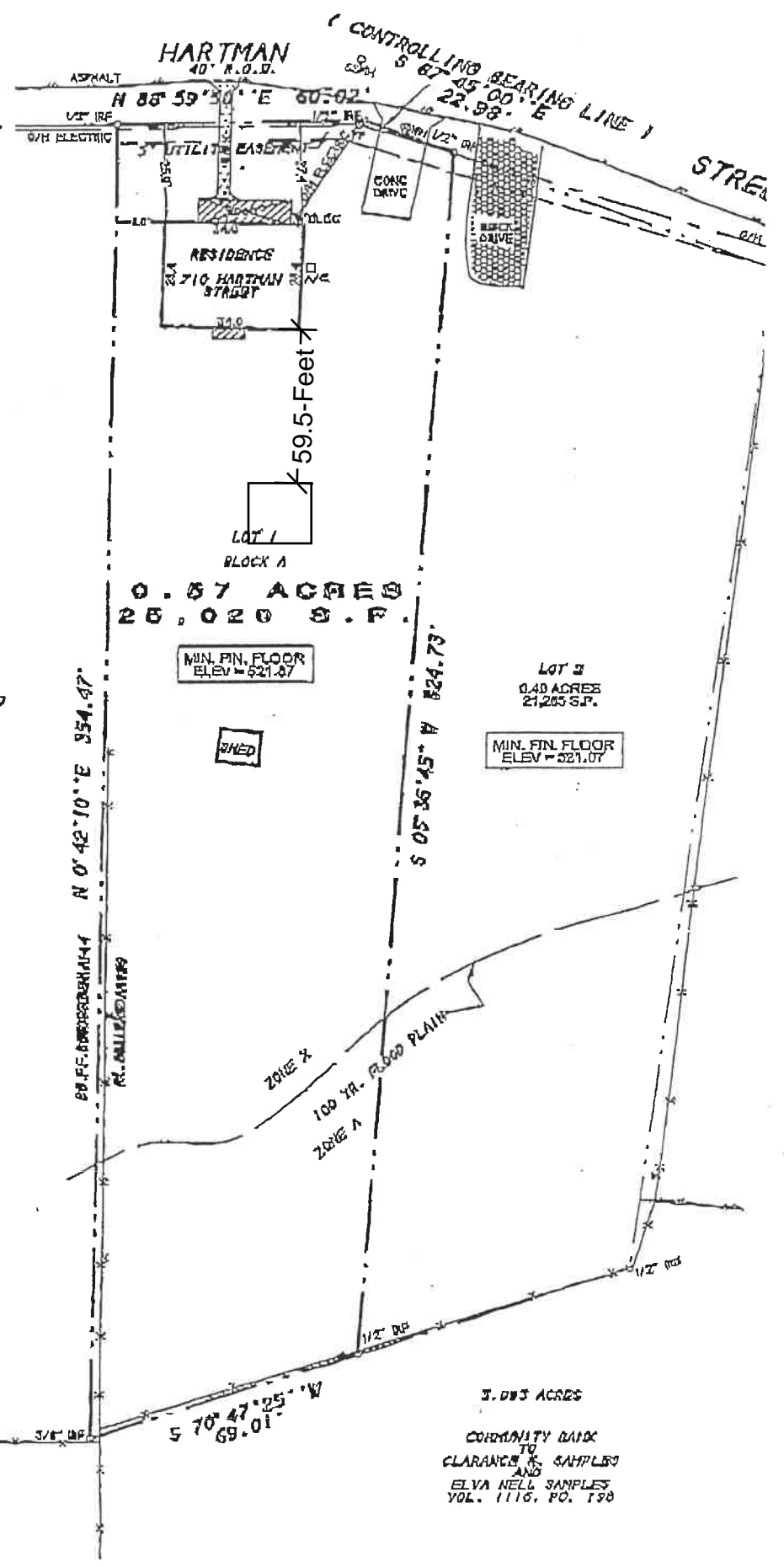
1/2" RE

1/2" RE





BLOCK 10



HARTMAN
40' R.O.W.

(CONTROLLING BEARING LINE)
S 87° 25' 00\"/>

STREET

H 88° 59' 30\"/>

ASPHALT
1/2\"/>

RESIDENCE
221710 HARTMAN
STREET

CONC DRIVE

ASPH DRIVE

59.5-Feet

LOT 1
BLOCK A

0.57 ACRES
26,020 S.F.

MIN. FIN. FLOOR
ELEV = 521.07

SHED

LOT 2
0.49 ACRES
21,265 S.F.

MIN. FIN. FLOOR
ELEV = 521.07

88.15° 00' 00\"/>

R. MILLER & SONS

ZONE X

100 YR. FLOOD PLAIN
ZONE A

S 05° 36' 45\"/>

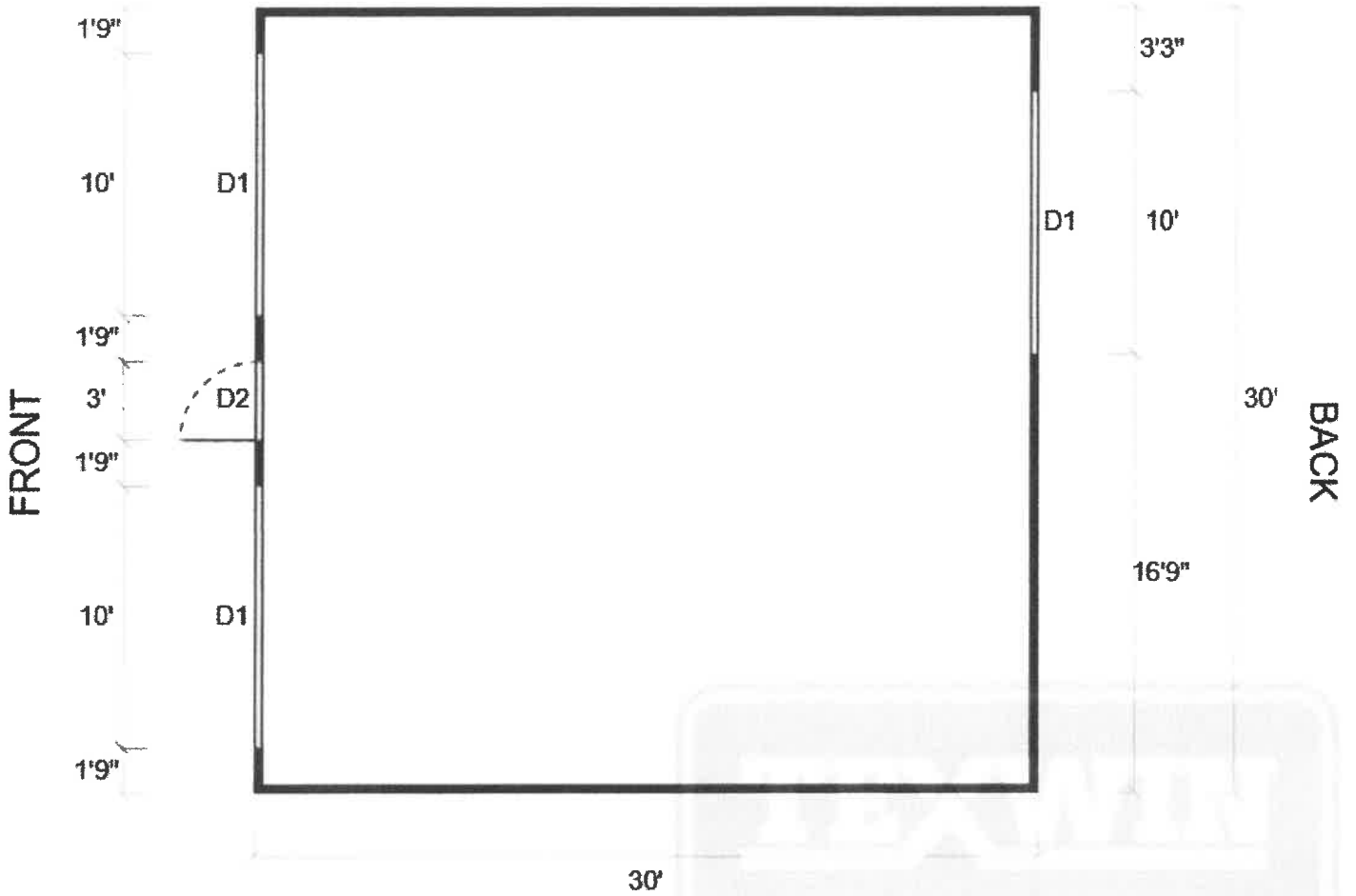
3/4\"/>

S 70° 47' 25\"/>




3.083 ACRES

COMMUNITY BANK
TO
CLARENCE K. SAMPLES
AND
ELVA NELL SAMPLES
VOL. 1116, P. 198

LEFT SIDE



RIGHT SIDE

SYMBOL LEGEND	
 D1	10'x8' Rollup Door
 D2	Walk-In Door 9-Lite (36x80)
	Closed Wall

CITY OF ROCKWALL

ORDINANCE NO. **25-XX**

SPECIFIC USE PERMIT NO. **S-3XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE* ON A 0.570-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1 OF THE HURST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Anthony Rendon on behalf of Marcelino Rendon for the approval of a Specific Use Permit (SUP) for a *Detached Garage* that exceeds the maximum size permitted on a property for a 0.570-acre parcel of land identified as Lot 1 of Hurst Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 710 Hartman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Detached Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*; Subsection 03.09, *Single-Family 7 (SF-7) District*; and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Detached Garage* shall not exceed a maximum size of 900 SF.
- 4) All existing accessory structures shall be removed from the *Subject Property* prior to the issuance of a building permit for the proposed *Detached Garage*.
- 5) The proposed *Detached Garage* shall generally match the aesthetics of the primary structure.
- 6) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor or property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF OCTOBER, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

Exhibit 'A'
Survey

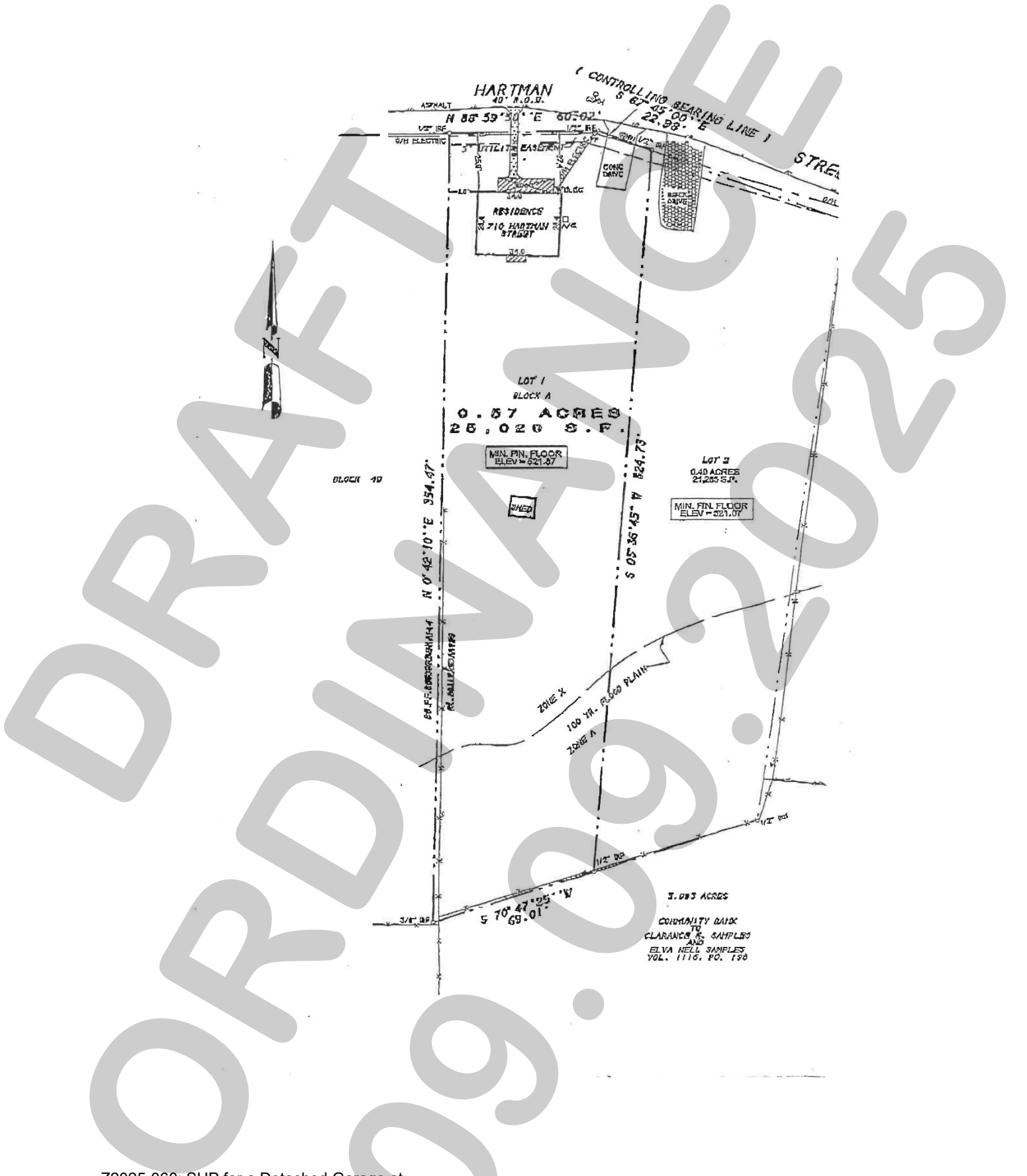
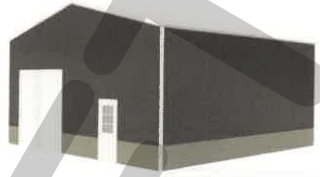


Exhibit 'C':
Building Elevations

Ref #: 1756-2345-4129-4555, Aug 26, 2025

Texwin - (Carports Dealers)
800-636-4700

BUILDING IMAGES



Perspective View



Front



Left Side



Right Side



Back



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 9, 2025
SUBJECT: Z2025-061; *Zoning Change from Multi-Family 14 (MF-14) District to Single-Family 7 (SF-7) District*

On June 16, 2025, the City Council approved a motion to direct staff to review the Southside Residential Neighborhood Overlay (SRO) District and provide recommendations for updates to the district. This motion was approved by a vote of 6-0, with Council Member Campbell absent. Based on this direction staff performed a comprehensive review of the overlay district, and returned to the City Council with three (3) recommendations on August 18, 2025. The recommendations proposed by staff were as follows:

- (1) Recommendation 1. Adjust the boundaries of the Southside Residential Neighborhood Overlay (SRO) District to remove the commercially zoned properties.
- (2) Recommendation 2. Remove the reduced standards contained within the overlay district and allow the underlying zoning to regulate the density and dimensional requirements for properties.
- (3) Recommendation 3. Initiate zoning to change the Multi-Family 14 (MF-14) District to Single-Family 7 (SF-7) District to make the zoning more uniform in the overlay district.

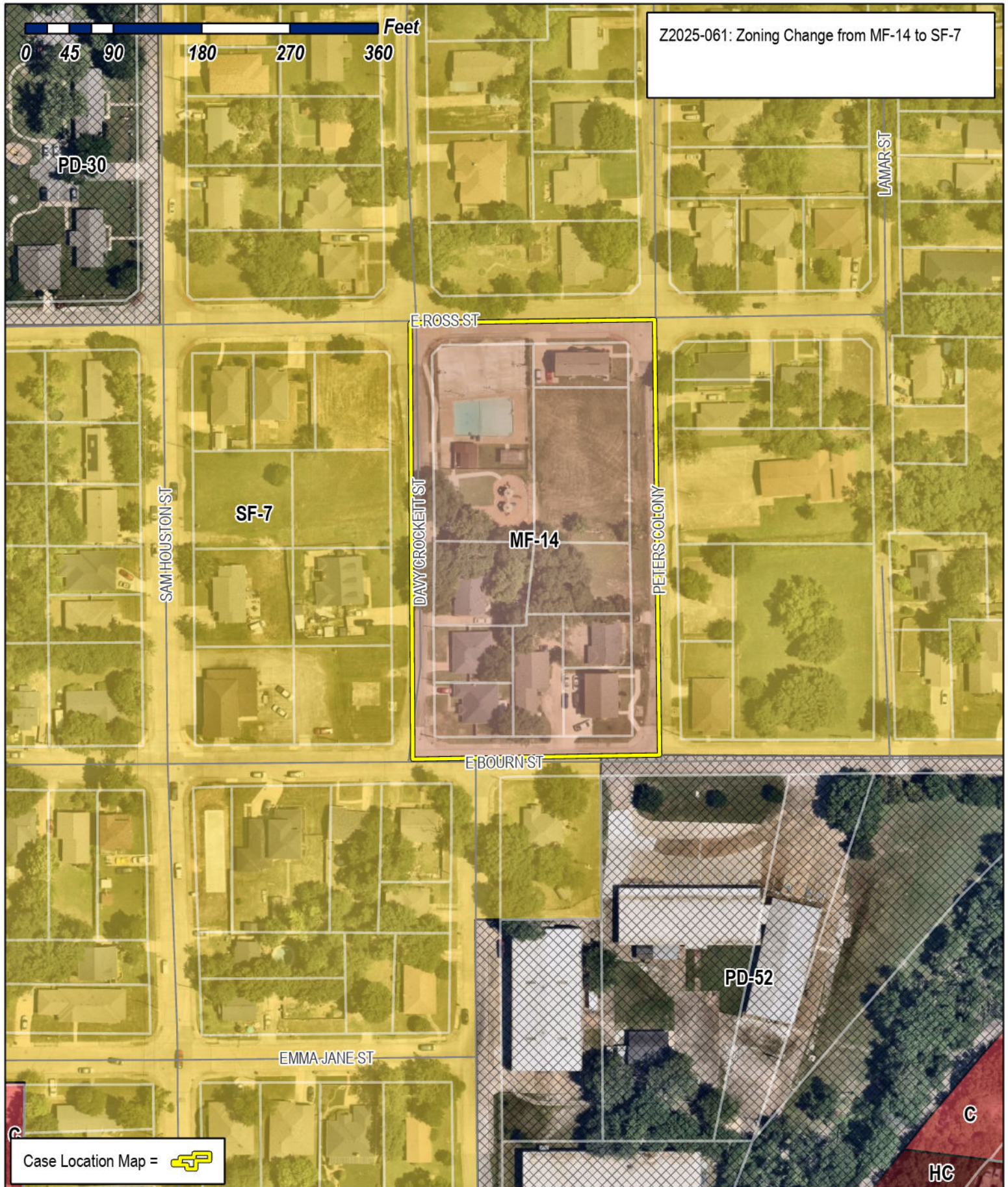
After reviewing the recommendations, the City Council approved a motion to move forward with all three (3) recommendations. This motion was approved by a vote of 5-1, with Council Member Campbell dissenting and Council Member Lewis absent. Based on this direction, staff has initiated two (2) zoning cases, one (1) that covers *Recommendations 1 & 2* (i.e. *Case No. Z2025-052*) and one (1) that covers *Recommendation 3* (i.e. *this case -- Z2025-061*). The reason that the recommendations are being taken forward in two (2) cases is tied to the intent of the cases and how the cases are required to be notified in accordance with the requirements of the Unified Development Code (UDC) and the Texas Local Government Code (TLGC).

In reviewing the area zoned Multi-Family 14 (MF-14) District, staff was able to determine that this area was zoned Multi-Family 1 (MF-1) District since at least January 3, 1972. At some point between June 14, 1983 and July 11, 1985, this designation was changed from a Multi-Family 1 (MF-1) District to a Multi-Family 15 (MF-15) District, and finally changing to a Multi-Family 14 (MF-14) District between December 7, 1993 and April 5, 2005. Currently located within this 2.56-acre zoning district are ten (10) parcels of land with the following land uses: [1] two (2) vacant tracts of land, [2] four (4) single-family homes, [3] two (2) duplexes, [4] one (1) triplex, and [5] Gloria Williams Park/Pool.

Currently, the majority underlying zoning within the Southside Residential Neighborhood Overlay (SRO) District is Single-Family 7 (SF-7) District, which represents a total of 33.08-acres or 75.27% of the total district. In addition, the requirements for the district specifically state that "(a)ny requirements not specifically stated in this section [*i.e. the SRO District*] shall comply with the Single-Family 7 (SF-7) District requirements." If approved, this zoning change -- *coupled with the changes to the district boundaries being proposed in Case No. Z2025-052* -- would make the zoning within the overlay district consistent for all properties. Staff should also note, that this zoning change would be consistent with the *Future Land Use Map* contained in the OURHometown Vision 2040 Comprehensive Plan, which currently designates this area for *Medium Density Residential (MDR)* land use.

As with any zoning case, staff has sent out the requisite notices to property owners and residents within 500-feet of the subject property. This included 164 notices to property owners and occupants. In addition, staff also sent a letter explaining the zoning change to the ten (10) affected property owners within the subject area. A copy of staff's letter has been provided in the attached

packet. As of the date of this memo, staff has received one (1) emailed response from a property owner within the 500-foot notification area in favor of the proposed zoning change. In addition to the property owner notifications, staff also notified all Homeowner's Associations (HOA's) or Neighborhood Organizations -- *participating in the Neighborhood Notification Program* - within 1,500-feet about the proposed zoning change. This included the Highridge Estates Subdivision. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on August 26, 2025.



Z2025-061: Zoning Change from MF-14 to SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

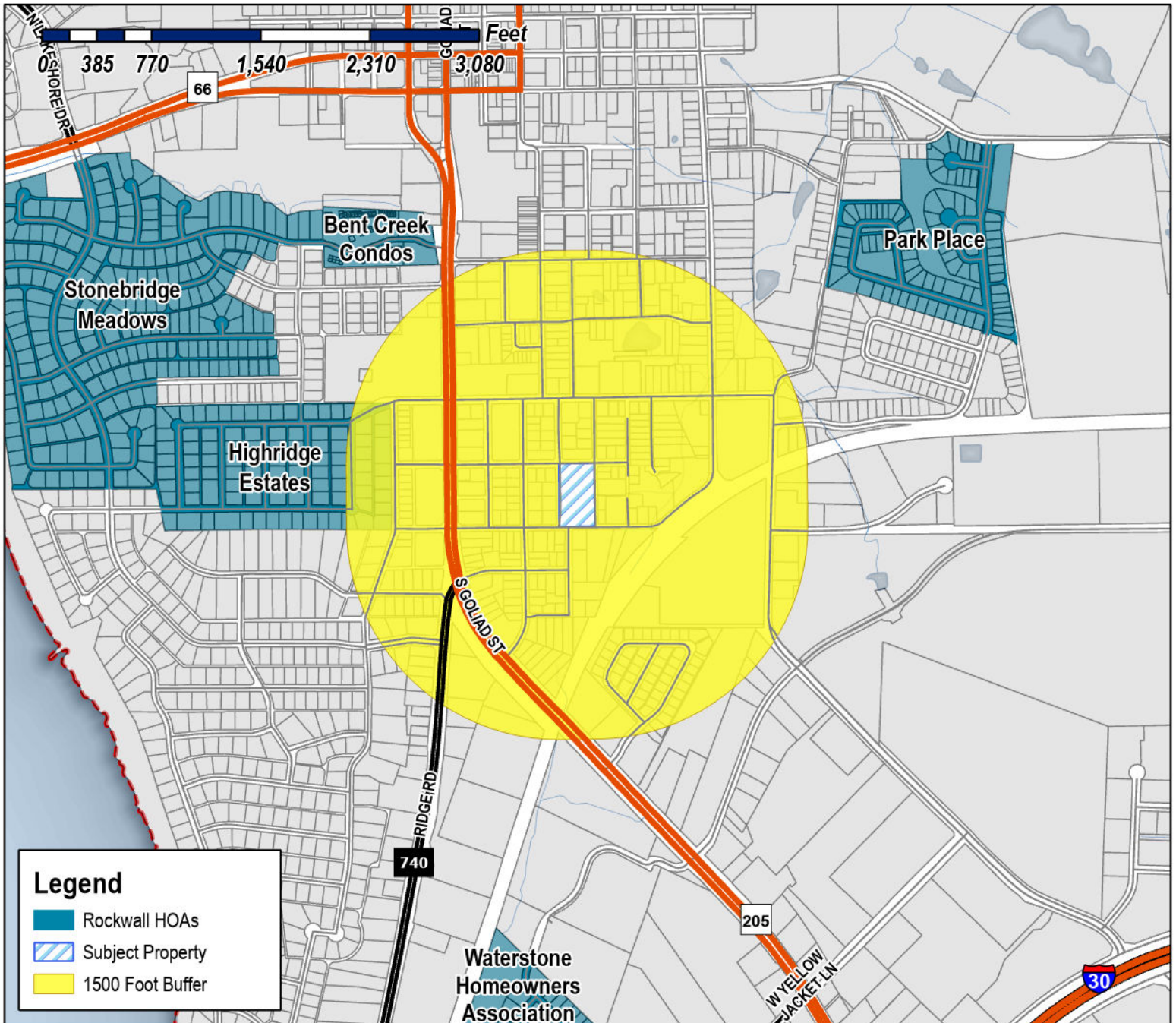




City of Rockwall

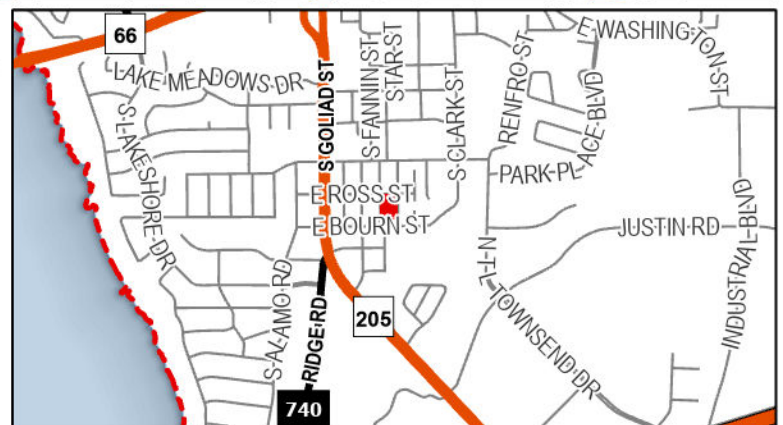
Planning & Zoning Department
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Case Number: Z2025-061
Case Name: Zoning Change from MF-14 to SF-7
Case Type: Zoning
Zoning: Multi-Family 14 (MF-14) District
Case Address: E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street

Date Saved: 8/19/2025
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Thursday, August 21, 2025 9:39 AM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2025-061]
Attachments: Public Notice (08.19.2025).pdf; HOA Map (08.19.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 9, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 15, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-061: Zoning Change from MF-14 to SF-7

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a [Zoning Change](#) from Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District for a 2.56-acre parcel of land identified as [1] Lot 1A, 2A, 1B, 2B & 1C and a portion of Lots 3 & 4, Block H, Sanger Addition, [2] Lots 1 & 2, Block A, M & M Johnson Addition, [3] Lots 1 & 2, Block A, Rios Buffington Addition, and [4] Lots 1 & 2, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, bounded by E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street, and take any action necessary.

Melanie Zavala

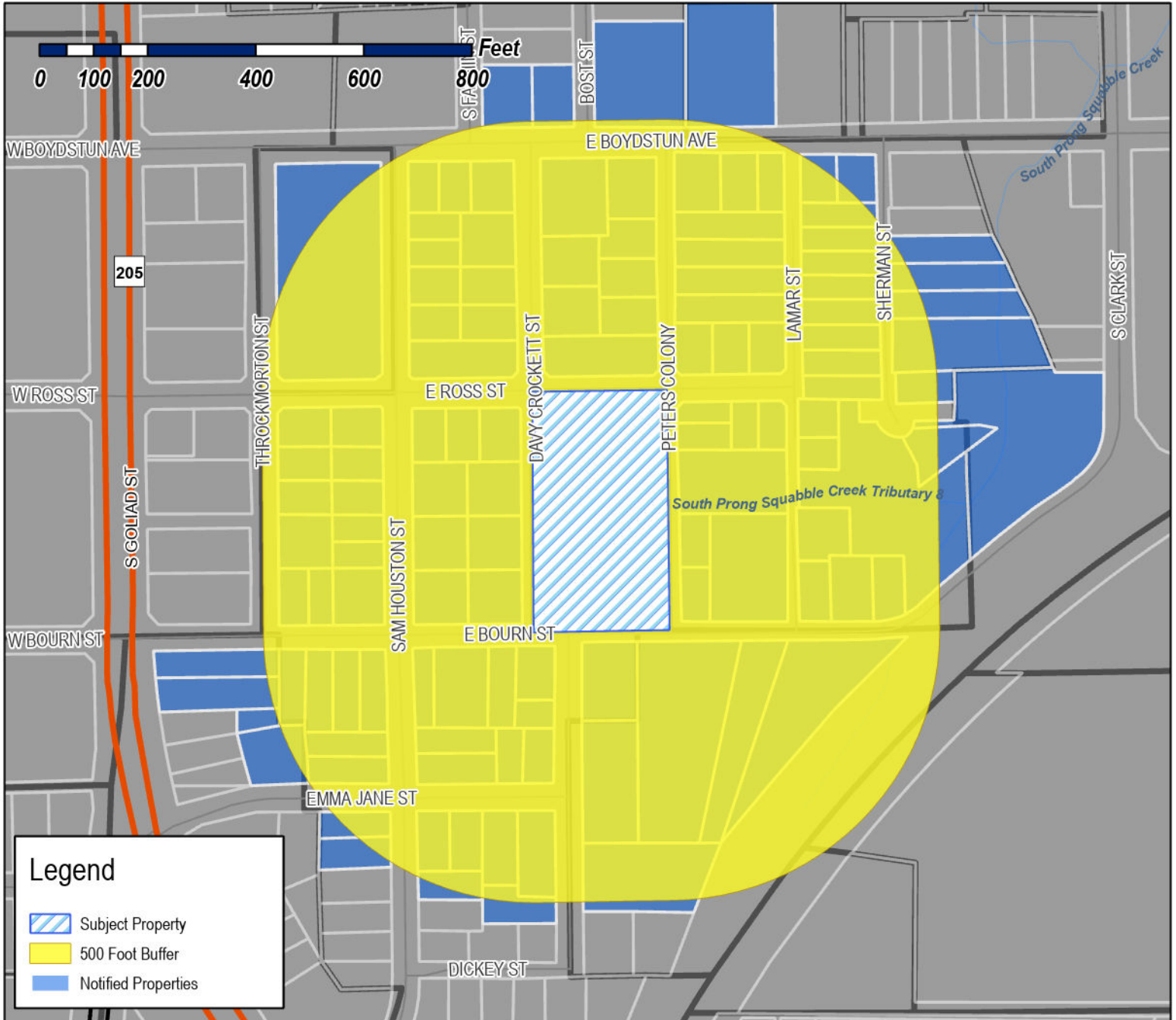
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568






City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

Case Number: Z2025-061
Case Name: Zoning Change from MF-14 to SF-7
Case Type: Zoning
Zoning: Multi-Family 14 (MF-14) District
Case Address: E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street

Date Saved: 8/19/2025

For Questions on this Case Call: (972) 771-7745



PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

REEDER PERRY R AND JIMMIE
1006 DAVY CROCKETT ST
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
105 COYOTE BRUSH
IRVINE, CA 92618

ESTATE OF RHODA MAE HEARD
ANDREW HEARD JR - INDEPENDENT EXECUTOR
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EL PASO, TX 79924

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

ANDERSON ALLEN
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ROCKWALL, TX 75087

WELCH CHRISTOPHER & HAZEL
1212 Clifftop Ln
Dallas, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

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C/O. TRICON AMERICAN HOMES LLC
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TUSTN, CA 92780

SFR JV-1-202-1 BORROWER LLC
15771 RED HILL AVE
TUSTIN, CA 92780

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Plano, TX 75074

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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GARLAND, TX 75041

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206-207 EMMA JANE ST
ROCKWALL, TX 75087

RESIDENT
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ROCKWALL, TX 75087

RESIDENT
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ROCKWALL, TX 75087

BALL JUSTIN
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ROCKWALL, TX 75087

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ROCKWALL, TX 75032

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Dallas, TX 75214

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VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

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- TRUSTEES
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304 E ROSS AVE
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RESIDENT
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RESIDENT
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C/O CHARLES R HUMPHREY
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JONES MARGARINE ESTATE
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HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
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ROCKWALL, TX 75087

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JOE B COCHRAN & SANDRA COCHRAN -
TRUSTEES
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MESQUITE, TX 75150

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4577 JAGUAR DR
PLANO, TX 75024

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4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

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Irving, TX 75039

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GRUBBS JOHN W
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504 ROSS
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RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
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SHERWIN CAROLYN MARIE
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JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
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MARVIN RAY BRANNON ETAL
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BRIANNA ORNELAS
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705 N SHERMAN
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ANDUJAR AMY ELIZABETH MAYER
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MILLER ANNE
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ROCKWALL, TX 75087

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WILLIAMS SHIRLEY B ETAL
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ESTATE OF DABNEY AUDRY
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707 DAVY CROCKETT ST
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MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

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C/O OLIVER LINVELL
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713 SHERMAN ST
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RESIDENT
714 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
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ROCKWALL, TX 75087

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RESIDENT
725 PETERS COLONY
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ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
800 SAM HOUSTON
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RESIDENT
801 DAVY CROCKETT
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ROCKWALL, TX 75087

U S HOUSING AUTHORITY
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ROCKWALL, TX 75087

JACKSON CALVIN
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SHAW JERRY GAIL
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FISHER JESSICA
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ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
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ESTATE OF FRANKIE MAE ALLEN
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806 SAM HOUSTON ST
ROCKWALL, TX 75087

RESIDENT
807 THROCKMORTON
ROCKWALL, TX 75087

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808 SAM HOUSTON ST
ROCKWALL, TX 75087

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JOHNSON MELDRIA
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820 E HEATH ST
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AUL PROPERTIES LLC
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Rowlett, TX 75089

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

JPH ROCKWALL LLC
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ROCKWALL, TX 75087

RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
902 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
903 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

RESIDENT
907 SAM HOUSTON
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

SMITH TIMOTHY
PSC 3 BOX 5631
APO, AP 96266

DALLAS-GARLAND & NORTHEASTERN RAILROAD
ATTN: ACCOUNTS PAYABLE
SUITE 300 200 MERIDIAN CENTRE BLVD
ROCHESTER, NY 14618

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-061: Zoning Change from MF-14 to SF-7

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change from Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District for a 2.56-acre parcel of land identified as [1] Lot 1A, 2A, 1B, 2B & 1C and a portion of Lots 3 & 4, Block H, Sanger Addition, [2] Lots 1 & 2, Block A, M & M Johnson Addition, [3] Lots 1 & 2, Block A, Rios Buffington Addition, and [4] Lots 1 & 2, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, bounded by E. Ross Street, Davy Crockett, Peters Colony, and E. Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 9, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 15, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 15, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-061: Zoning Change from MF-14 to SF-7

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



August 21, 2025

TO: **PROPERTY OWNERS ADDRESS**

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2025-061; *Zoning Change from Multi-Family 14 (MF-14) District to Single Family 7 (SF-7) District*

PROPERTY OWNER,

On August 18, 2025, the City Council of the City of Rockwall approved a motion to direct staff to initiate the rezoning of certain property in the Southside Residential Neighborhood Overlay (SRO) District. Specifically, there is a 2.56-acre tract of land bounded by Davy Crockett Street to the west, E. Ross Street to the north, E. Bourn Street to the south, and Peters Colony to the east -- *hence forth referred to as the Affected Area* -- that is currently zoned Multi-Family 14 (MF-14) District. The City Council's direction would seek to rezone the *Affected Area* to a Single-Family 7 (SF-7) District.

You are receiving this letter because you are listed as one of the property owners (*or the owner's representative*) on the certified tax rolls by the Rockwall Central Appraisal District (RCAD) for property in the *Affected Area*. This letter is being sent to you to notify you of the zoning change, to explain to you how you can participate in this process, and to let you know how this zoning change could affect your property if it is approved.

WHAT IS BEING PROPOSED?

The City Council of the City of Rockwall is considering rezoning the *Affected Area* from a Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District. This recommendation was made by City staff at the August 18, 2025 City Council meeting and is intended to establish a more uniform zoning pattern that better conforms to the stated intent of the Southside Residential Neighborhood Overlay (SRO) District. In addition, the proposed zoning change better conforms to the Future Land Use Plan contained within the City's OURHometown Vision 2040 Comprehensive Plan, which designates this area for *Medium Density Residential* land uses.

WHAT THIS MEANS FOR YOUR PROPERTY?

If adopted, your property would be subject to the land use and density and dimensional requirements stipulated for the Single-Family 7 (SF-7) District -- *as opposed to the Multi-Family 14 (MF-14) District* -- as outlined in the City's Unified Development Code (UDC). *It is important to stress that changing the zoning WILL NOT require you to change anything that currently exists on your property;* however, it may make properties that have single-family homes, duplexes, or multi-family structures, that do not meet the requirements of the Single-Family 7 (SF-7) District, *Legally Non-Conforming*. *Legally Non-Conforming* means your property may continue to be used, maintained, and sold in its current condition without penalty; however, any new development, redevelopment, or expansion of a property will be required to comply with the requirements of the Single-Family 7 (SF-7) District. In cases where a variance, exception, or other approval may be necessary, the Southside Residential Neighborhood Overlay (SRO) District provides the ability to request a *Special Request*. This section of the code states that, "(t)he City Council may consider special requests in the furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials, reductions in the building setbacks, or other requests submitted for consideration to the Planning and Zoning Department."

AGAIN, IF APPROVED THE PROPOSED ZONING CHANGE WOULD NOT REQUIRE YOU TO ALTER OR REMOVE EXISTING BUILDINGS OR CHANGE USES. THE INTENT IS TO BRING GREATER CONSISTENCY TO THE ZONING WITHIN THE SOUTHSIDE

RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT WHILE PRESERVING THE CHARACTER AND INTEGRITY OF THE EXISTING NEIGHBORHOOD.

PUBLIC PARTICIPATION AND SCHEDULE

As with all zoning cases in the City of Rockwall, the proposed zoning change will include public hearings before the Planning and Zoning Commission and the City Council. Staff *strongly* encouraged to participate in this process by attending the public meetings listed below or by submitting written comments to the Planning and Zoning Department via email at planning@rockwall.com or mail at 385 S. Goliad Street Rockwall, Texas 75087. The schedule for this zoning case is as follows:

PLANNING & ZONING COMMISSION WORK SESSION: August 26, 2025

PLANNING & ZONING COMMISSION PUBLIC HEARING: September 9, 2025

CITY COUNCIL PUBLIC HEARING (1ST READING): September 15, 2025

CITY COUNCIL (2ND READING AND FINAL ADOPTION): October 6, 2025

Should you have questions about the proposed zoning change or how this may affect your property, please contact the Planning and Zoning Department by phone at (972) 771-7745 or by email at planning@rockwall.com. The City of Rockwall appreciates your attention to this matter.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas

From: [ronald fraser](#)
To: [Planning](#)
Subject: cases Z2025-052 ANDZ2025-061
Date: Wednesday, August 27, 2025 1:26:02 PM

Mr. Ryan Miller per our phone call here is written response to the two public notices received. I wanted to let you know in writing that property owners at 707 Sam Houston, Rockwall, TX are in favor of these amendments. If you need further help please reach out to to me .

Thanks

Ronald Fraser Principal/Broker
FRASER Real Estate Group 2631 White Rock Rd Dallas Texas 75214
214-244-8942 Ronaldfraser@sbcglobal.net

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

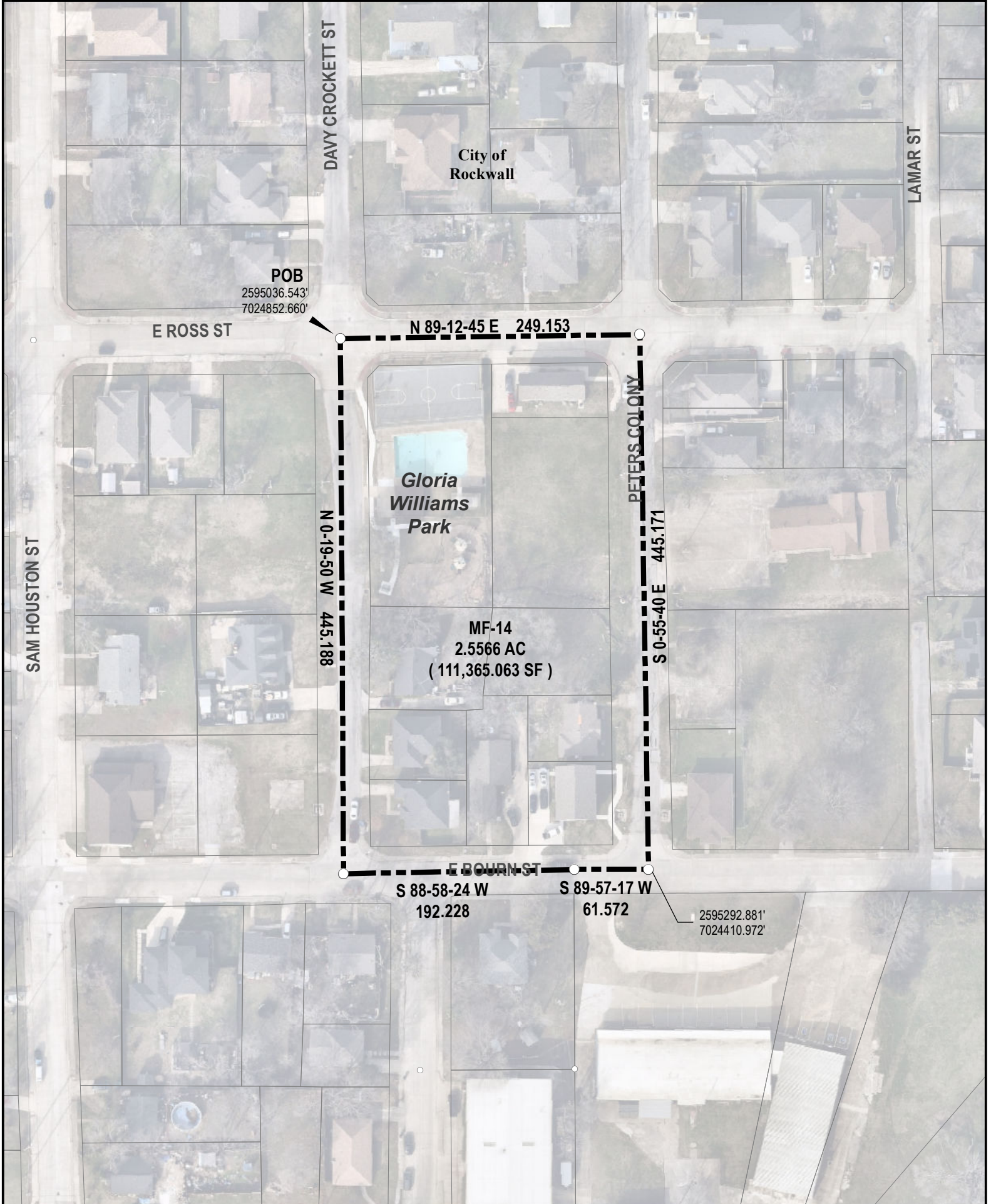
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

MF-14

BEING 2.56 acres of land situated in Abstract 255, B.J.T. Smith Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Intersection of East Ross Street and Davy Crockett Street, (*NAD83 Texas State Plane GPS Coordinate (Grid): E2,595,036.543, N7,024,852.660 Feet*);

- 1 **THENCE** North 89°-12'-45" East, to the Intersection of East Ross Street and Peters Colony Street, a distance of 249.153 feet for a corner;
- 2 **THENCE** South 00°-55'-40" East, along the Centerline of Peters Colony Street, a distance of 445.171 feet for a corner;
- 3 **THENCE** South 89°-57'-17" West, along the Centerline of East Bourn Street, a distance of 61.572 feet to a point;
- 4 **THENCE** South 88°-58'-24" West, continuing along said Centerline of East Bourn Street, a distance of 192.228 for a corner;
- 5 **THENCE** North 00°-19'-50" West, along the Centerline of Davy Crockett Street, a distance of 445.188 feet to the POINT OF BEGINNING AND CONTAINING 2.56 acres of land (111,365.063 square feet) more or less.



**City of
Rockwall**



0 200 Feet

Date: 7/1/2025 1 inch = 100 feet

MF-14 ZONING

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A SINGLE-FAMILY 7 (SF-7) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 7 (SF-7) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Bed and Breakfast	(2)	(2)	S
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	S
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Short-Term Rental (<i>Owner-Occupied, Single-Family Home, Townhome, or Duplex</i>)	(17)	(12)	P
Short-Term Rental (<i>Non-Owner-Occupied, Single-Family Home, Townhome, or Duplex</i>)	(17)	(13)	P
Short-Term Rental (<i>Apartment or Condominium</i>)	(17)	(14)	P
Single-Family Detached Structure	(19)	(16)	P
Private Swimming Pool	(21)		A
Private Sports Court with Standalone or Dedicated Lighting	(22)	(18)	S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(27)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN A SINGLE-FAMILY 7 (SF-7) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 7 (SF-7) DISTRICT
Antenna for a Residential Property	(2)	(1)	A
Antenna for an Amateur Radio	(3)	(2)	A
Antenna Dish	(4)	(3)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses (<i>Includes Utilities with a Franchise Agreement with the City of Rockwall</i>)	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S

05 FUTURE LAND USE PLAN

01 LAND USE PLAN DESIGNATIONS

01.01 RESIDENTIAL ● ● ●

● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

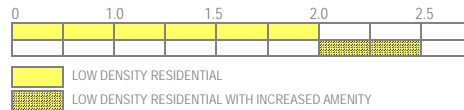
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

RESIDENTIAL DENSITY CHART



● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

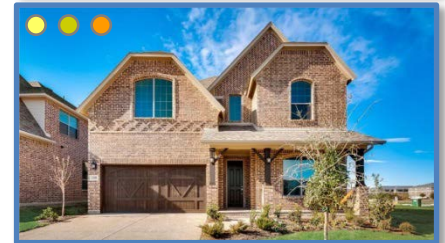
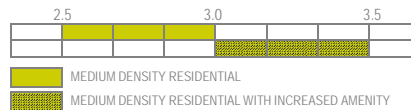
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

RESIDENTIAL DENSITY CHART



● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

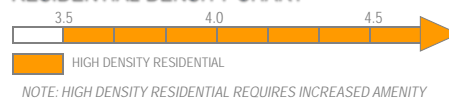
DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. *Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

RESIDENTIAL DENSITY CHART



02 DOWNTOWN DISTRICT

DISTRICT DESCRIPTION

The *Downtown District* is the cultural heart of the community and embodies the small town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. This district also includes the City's Old Town Rockwall (OTR) Historic District, which is composed of housing that dates back to the late 1800's. The *North Goliad Corridor* -- also identified by its zoning classification (i.e. PD-50) -- is a unique *Live/Work* corridor that supports a range of small boutiques (with a SUP) and offices, and represents a successful adaptive reuse effort by the City. In the future, the City will need to balance the attractiveness of redevelopment in the Downtown area with the small town atmosphere that makes Rockwall unique to its residents.

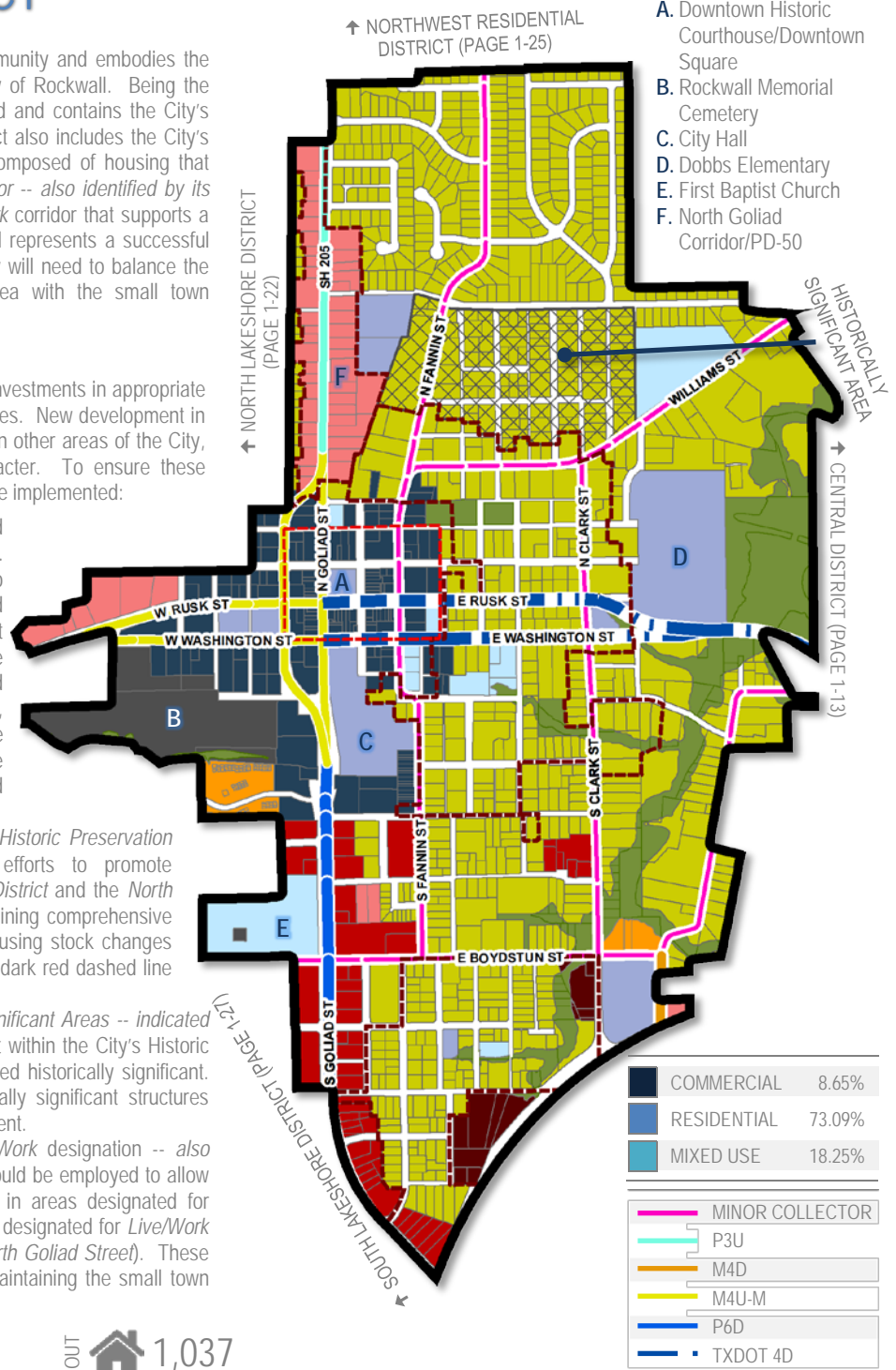
DISTRICT STRATEGIES

The *Downtown District* will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small-town character. To ensure these objectives are achieved, the following strategies should be implemented:

- 1 Downtown Square.** The *Downtown Square* should be preserved as a historical mixed-use area. Adaptive reuse strategies should be employed to protect and preserve the historic architecture and significance in the district, and redevelopment should be discouraged. In cases where redevelopment is appropriate, architecture and design standards that take into account the form, function and time-period of the existing of the downtown square should be implemented. The downtown square is indicated by the red dashed line (---).
- 2 Historic District and North Goliad Corridor.** The *Historic Preservation Advisory Board (HPAB)* should continue its efforts to promote preservation and appropriate infill in the *Historic District* and the *North Goliad Corridor* (i.e. PD-50). This includes maintaining comprehensive and accurate records of how this area and its housing stock changes over time. The Historic District is indicated by the dark red dashed line on the district map (---).
- 3 Historically Significant Areas.** The *Historically Significant Areas* -- indicated in the crosshatched area --- are areas that are not within the City's Historic District, but contain housing stock that is considered historically significant. This area should look to preserve these historically significant structures while continuing to allow appropriate infill development.
- 4 Live/Work.** The flexibility provided by the *Live/Work* designation -- also allowed in the *Downtown (DT)* zoning district -- should be employed to allow for adaptive reuse of the existing housing stock in areas designated for *Downtown (DT)* District land uses and in the areas designated for *Live/Work* land uses (i.e. adjacent to *W. Rusk Street* and *North Goliad Street*). These districts are important to allowing change while maintaining the small town atmosphere of the Downtown area.

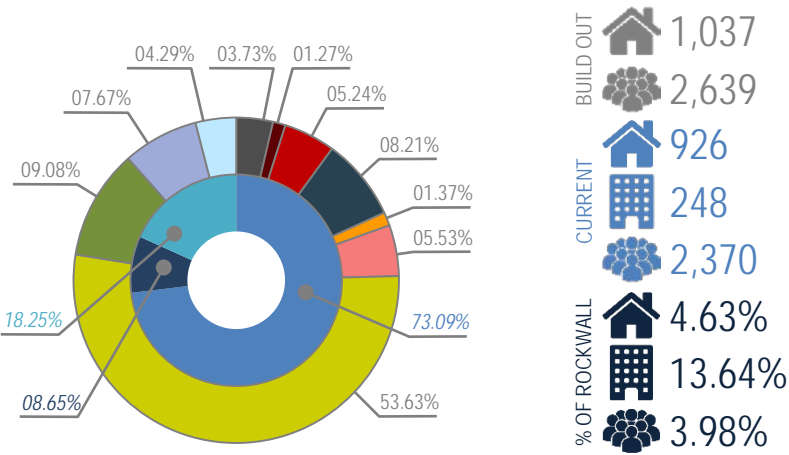
POINTS OF REFERENCE

- A. Downtown Historic Courthouse/Downtown Square
- B. Rockwall Memorial Cemetery
- C. City Hall
- D. Dobbs Elementary
- E. First Baptist Church
- F. North Goliad Corridor/PD-50



COMMERCIAL	8.65%
RESIDENTIAL	73.09%
MIXED USE	18.25%

MINOR COLLECTOR	
P3U	
M4D	
M4U-M	
P6D	
TXDOT 4D	



CEMETERY (CEM)	17.11-ACRES
COMMERCIAL/INDUSTRIAL (CI)	5.82-ACRES
COMMERCIAL/RETAIL (CR)	24.06-ACRES
DOWNTOWN (DT)	37.67-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	6.27-ACRES
LIVE/WORK (LW)	25.38-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	246.20-ACRES
PARKS AND OPEN SPACE (OS)	41.69-ACRES
PUBLIC (P)	35.21-ACRES
QUASI-PUBLIC (QP)	19.70-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM A MULTI-FAMILY 14 (MF-14) DISTRICT TO A SINGLE-FAMILY 7 (SF-7) DISTRICT FOR A 2.56-ACRE TRACT OF LAND IDENTIFIED AS [1] LOT 1A, 2A, 1B, 2B & 1C AND A PORTION OF LOTS 3 & 4, BLOCK H, SANGER ADDITION, [2] LOTS 1 & 2, BLOCK A, M & M JOHNSON ADDITION, [3] LOTS 1 & 2, BLOCK A, RIOS BUFFINGTON ADDITION, AND [4] LOTS 1 & 2, BLOCK A, RHDC ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall has initiated a Zoning Change from a Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District for a 2.56-acre tract of land identified as [1] Lot 1A, 2A, 1B, 2B & 1C and a portion of Lots 3 & 4, Block H, Sanger Addition, [2] Lots 1 & 2, Block A, M & M Johnson Addition, [3] Lots 1 & 2, Block A, Rios Buffington Addition, and [4] Lots 1 & 2, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Multi-Family 14 (MF-14) District to a Single-Family 7 (SF-7) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family 7 (SF-7) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; and, Subsection 03.01, *General Residential District*

Standards, Subsection 03.09, *Single-Family 7 (SF-7) District*, and Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF OCTOBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 15, 2025

2nd Reading: October 6, 2025

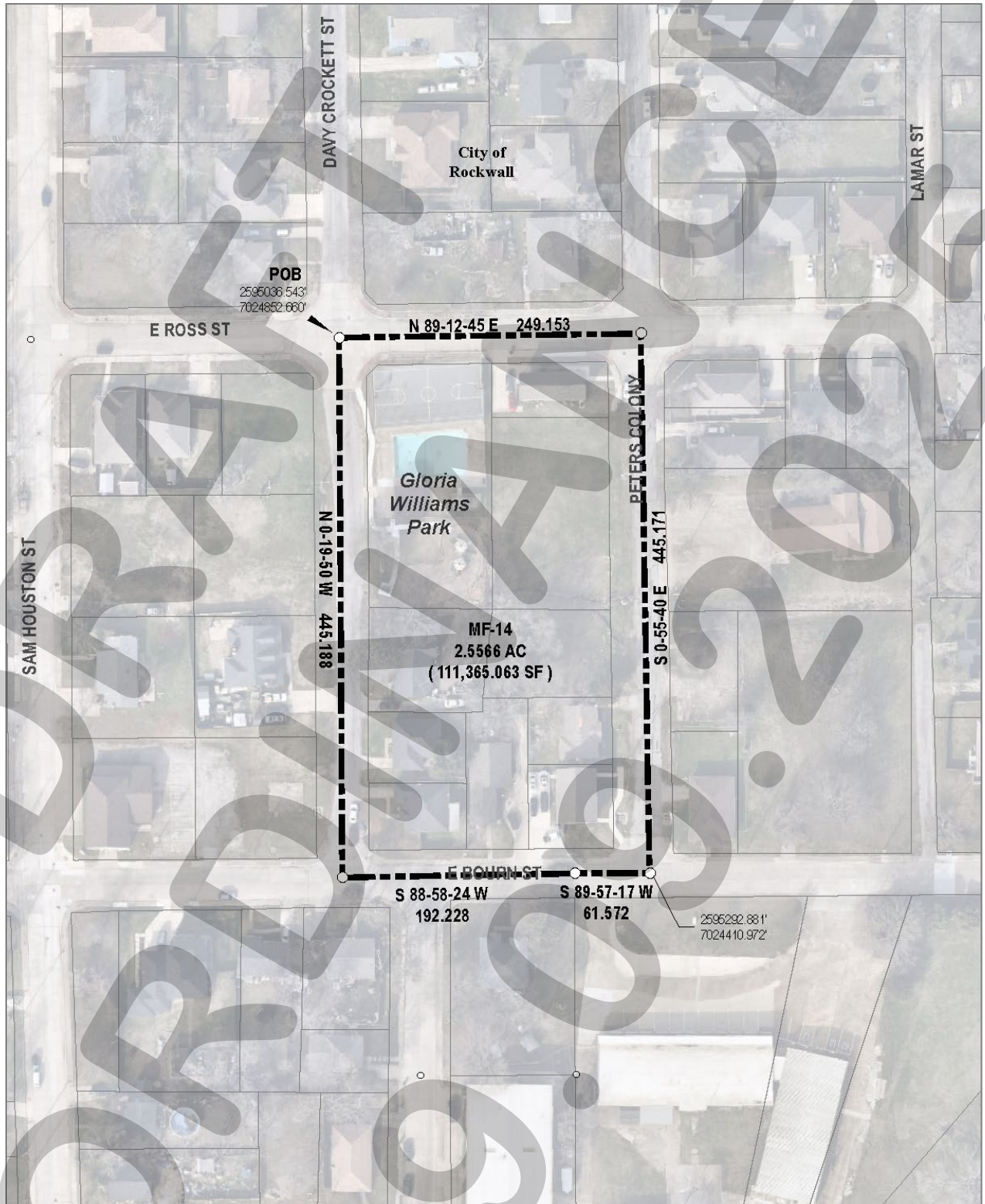
Exhibit 'A'
Legal Description

BEING 2.56 acres of land situated in Abstract 255, B.J.T. Smith Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the Intersection of East Ross Street and Davy Crockett Street, (NAD83 Texas State Plane GPS Coordinate (Grid): E2,595,036.543, N7,024,852.660 Feet);

- 1 **THENCE** North 89°-12'-45" East, to the Intersection of East Ross Street and Peters Colony Street, a distance of 249.153 feet for a corner;
- 2 **THENCE** South 00°-55'-40" East, along the Centerline of Peters Colony Street, a distance of 445.171 feet for a corner;
- 3 **THENCE** South 89°-57'-17" West, along the Centerline of East Bourn Street, a distance of 61.572 feet to a point;
- 4 **THENCE** South 88°-58'-24" West, continuing along said Centerline of East Bourn Street, a distance of 192.228 feet for a corner;
- 5 **THENCE** North 00°-19'-50" West, along the Centerline of Davy Crockett Street, a distance of 445.188 feet to the **POINT OF BEGINNING AND CONTAINING** 2.56 acres of land (111,365.063 square feet) more or less.

Exhibit 'A'
Legal Description





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 9, 2025
APPLICANT: Trey Peavy; RTT PCI, LLC
CASE NUMBER: SP2025-034; *Amended Site Plan for RTT Engineering*

On July 21, 2014 the City Council approved a site plan [Case No. SP2014-012] to allow the construction of a 173,000 SF *Industrial Facility* on the subject property. On May 6, 2025, the applicant submitted a Certificate of Occupancy (CO) [Permit No. CO2025-68] which stated that there would be outside storage; however, the previous Certificates of Occupancy (CO) [Permit No. CO2015-0107] and Site Plan [Case No. SP2014-012] did not delineate any outside storage. According to historic aerials, it appears that the lot has had outside storage since opening. During the Certificate of Occupancy (CO) review, staff informed the applicant that an amended site plan would be required for the delineation of the existing outside storage. On August 15, 2025, the applicant -- *Trey Peavy of RTT PCI, LLC* -- submitted an application for an amended site plan which delineates the outside storage on the south side of the property, west of the building. The staging/storing area is screened from Discovery Boulevard by a screening wall and by the landscaping within the detention area of the site; however, according to historic and present aerials, this site has had outside storage along the west side of the building as well. Staff asked the applicant to delineate that outside storage on the site plan as well. The applicant has provided an updated site plan delineating the existing outside storage as well as the upgraded screening between the outside storage and Springer Road.

According to Subsection 01.05(E), *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)outside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In addition, Subsection 01.05(E) states that the associated screening "...must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission*) and Canopy Trees on 20-foot centers..."; however, the Planning and Zoning Commission may approve alternative landscape screening methods.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is not providing any compensatory measures to offset the requested exception to the outside storage screening requirements; however, given that these areas are well screened especially with the additional landscaping to be provided with this approval, there will be only limited visibility of the storage areas. With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 9, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN: ELEVATIONS, LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2975 Discovery Blvd. Rockwall TX 75032

SUBDIVISION Rockwall Technology Park Phase II

LOT 3 BLOCK B

GENERAL LOCATION South of I-30, East of Corporate Crossing, between Discovery Blvd and Springer Ln

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial District

CURRENT USE Manufacturing of Sheet Metal Products

PROPOSED ZONING N/A

PROPOSED USE N/A

ACREAGE 12.00

LOTS [CURRENT] 1

LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER RTT PCI, LLC

APPLICANT

CONTACT PERSON Trey Peavy

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

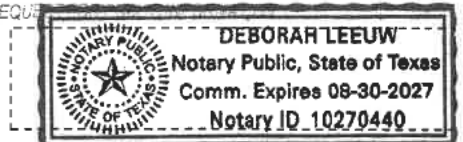
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trey Peavy [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF August, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF August, 2025

OWNER'S SIGNATURE

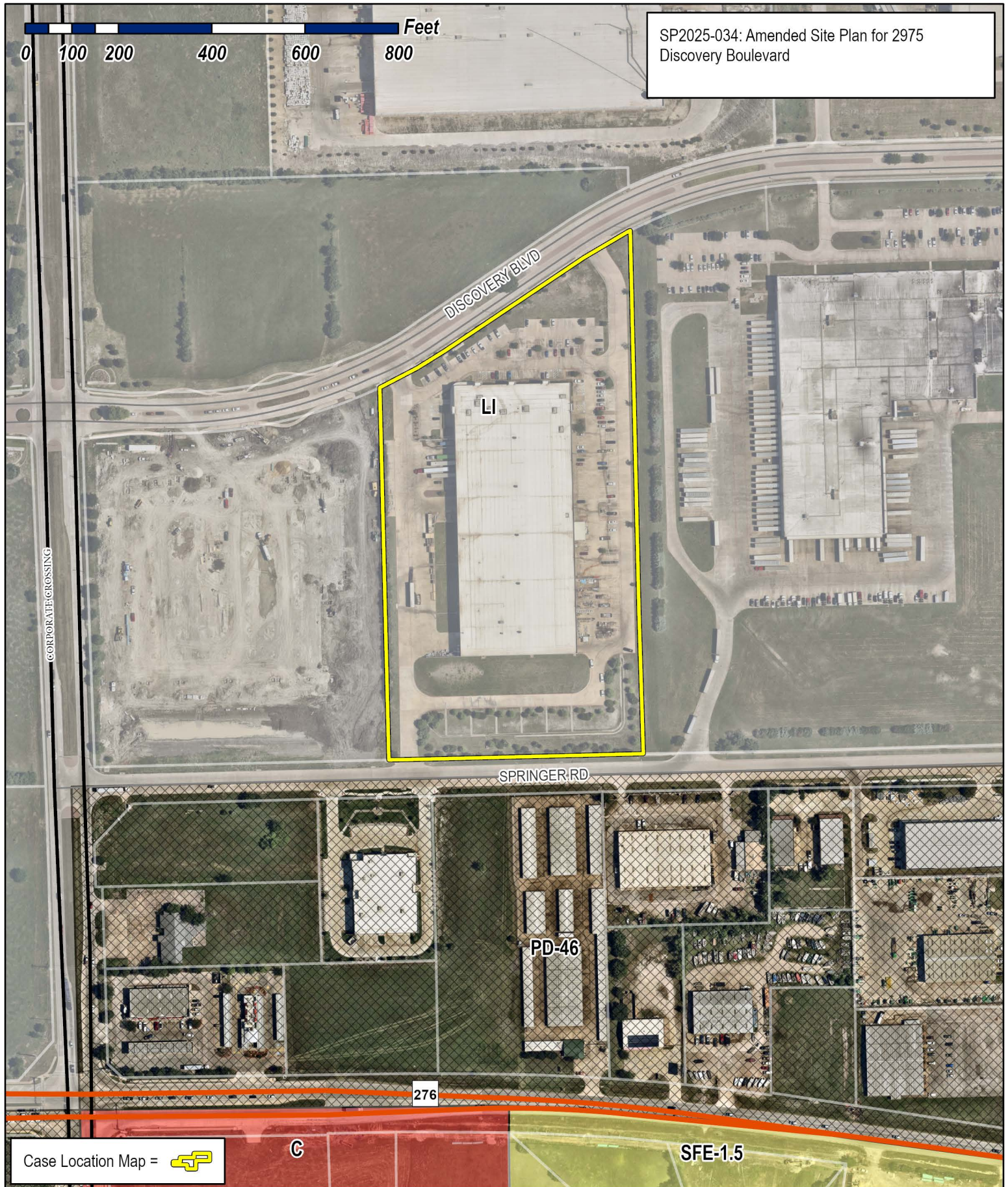
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES



SP2025-034: Amended Site Plan for 2975
Discovery Boulevard



Case Location Map = 

C

SFE-1.5





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



-  Cedar Trees
-  Accent Trees

OUTSIDE STORAGE AREA

